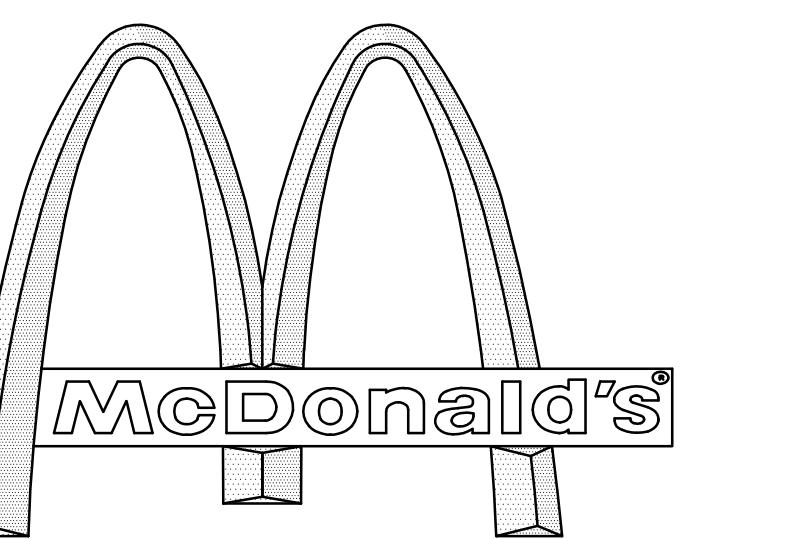


SITE DEVELOPMENT PLANS

FOR: PROPOSED



WITH DRIVE-THRU

LOCATION OF SITE:

SWAN STREET & CORNISH STREET EXTENSION
TOWN OF METHUEN,
ESSEX COUNTY, MASSACHUSETTS
PARCELS 816-96-11, 816-96-11B & 816-96-11C

LOCATION MAP

SCALE: 1"=2000'



Know what's below.
© H.

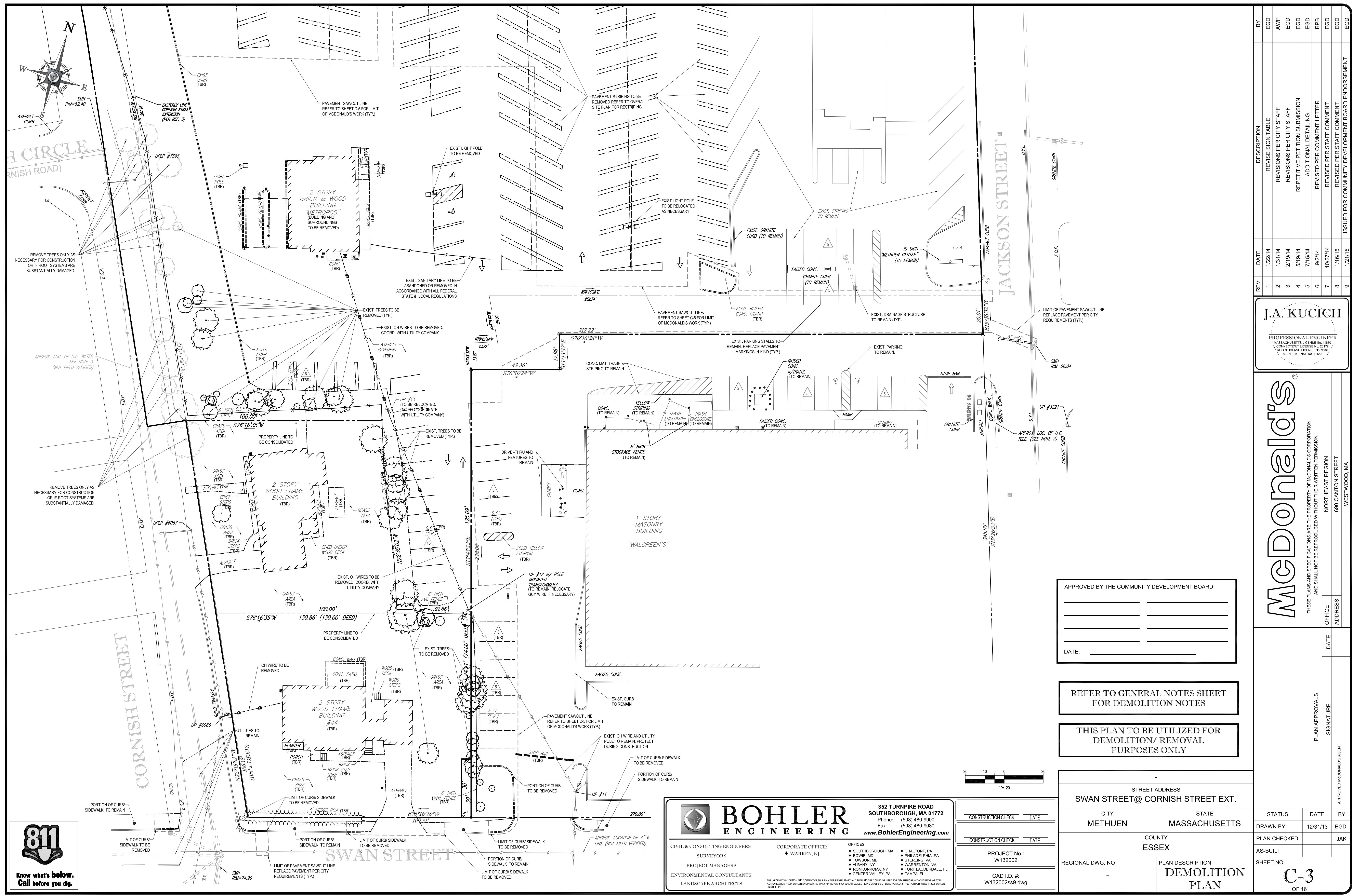
PREPARED BY

BOHLER
ENGINEERING

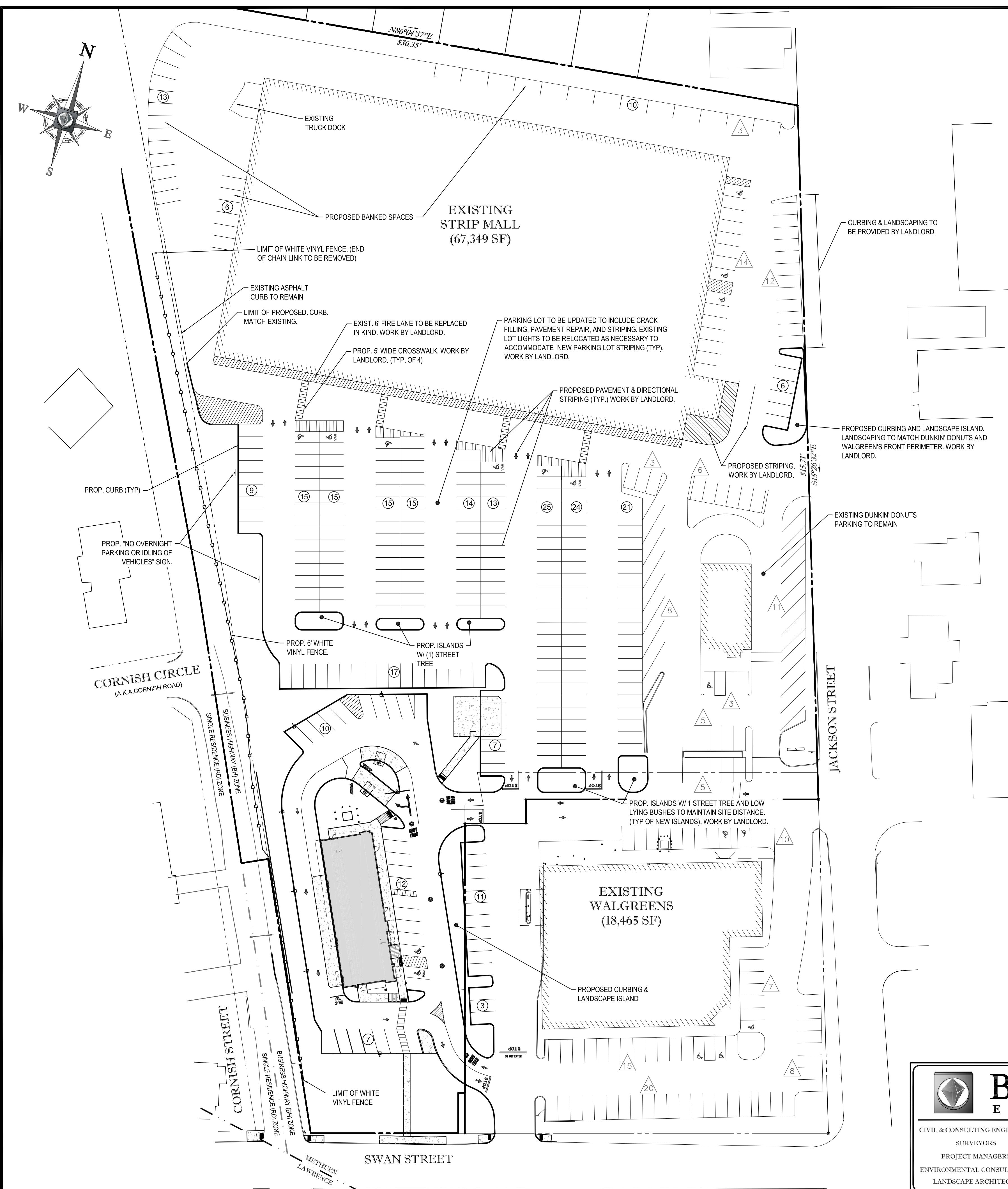


<i>SHEET TITLE</i>	<i>SHEET NUMBER</i>
OVER SHEET	C-1 OF 16
GENERAL NOTES SHEET	C-2 OF 16
DEMOLITION PLAN	C-3 OF 16
OVERALL SITE PLAN	C-4 OF 16
SEWAGE PLAN	C-5 OF 16
WADING & DRAINAGE PLAN	C-6 OF 16
WATER SUPPLY PLAN	C-7 OF 16
WATER EROSION & SEDIMENT CONTROL PLAN	C-8 OF 16
WATER EROSION CONTROL NOTES & DETAILS SHEET	C-9 OF 16
LANDSCAPE PLAN	C-10 OF 16
LANDSCAPE NOTES & DETAILS SHEET	C-11 OF 16
LIGHTING PLAN	C-12 OF 16
TAIL SHEET	C-13 OF 16
TAIL SHEET	C-14 OF 16
TAIL SHEET	C-15 OF 16
TAIL SHEET	C-16 OF 16
DATA SURVEY (BY OTHERS)	1 OF 2
DATA SURVEY (BY OTHERS)	2 OF 2
BUILDING ELEVATIONS (BY OTHERS - SEPARATELY BOUND)	

RAWING INDEX



**Know what's below
Call before you dig**



LAND USE / ZONING INFORMATION & NOTES

1. OWNER:

METHUEN VENTURE LIMITED PARTNERSHIP
C/O ALLEN ASSOCIATES PROPERTIES, INC.
NEWTON CENTRE STREET, SUITE 403
NEWTON CENTRE, MA 02459-0003
2. APPLICANT:

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C/O BOHLER ENGINEERING
352 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772
3. PARCEL:

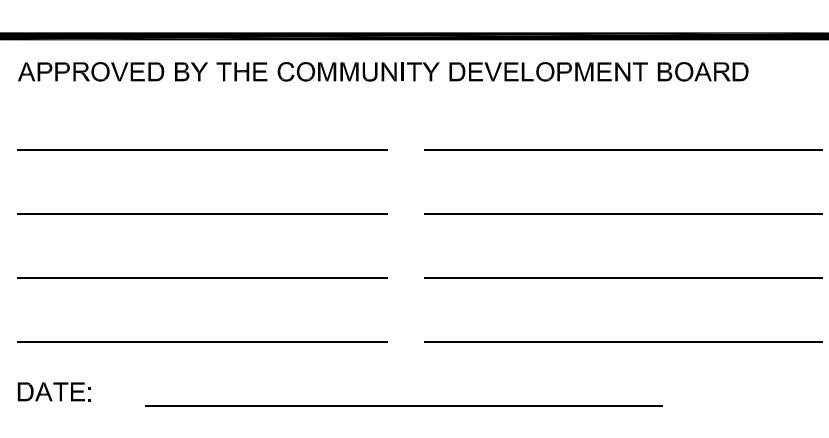
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SWAN STREET & CORNISH STREET EXTENSION
CITY OF METHUEN
ESSEX COUNTY, MA

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED
IN CONFORMANCE WITH THE RULES AND
REGULATIONS OF THE REGISTERS OF DEEDS:

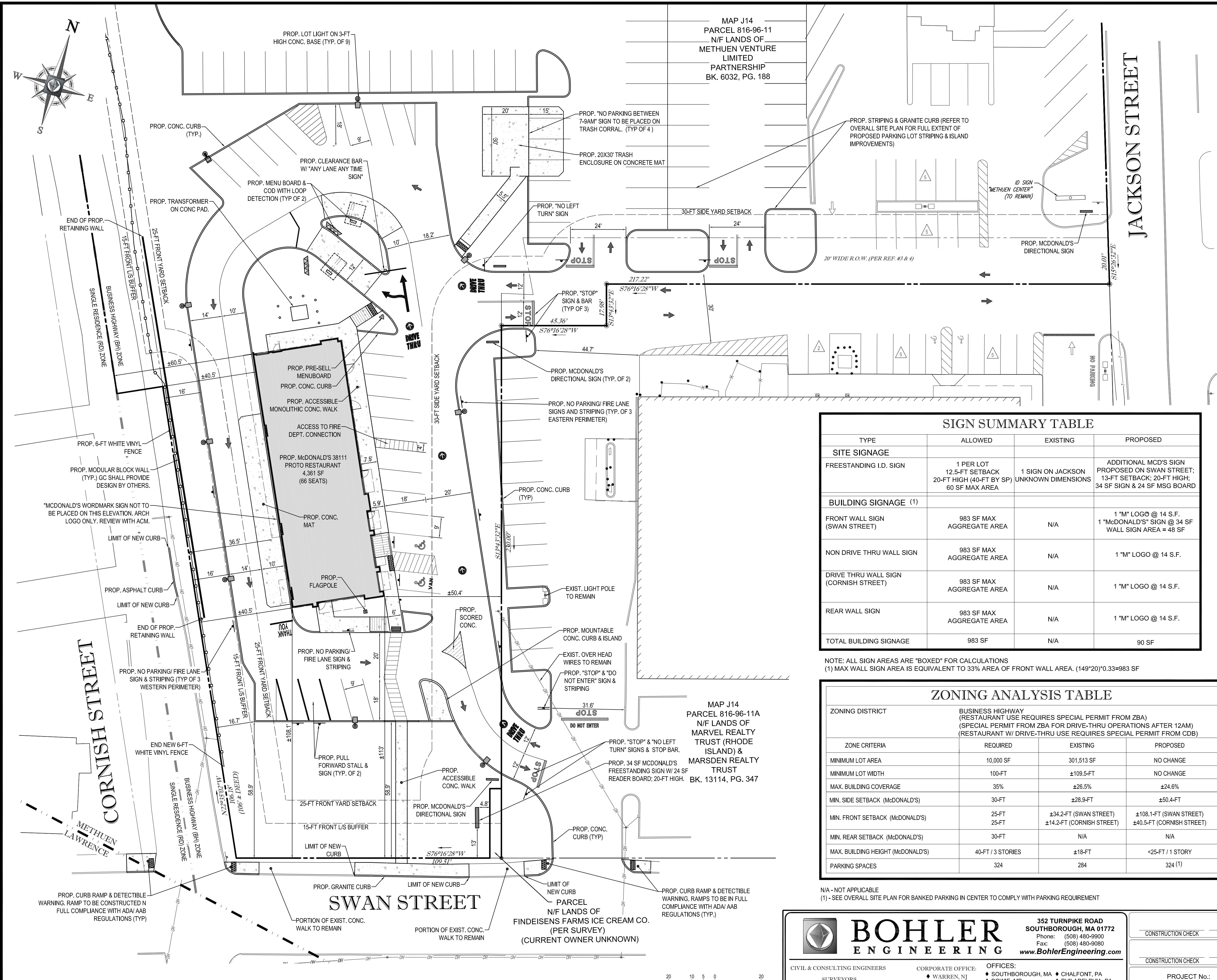
ZONING ANALYSIS TABLE			
ZONING DISTRICT	BUSINESS HIGHWAY (RESTAURANT USE REQUIRES SPECIAL PERMIT FROM ZBA) (SPECIAL PERMIT FROM ZBA FOR DRIVE-THRU OPERATIONS AFTER 12AM) (RESTAURANT W/ DRIVE-THRU USE REQUIRES SPECIAL PERMIT FROM CDB)		
ZONE CRITERIA	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA	10,000 SF	301,513 SF	NO CHANGE
MINIMUM LOT WIDTH	100-FT	±109.5-FT	NO CHANGE
MAX. BUILDING COVERAGE	35%	±26.5%	±24.6%
MIN. SIDE SETBACK (McDONALD'S)	30-FT	±28.9-FT	±50.4-FT
MIN. FRONT SETBACK (McDONALD'S)	25-FT 25-FT	±34.2-FT (SWAN STREET) ±14.2-FT (CORNISH STREET)	±108.1-FT (SWAN STREET) ±40.5-FT (CORNISH STREET)
MIN. REAR SETBACK (McDONALD'S)	30-FT	N/A	N/A
MAX. BUILDING HEIGHT (McDONALD'S)	40-FT / 3 STORIES	±18-FT	<25-FT / 1 STORY
PARKING SPACES	324	284	324 (1)

/A - NOT APPLICABLE
I) - 29 OF THE TOTAL 324 PROPOSED PARKING SPACES ARE BANKED FOR FUTURE USE.

Overall Parking Analysis Table							
Tenant	Sq-Ft	Spaces Req'd	# of Employees on Max. Shift	Spaces Req'd	Dining Seats	Spaces Req'd	Total Spaces Req'd
BIG LOTS	30,000 SF	120.0	7	3.5	N/A	0	123.50
PLANET FITNESS	14,806 SF	59.2	5	2.5	N/A	0	61.72
FAMILY DOLLAR	10,000 SF	40.0	4	2	N/A	0	42.00
NAPA AUTO PARTS	5,418 SF	21.67	4	2	N/A	0	23.67
MCDONALD'S	4,317 SF	0	10	5	80	20	25
GENTLE DENTAL	2,689 SF	10.76	10	5	N/A	0	15.76
DUNKIN DONUTS	2,400 SF	0	7	3.5	22	5.5	9.00
AUTO ER	2,000 SF	8.0	2	1	N/A	0	9.00
SUBWAY	1,243 SF	0.0	5	2.5	24	6	8.50
H&R BLOCK	1,193 SF	4.77	3	1.5	N/A	0	6.27
TOTALS	92,531 SF	-	-	-	-	-	324.42



STREET ADDRESS SWAN STREET@ CORNISH STREET EXT.					APPROVED McDONALDS
CITY METHUEN		STATE MASSACHUSETTS	STATUS	DATE	BY
COUNTY ESSEX		DRAWN BY:	12/31/13	EGD	JAK
		PLAN CHECKED			
		AS-BUILT			
REGIONAL DWG. NO	PLAN DESCRIPTION OVERALL SITE PLAN	SHEET NO. C-4 OF 16			

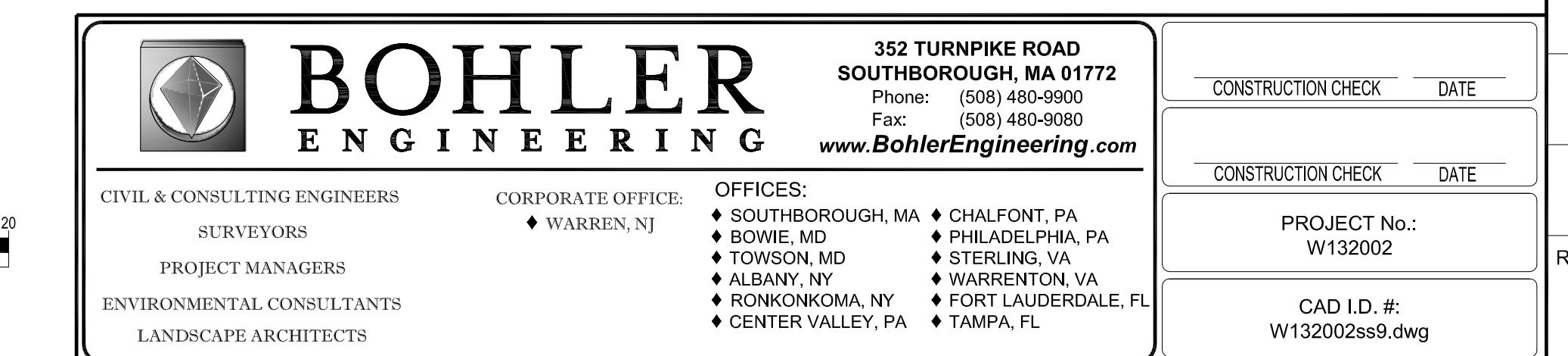


SIGN SUMMARY TABLE			
TYPE	ALLOWED	EXISTING	PROPOSED
SITE SIGNAGE			
FREESTANDING I.D. SIGN	1 PER LOT 12.5-FT SETBACK 20-FT HIGH (40-FT BY SP) 60 SF MAX AREA	1 SIGN ON JACKSON UNKNOWN DIMENSIONS	ADDITIONAL MCD'S SIGN PROPOSED ON SWAN STREET; 13-FT SETBACK; 20-FT HIGH; 34 SF SIGN & 24 SF MSG BOARD
BUILDING SIGNAGE (1)			
FRONT WALL SIGN (SWAN STREET)	983 SF MAX AGGREGATE AREA	N/A	1 "M" LOGO @ 14 S.F. 1 "McDONALD'S" SIGN @ 34 SF WALL SIGN AREA = 48 SF
NON DRIVE THRU WALL SIGN	983 SF MAX AGGREGATE AREA	N/A	1 "M" LOGO @ 14 S.F.
DRIVE THRU WALL SIGN (CORNISH STREET)	983 SF MAX AGGREGATE AREA	N/A	1 "M" LOGO @ 14 S.F.
REAR WALL SIGN	983 SF MAX AGGREGATE AREA	N/A	1 "M" LOGO @ 14 S.F.
TOTAL BUILDING SIGNAGE	983 SF	N/A	90 SF

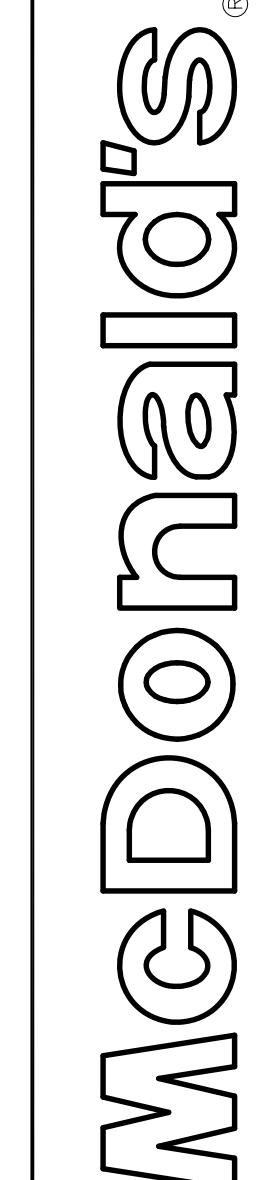
NOTE: ALL SIGN AREAS ARE "BOXED" FOR CALCULATIONS
(1) MAX WALL SIGN AREA IS EQUIVALENT TO 33% AREA OF FRONT WALL AREA. $(149*20)*0.33=983$ SF

ZONING ANALYSIS TABLE			
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N/A - NOT APPLICABLE
(1) - SEE OVERALL SITE PLAN FOR BANKED PARKING IN CENTER TO COMPLY WITH PARKING REQUIREMENT



STREET ADDRESS SWAN STREET@ CORNISH STREET EXT.					APPROVED McDONALD
CITY METHUEN	STATE MASSACHUSETTS	STATUS	DATE	BY	
		DRAWN BY:	12/31/13	EGD	
COUNTY ESSEX		PLAN CHECKED		JAK	
REGIONAL DWG. NO -	PLAN DESCRIPTION SITE PLAN	SHEET NO.	C-5		
OF 16					



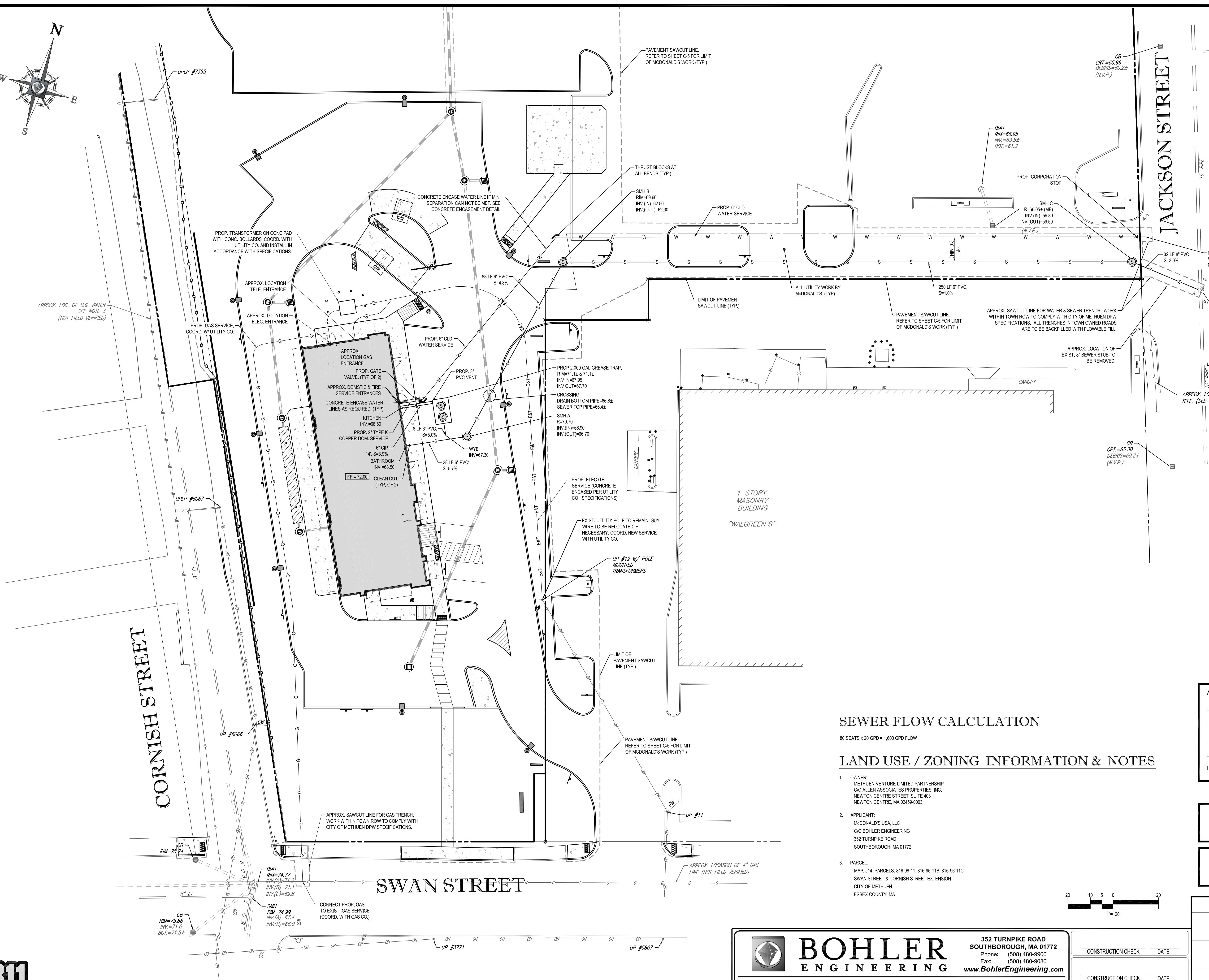
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AL ENGINEER
LICENSE No. 41530
ENSE No. 26177
ICENSE No. 9616
E No. 12553

REV	DATE	DESCRIPTION	BY
1	1/22/14	REVISE SIGN TABLE	EGD
2	1/31/14	REVISIONS PER CITY STAFF	AWP
3	2/19/14	REVISIONS PER CITY STAFF	EGD
4	5/19/14	REPETITIVE PETITION SUBMISSION	EGD
5	7/15/14	ADDITIONAL DETAILING	EGD
6	9/2/14	REVISED PER COMMENT LETTER	BPB
7	10/27/14	REVISED PER STAFF COMMENT	EGD
8	1/16/15	REVISED PER STAFF COMMENT	EGD
9	1/21/15	ISSUED FOR COMMUNITY DEVELOPMENT BOARD ENDORSEMENT	EGD



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SEWER FLOW CALCULATION

$$80 \text{ SEATS} \times 20 \text{ GPD} = 1,600 \text{ GPD FLOW}$$

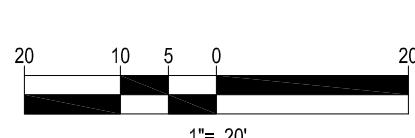
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CITY OF METHUEN
ESSEX COUNTY, MA



APPROVED BY THE COMMUNITY DEVELOPMENT BOARD

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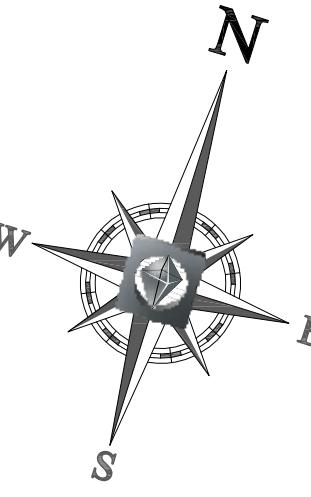
THIS PLAN TO BE UTILIZED FOR
UTILITIES PURPOSES ONLY

**REFER TO GENERAL NOTES SHEET
FOR GRADING & UTILITY NOTES**

STREET ADDRESS
SWAN STREET @ CORNISH STREET EX



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PLAN APPROVALS			
SIGNATURE		DATE	OFFICE
APPROVED McDONALD'S AGENT		ADDRESS	NORTHEAST REGION
EGD BY JAK		1/16/15	690 CANTON STREET
EGD BY JAK		1/21/15	WESTWOOD, MA
EGD BY JAK		10/27/14	REVISED PER STAFF COMMENT
EGD BY JAK		9/2/14	REVISED PER COMMENT LETTER
EGD BY JAK		7/15/14	REVISED PER STAFF COMMENT
EGD BY JAK		5/19/14	ADDITIONAL DETAILING
EGD BY JAK		4	REPETITIVE PETITION SUBMISSION
EGD BY JAK		3	REVISIONS PER CITY STAFF
EGD BY JAK		2	REVISIONS PER CITY STAFF
EGD BY JAK		1	REVISE SIGN TABLE
DESCRIPTION			
REV	DATE		
1	1/22/14		
2	1/31/14		
3	2/19/14		
4	5/19/14		
5	7/15/14		
6	9/2/14		
7	10/27/14		
8	1/16/15		
9	1/21/15		
STATUS		DATE	
DRAWN BY:		12/31/13	
PLAN CHECKED			
AS-BUILT			
SHEET NO.			
C-7			
OF 16			



CORNISH CIRCLE (AKA CORNISH ROAD)

ODD NISH STREET

SWAN STREET

811

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Call before you dig.**

F:\1\W\320002DWG\W\32002SS7DWG\06-EI\05,4\23\20\0,0\:/14 AM, eabdt\de, 2003-03-01\pc3, User\634, |:

LAND USE / ZONING INFORMATION & NOTES

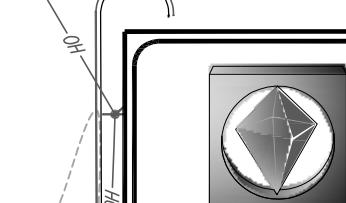
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SWAN STREET & CORNISH STREET EXTENSION
CITY OF METHUEN
ESSEX COUNTY, MA

A horizontal number line with tick marks at 20, 10, 5, 0, and 20. The segment from 0 to 20 is shaded black, and the segment from 0 to 5 is shaded with diagonal lines.



BOHLER ENGINEERING

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CONSULTANTS
RCHITECTS

**352 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772**
Phone: (508) 480-9900
Fax: (508) 480-9080
www.BohlerEngineering.com

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APPROVED BY THE COMMUNITY DEVELOPMENT BOARD

DATE:

**REFER TO SOIL EROSION CONTROL
NOTES & DETAIL SHEET FOR EROSION
NOTES AND DETAILS**

STREET ADDRESS
SWAN STREET @ CORNISH STREET EXT

CITY **STATE**
METHUEN **MASSACHUSETTS**

COUNTY

ESSEX

REV	DATE	DESCRIPTION	BY
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The logo for J.A. KUCICH, Professional Engineer, is centered on a white background. It features the name "J.A. KUCICH" in a large, bold, black serif font, with "J.A." on one line and "KUCICH" on the line below. Above the name is a decorative element consisting of a dotted oval that follows the curve of the letters. Below the name is a horizontal line. Underneath this line, the words "PROFESSIONAL ENGINEER" are written in a smaller, bold, black serif font. Below this, there are four lines of text in a smaller black serif font, each preceded by a small black dot: "MASSACHUSETTS LICENSE No. 41530", "CONNECTICUT LICENSE No. 26177", "RHODE ISLAND LICENSE No. 9616", and "NEW YORK LICENSE No. 12345".

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OFFICE

NORTHEAST REGION

-8

EROSION & SEDIMENT CONTROL NOTES

- ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE DONE AS SET FORTH IN THE MOST CURRENT STATE SEDIMENT AND EROSION CONTROL MANUAL.
- THOSE AREAS UNDERGOING ACTUAL CONSTRUCTION WILL BE LEFT IN AN UNTREATED OR UNVEGETATED CONDITION FOR A MINIMUM TIME. AREAS SHALL BE PERMANENTLY STABILIZED WITHIN 15 DAYS OF FINAL GRADING AND TEMPORARILY STABILIZED WITHIN 30 DAYS OF INITIAL DISTURBANCE OF THE SOIL. IF THE DISTURBANCE IS WITHIN 100 FEET OF A STREAM OR POND, THE AREA SHALL BE STABILIZED WITHIN 7 DAYS OR PRIOR TO ANY STORM EVENT (THIS WOULD INCLUDE WETLANDS).
- SEDIMENT BARRIERS (SILT FENCE, HAY BARRIERS, ETC.) SHOULD BE INSTALLED PRIOR TO ANY SOIL DISTURBANCE OF THE CONTRIBUTING DRAINAGE AREA ABOVE THE SITE. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 15% AFTER OCTOBER 1ST THE SAME APPLIES FOR ALL SLOPES GREATER THAN 8%.
- INSTALL SILT FENCE AT TOE OF SLOPE TO RETAIN SILT FROM RUNOFF. SEE SILT FENCE DETAIL FOR PROPER INSTALLATION. SILT FENCE WILL REMAIN IN PLACE FOR ONE YEAR.
- ALL EROSION CONTROL STRUCTURES WILL BE INSPECTED, REPAVED AND/OR REPAVED EVERY 4 DAYS AND IMMEDIATELY FOLLOWING ANY SIGNIFICANT RAINFALL OR SNOW MELT OR WHEN NO LONGER SERVICEABLE DUE TO SEDIMENT ACCUMULATION OR RECOMPOSITION. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER. EROSION CONTROL DEVICES SHALL REMAIN IN PLACE AND BE MAINTAINED BY THE CONTRACTOR UNTIL AREAS UPSLOPE ARE STABILIZED BY TURF.
- NO SLOPES, EITHER PERMANENT OR TEMPORARY, SHALL BE STEEPER THAN TWO TO ONE (2:1).
- IF FINAL SEEDING OF THE DISTURBED AREAS IS NOT COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST, USE TEMPORARY MULCH (DORMANT SEEDING MAY BE ATTEMPTED AS WELL) TO PROTECT THE SITE AND DELAY SEEDING UNTIL THE NEXT RECOMMENDED SEEDING PERIOD.
- TEMPORARY SEEDING OF DISTURBED AREAS THAT HAVE NOT BEEN FINAL GRADED SHALL BE COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST TO PROTECT FROM SPRING RUNOFF PROBLEMS.
- DURING THE CONSTRUCTION PHASE, INTERCEPTED SEDIMENT WILL BE RETURNED TO THE SITE AND REGRADED ONTO OPEN AREAS.
- REVEGETATION MEASURES WILL COMMENCE UPON COMPLETION OF CONSTRUCTION EXCEPT AS NOTED ABOVE. ALL DISTURBED AREAS NOT OTHERWISE STABILIZED WILL BE GRADED, SMOOTHED, AND PREPARED FOR FINAL SEEDING AS FOLLOWS:

 - SIX INCHES OF LOAM WILL BE SPREAD OVER DISTURBED AREAS AND SMOOTHED TO A UNIFORM SURFACE.
 - APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST, IF SOIL TESTING IS NOT FEASIBLE ON SMALL OR VARIABLE SITES, OR WHERE TIMING IS CRITICAL, FERTILIZER MAY BE APPLIED AT THE RATE OF 800 LB PER ACRE OR 18.4 LB PER 1,000 SF USING 10-20-20 OR EQUIVALENT, APPLY GROUND LIMESTONE (EQUIVALENT TO 50% CALCIUM PLUS MAGNESIUM OXIDE) AT A RATE OF 3 TONS PER ACRE (138 LB PER 1,000 SF).
 - FOLLOWING SEED BED PREPARATION, DITCHES AND BACK SLOPES WILL BE SEEDED TO A MIXTURE OF 4% CREEPING RED FESCUE, 5% REDTOP, AND 45% TALL FESCUE. THE LAWN AREAS WILL BE SEEDED TO A PREMIUM TURF MIXTURE OF 44% KENTUCKY BLUE GRASS, 44% CREEPING RED FESCUE, AND 12% PERENNIAL RYEGRASS; SEEDING RATE IS 1.03 LBS PER 1,000 SF. LAWN QUALITY SOD MAY BE SUBSTITUTED FOR SEED.
 - HAY MULCH AT THE RATE OF 70-90 LBS PER 1,000 SF. A HYDRO-APPLICATION OF WOOD OR PAPER FIBER SHALL BE APPLIED FOLLOWING SEEDING. A SUITABLE BINDER SUCH AS CURASOL OR RMB PLUS WILL BE USED ON HAY MULCH FOR WIND CONTROL.

- ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED ONCE THE SITE IS STABILIZED.
- WETLANDS WILL BE PROTECTED WITH HAYBALES AND/OR SILT FENCE INSTALLED AT THE EDGE OF THE WETLAND OR THE BOUNDARY OF WETLAND DISTURBANCE.
- ALL AREAS WITHIN 100 FEET OF A FLAGGED WETLAND OR STREAM SHALL HAVE AN EXPOSURE WINDOW OF NOT MORE THAN 7 DAYS.
- ALL AREAS WITHIN 100 FEET OF A FLAGGED WETLAND OR STREAM SHALL FOLLOW APPROPRIATE EROSION CONTROL MEASURES PRIOR TO EACH STORM IF NOT BEING ACTIVELY WORKED.

MULCH

LOCATION	PROTECT AREA	MULCH STRAW OR HAY	RATE (1000 SF)
WINDY AREA	SHREDDED OR CHOPPED CORNSTALKS STRAW OR HAY (ANCHORED)*	165-275 POUNDS	100 POUNDS
MODERATE TO HIGH VELOCITY AREAS OR STEEP SLOPES GREATER THAN 3:1	JUTE MESH OR EXCLOSURE MAT	AS REQUIRED	
GREATER THAN 3:1 (REFER TO GEOTECHNICAL REPORT FOR FINAL DESIGN REQUIREMENT)			

* A HYDRO-APPLICATION OF WOOD, OR PAPER FIBER MAY BE APPLIED FOLLOWING SEEDING. A SUITABLE BINDER SUCH AS CURASOL OR RMB PLUS SHALL BE USED ON HAY MULCH FOR WIND CONTROL.

MULCH ANCHORING
ANCHOR MULCH WITH PEG AND TWINE (1 SQ. YD/BLOCK); MULCH NETTING (AS PER MANUFACTURER); WOOD CELLULOSE FIBER (750 LB/ACRE); CHEMICAL TACK (AS PER MANUFACTURER'S SPECIFICATIONS); USE OF A SERRATED STRAIGHT DISK, WETTING FOR SMALL AREAS AND ROAD DITCHES MAY BE PERMITTED.

EROSION CONTROL NOTES DURING WINTER CONSTRUCTION

- WINTER CONSTRUCTION PERIOD: NOVEMBER 1 THROUGH APRIL 15.
- WINTER EXCAVATION AND EARTHWORK SHALL BE DONE SUCH THAT NO MORE THAN 1 ACRE OF THE SITE IS WITHOUT STABILIZATION AT ANY ONE TIME.
- EXPOSED AREA SHOULD BE LIMITED TO THAT CAN BE MULCHED IN ONE DAY PRIOR TO ANY SNOW EVENT.
- CONTINUATION OF EARTHWORK OPERATION ON ADDITIONAL AREAS SHALL NOT BEGIN UNTIL THE EXPOSED SOIL SURFACE ON THE AREA BEING WORKED HAS BEEN STABILIZED SUCH THAT NO LARGER AREA OF THE SITE IS WITHOUT EROSION CONTROL PROTECTION AS LISTED IN ITEM 2 ABOVE.
- AN AREA SHALL BE CONSIDERED TO HAVE BEEN STABILIZED WHEN EXPOSED SURFACES HAVE BEEN EITHER MULCHED WITH STRAW OR HAY AT A RATE OF 100 LB. PER 1,000 SQUARE FEET (WITH OR WITHOUT SEEDING) OR DORMANT SEEDED, MULCHED AND ADEQUATELY ANCHORED BY AN APPROVED ANCHORING TECHNIQUE.
- BETWEEN THE DATES OF OCTOBER 15 AND APRIL 1ST, LOAM OR SEED WILL NOT BE REQUIRED, DURING PERIODS OF ABOVE FREEZING TEMPERATURES THE SLOPES SHALL BE FINE GRADED AND EITHER PROTECTED WITH MULCH OR TEMPORARILY SEEDED AND THE EXPOSED AREA SHOULD BE LIMITED TO THAT CAN BE MULCHED IN ONE DAY PRIOR TO ANY SNOW EVENT. THE DORMANT SEEDED AT A RATE OF 100 LB. PER 1,000 SQUARE FEET (WITH OR WITHOUT SEEDING) AND THEN MULCHED. IF CONSTRUCTION CONTINUES DURING FREEZING WEATHER, ALL EXPOSED AREAS SHALL BE CONTINUOUSLY GRADED BEFORE FREEZING AND THE SURFACE TEMPORARILY PROTECTED FROM EROSION BY THE APPLICATION OF MULCH. SLOPES SHALL NOT BE LEFT UNEXPOSED OVER THE WINTER OR ANY OTHER EXTENDED TIME OF WORK SUSPENSION UNLESS TREATED IN THE ABOVE MANNER, UNTIL SUCH TIME AS WEATHER CONDITIONS ALLOW DITCHES TO BE FINISHED WITH THE PERMANENT SURFACE TREATMENT. EROSION SHALL BE CONTROLLED BY THE INSTALLATION OF BALES OF HAY OR STONE CHECK DAMS IN ACCORDANCE WITH THE STANDARD DETAILS.
- MULCHING REQUIREMENTS:

 - BETWEEN THE DATES OF NOVEMBER 1ST AND APRIL 15TH ALL MULCH SHALL BE ANCHORED BY EITHER PEG LINE, MULCH NETTING OR WOOD CELLULOSE FIBER.
 - MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL DRAINAGE WAYS WITH A SLOPE GREATER THAN 3% FOR SLOPE EXPOSED TO DIRECT WINDS AND FOR ALL OTHER SLOPES GREATER THAN 8%.
 - MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 15% AFTER OCTOBER 1ST THE SAME APPLIES FOR ALL SLOPES GREATER THAN 8%.

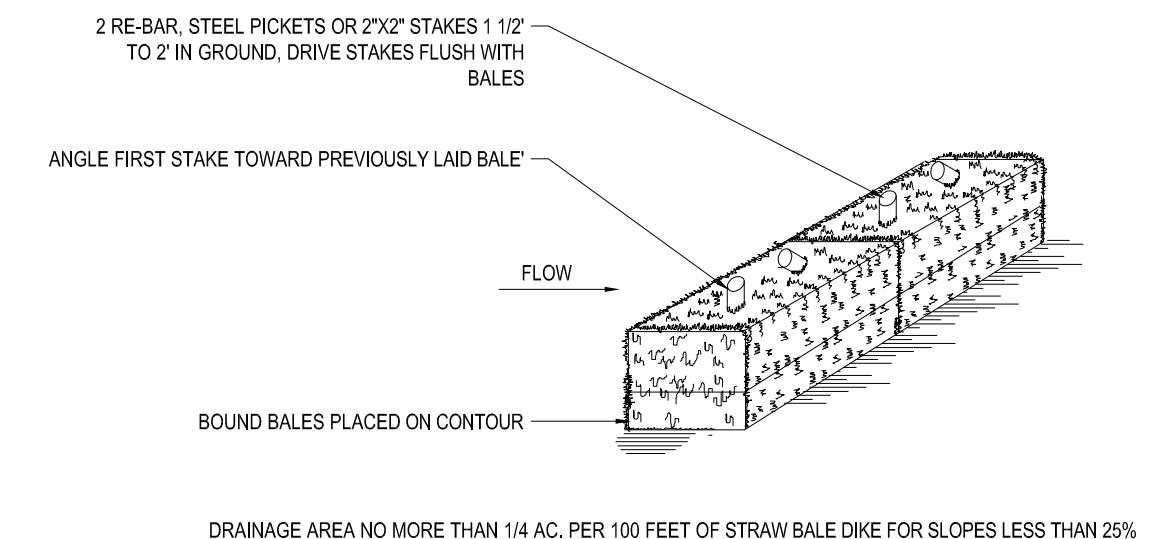
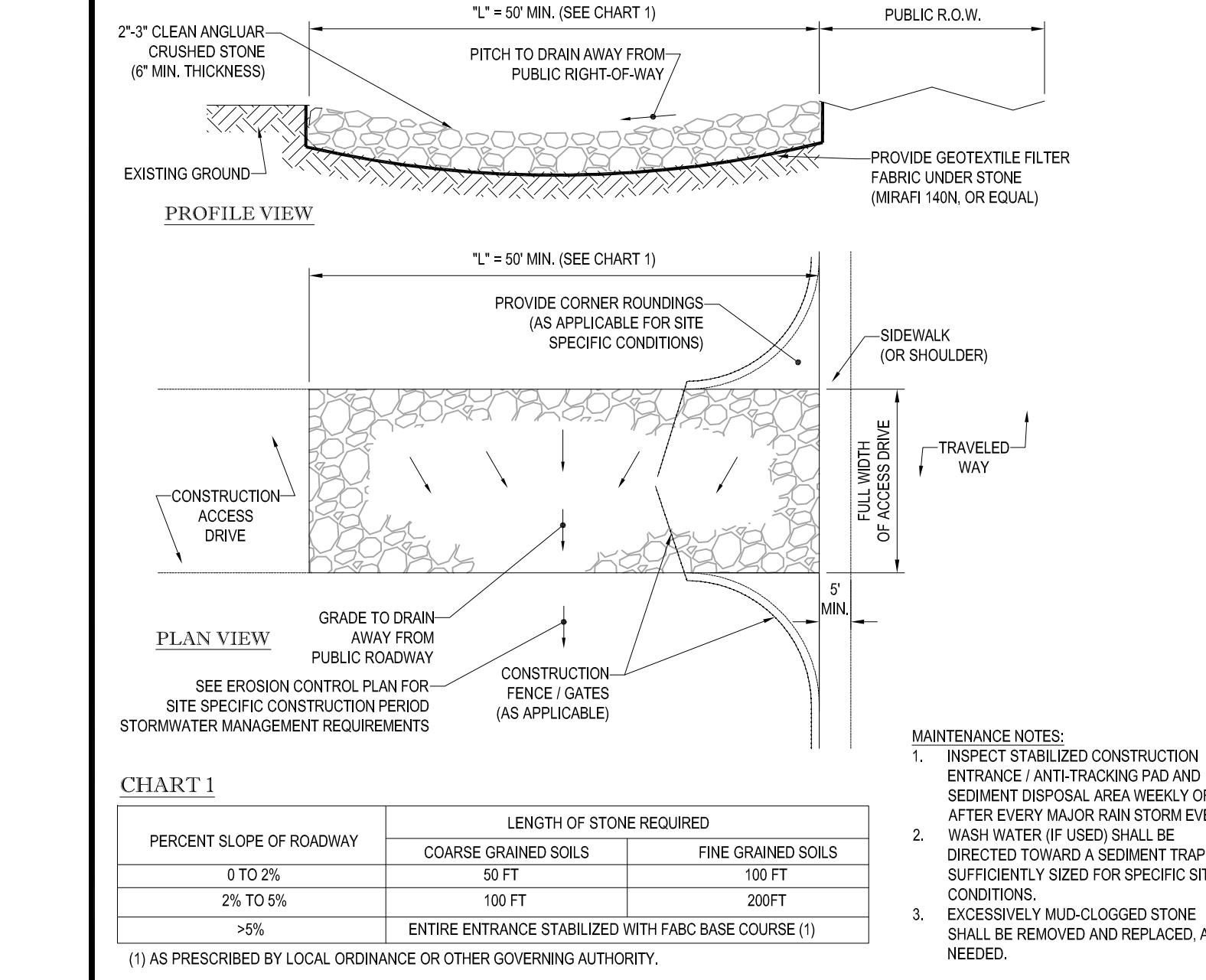
- AFTER NOVEMBER 1ST THE CONTRACTOR SHALL APPLY DORMANT SEEDING OR MULCH AND ANCHORING ON ALL BARE EARTH AT THE END OF EACH WORKING DAY.
- DOING THE WINTER CONSTRUCTION PERIOD ALL SNOW SHALL BE REMOVED FROM AREAS OF SEEDING AND MULCHING PRIOR TO PLACEMENT.
- STOCKPILING OF MATERIALS (DIRT, WOOD, CONSTRUCTION MATERIALS, ETC.) MUST REMAIN COVERED AT ALL TIMES TO MINIMIZE ANY DUST PROBLEMS THAT MAY OCCUR WITH ADJACENT PROPERTIES AND TO PROVIDE MAXIMUM PROTECTION AGAINST EROSION RUNOFF.
- EXISTING CATCH BASIN STRUCTURES SHALL BE PROTECTED UNTIL SUCH TIME AS THEY ARE REMOVED.



CONSTRUCTION SEQUENCE

THE FOLLOWING CONSTRUCTION SEQUENCE IS RECOMMENDED:

- INSTALLATION OF STABILIZED CONSTRUCTION ENTRANCE/EXIT (AS SHOWN)
- INSTALLATION OF EROSION CONTROL BARRIER (HAYBALES AND SILT FENCE) (AS SHOWN)
- INSTALLATION OF INLET PROTECTION IN STREET (AS SHOWN)
- DEMOLITION OF EXISTING SITE STRUCTURES (SEE DEMOLITION PLAN)
- DEMOLITION OF EXISTING SITE PAVEMENT AND AMENITIES (SEE DEMOLITION PLAN)
- CLEARING AND GRUBBING
- INSTALLATION OF TEMPORARY SWALES AND SEDIMENT BASINS
- EARTHWORK AND EXCAVATION/FILLING AS NECESSARY
- CONSTRUCTION OF UTILITIES
- STABILIZE PERMANENT LAWN AREAS AND SLOPES WITH TEMPORARY SEEDING
- INSTALLATION OF INLET PROTECTION ON-SITE UTILITIES (AS SHOWN)
- CONSTRUCTION OF BUILDINGS
- CONSTRUCTION OF ALL CURBING AND LANDSCAPE ISLANDS AS INDICATED ON THE PLANS
- SPREAD TOPSOIL ON SLOPED AREAS AND SEED AND MULCH
- FINAL GRADING OF ALL SLOPED AREAS
- PLACE 6" TOPSOIL ON SLOPES AFTER FINAL GRADING COMPLETED. FERTILIZE, SEED, AND MULCH SEED MIXTURE TO BE INSTALLED REQUIRED.
- REMOVAL OF THE TEMPORARY SEDIMENT BASINS
- PAVE PARKING LOT
- LANDSCAPING PER LANDSCAPING PLAN
- REMOVE EROSION CONTROLS AS DISTURBED AREAS BECOME STABILIZED TO 70% STABILIZATION OR GREATER.



NOTES:

- BALES SHALL BE PLACED AT THE TOP OF A SLOPE OR ON THE CONTOUR AND IN A ROW WITH ENDS TIGHTLY ABUTTING THE ADJACENT BALES.
- EACH BALE SHALL BE PLACED SO THE BINDINGS ARE HORIZONTAL.
- BALES SHALL BE SECURELY ANCHORED IN PLACE BY EITHER TWO STAKES OR RE-BARS DRIVEN THROUGH THE BALE. THE FIRST STAKE IN EACH BALE SHALL BE DRIVEN TOWARD THE PREVIOUSLY LAID BALE AT AN ANGLE TO FORCE THE BALES TOGETHER. STAKES SHALL BE DRIVEN FLUSH WITH THE BALE.
- INSPECTION SHALL BE FREQUENT AND REPAIR/REPLACEMENT SHALL BE PROMPTLY AS NEEDED.
- BALES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.

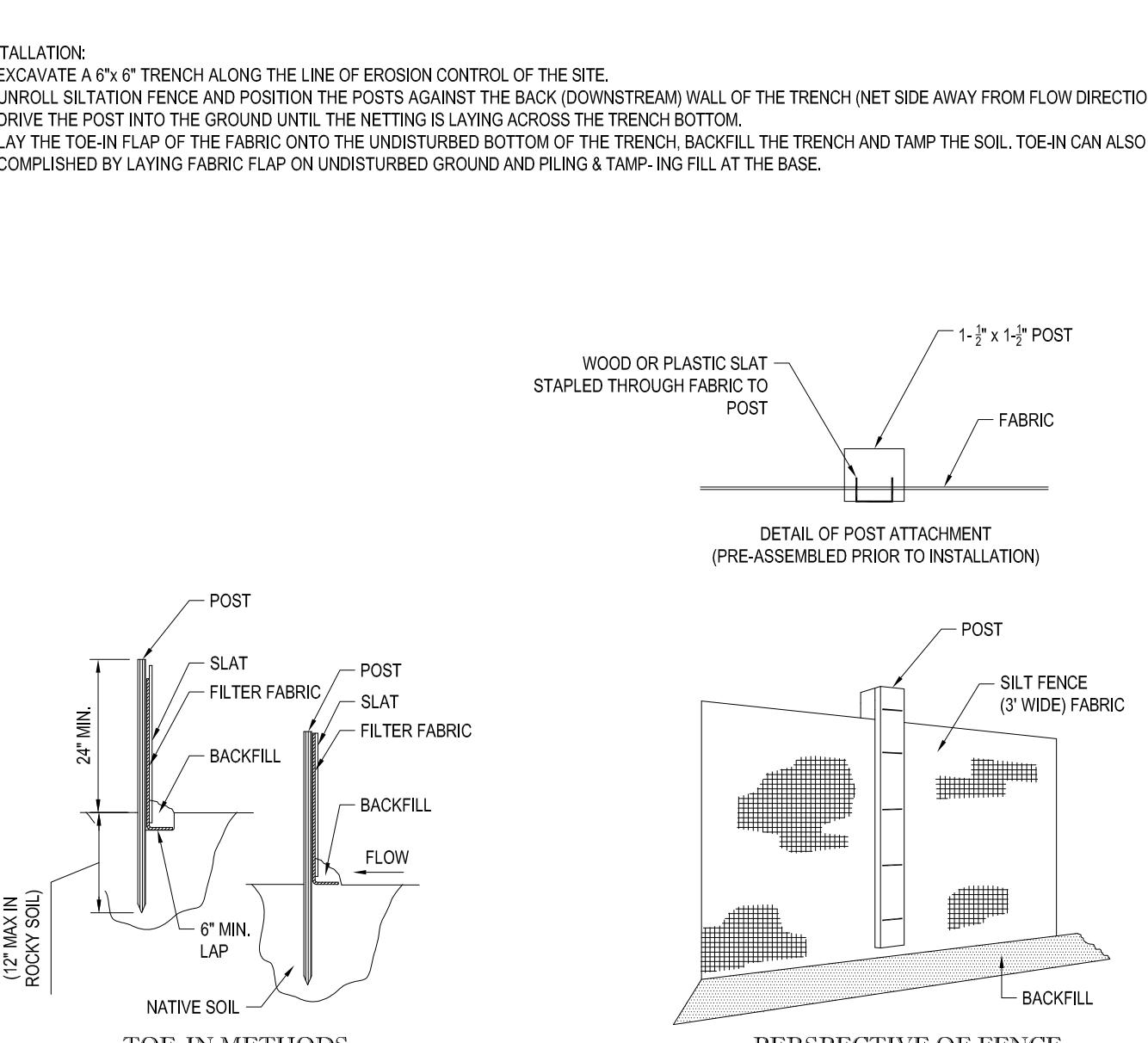
REV	DATE	DESCRIPTION
1	1/22/14	REVISE SIGN TABLE
2	1/31/14	REVISES PER CITY STAFF
3	2/19/14	REVISE PETITION SUBMISSION
4	5/19/14	ADDITIONAL DETAILING
5	9/2/14	REVISED PER COMMENT LETTER
6	10/2/14	REVISED PER STAFF COMMENT
7	11/6/15	REVISED FOR COMMUNITY DEVELOPMENT BOARD ENDORSEMENT
8	1/21/15	ISSUED FOR COMMUNITY DEVELOPMENT BOARD ENDORSEMENT
9		

STABILIZED CONSTRUCTION ENTRANCE

N.T.S.

STRAW BAILE DETAIL

J.A. KUCICH		
PROFESSIONAL ENGINEER		
MASSACHUSETTS LICENSE NO. 41530 CONTRACTOR NO. 100-100-100-100 RHODE ISLAND LICENSE NO. 9616 MAINE LICENSE NO. 12053		
©		



N.T.S.

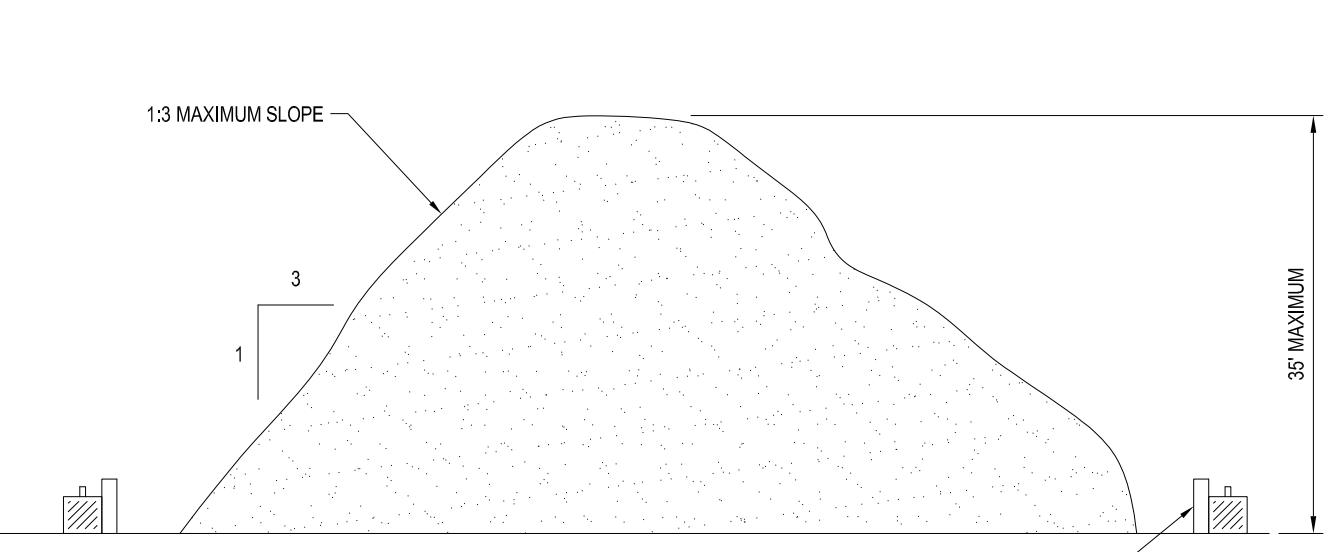
TYP. SILTATION FENCE DETAIL

N.T.S.

FILTER SACKS (GRADED INLETS)

APPROVED BY THE COMMUNITY DEVELOPMENT BOARD

DATE: _____
PLAN APPROVALS
SIGNATURE _____
DATE _____
APPROVED MCDONALD'S AGENT
OFFICE _____
ADDRESS _____

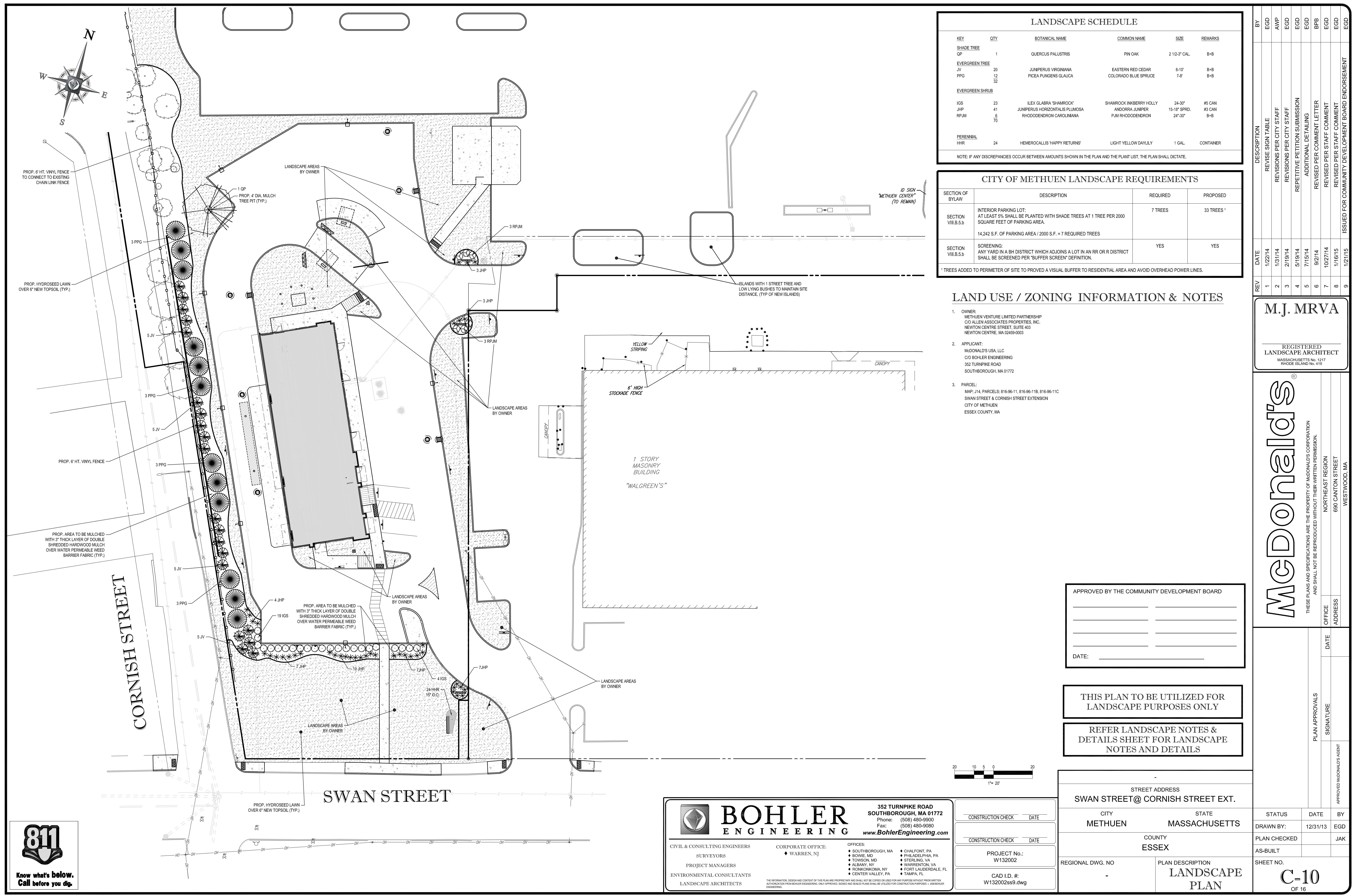


N.T.S.

TEMPORARY STOCKPILE DETAIL

BOHLER ENGINEERING	352 TURNPIKE ROAD SOUTHBOROUGH, MA 01772 Phone: (508) 480-9900 Fax: (508) 480-9080 www.BohlerEngineering.com
CIVIL & CONSULTING ENGINEERS	CORPORATE OFFICE: ♦ WARREN, NJ
SURVEYORS	OFFICES: ♦ SOUTHBOROUGH, MA ♦ CHALFONTE, PA ♦ WOBURN, MA ♦ STERLING, VA ♦ ALBANY, NY ♦ WARRINGTON, DE, FL ♦ RONKONKOMA, NY ♦ CENTER VALLEY, PA ♦ TAMPA, FL
PROJECT MANAGERS	ENVIRONMENTAL CONSULTANTS
LANDSCAPE ARCHITECTS	THE INFORMATION, DESIGN AND CONTENT OF THIS PLAN ARE PROPRIETARY AND SHALL NOT BE COPIED OR USED FOR ANY PURPOSES WITHOUT PRIOR WRITTEN AUTHORIZATION FROM BOHLER ENGINEERING. ONLY APPROVED, SIGNED AND SEALED PLANS SHALL BE UTILIZED FOR CONSTRUCTION PURPOSES. © 2009 BOHLER ENGINEERING.
CAD I.D. #:	W13202ss9.dwg

STREET ADDRESS SWAN STREET@ CORNISH STREET EXT.	CITY METHUEN	STATE MASSACHUSETTS
CONSTRUCTION CHECK _____ DATE _____	CONSTRUCTION CHECK _____ DATE _____	CONSTRUCTION CHECK _____ DATE _____
PROJECT No.: W132002	REGIONAL DWG. NO.	PLAN DESCRIPTION SOIL EROSION CONTROL NOTES & DETAILS
AS-BUILT	SHEET NO. C-9	OF 16



LANDSCAPE SPECIFICATIONS

1. SCOPE OF WORK:
THE LANDSCAPE CONTRACTOR SHALL BE REQUIRED TO PERFORM ALL CLEAING, FINISHED GRADING, SOIL PREPARATION, PERMANENT SEEDING ON SODDING, PLANTING AND MULCHING INCLUDING ALL LABOR, MATERIALS, TOOLS AND EQUIPMENT NECESSARY FOR THE COMPLETION OF THIS PROJECT, UNLESS OTHERWISE CONTRACTED BY THE GENERAL CONTRACTOR.

2. MATERIALS:
A. GENERAL - ALL HARDSCAPE MATERIALS SHALL MEET OR EXCEED SPECIFICATIONS AS OUTLINED IN THE STATE DEPARTMENT OF TRANSPORTATIONS SPECIFICATIONS.

B. TOPSOIL - NATURAL, FLAMABLE, LOAM, SILT, SOIL HAVING AN ORGANIC CONTENT NOT LESS THAN 5%, A PH RANGE BETWEEN 4.5-7.0. IT SHALL BE FREE OF DEBRIS, ROCKS LARGER THAN ONE INCH (1"), WOOD, ROOTS, VEGETABLE MATTER AND CLAY CLOWS.

C. LAWN - ALL DISTURBED AREAS TO BE TREATED WITH A MINIMUM 6" THICK LAYER OF TOPSOIL, OR AS DIRECTED BY THE LOCAL ORDINANCE OR CLIENT, AND SEEDED OR SODDED IN ACCORDANCE WITH THE PERMANENT STABILIZATION METHODS STATED ON THE LANDSCAPE PLAN.

D. SOIL SHALL BE FRESH, CLEAN NEW CROP SEED.

E. SOIL SHALL BE STRONGLY ROOTED, WEED AND DISEASE-FREE WITH A UNIFORM THICKNESS. SOD INSTALLED ON SLOPES GREATER THAN 4:1 SHALL BE PEGGED TO HOLD SOD IN PLACE.

F. ALL PLANTING BEDS SHALL BE MULCHED WITH A 2" THICK LAYER OF DOUBLE SHREDDED HARDWOOD BARK MULCH, UNLESS OTHERWISE STATED ON THE LANDSCAPE PLAN AND/OR DETAILS.

G. FERTILIZER:

I. FERTILIZER SHALL BE DELIVERED TO THE SITE MIXED AS SPECIFIED IN THE ORIGINAL UNOPENED STANDARD BAGS SHOWING WEIGHT, ANALYSIS AND NAME OF MANUFACTURER, FERTILIZER TEST PER TEST PER TON.

II. FOR THE PURPOSE OF BIDDING, ASSUME THAT FERTILIZER SHALL BE 10% NITROGEN, 6% PHOSPHORUS AND 4% POTASSIUM BY WEIGHT. A FERTILIZER SHOULD NOT BE SELECTED FOR THE PURPOSE OF BIDDING.

F. BAGS OF FERTILIZER:

I. ALL PLANTS SHALL IN ALL CASES CONFORM TO THE REQUIREMENTS OF THE "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60.1), LATEST EDITION, AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION (FORMERLY THE AMERICAN ASSOCIATION OF NURSERYMEN).

II. IN ALL CASES, BOTANICAL NAMES SHALL TAKE PRIORITY OVER COMMON NAMES FOR ANY AND ALL PLANT MATERIAL.

III. PLANTS SHALL BE LEGIBLY TAGGED WITH THE PROPER NAME AND SIZE. TAGS SHALL BE REMOVED AT LEAST ONE PLANT OF EACH SPECIES FOR VERIFICATION PURPOSES DURING PLANTING.

IV. TREES WITH BARK OF THE BARK SUN SCALES, DISFIGURATION OR FRESH CUTS OF LIMBS OVER 1/2", WHICH HAVE NOT BEEN COMPLETELY CALLED, SHALL BE REJECTED.

PLANTS SHALL NOT BE BOUD WITH ROOTS OR ROPE AT ANY TIME SO AS TO DAMAGE THE BARK OR BREAK BRANCHES.

V. TREES AND SHRUBS SHALL BE MEASURED TO THE AVERAGE HEIGHT OR SPREAD OF THE SHRUB, AND NOT TO THE LONGEST BRANCH.

VI. TREES AND SHRUBS SHALL BE HANDLED WITH CARE BY THE ROOT BALL.

7. GENERAL WORK PROCEDURES:
A. CONTRACTOR TO UTILIZE WORKMAN-LIKE INDUSTRY STANDARDS IN PERFORMING ALL LANDSCAPE CONSTRUCTION. THE SITE IS TO BE LEFT IN A CLEAN STATE AT THE END OF EACH WORKDAY. ALL DEBRIS, MATERIALS AND TOOLS SHALL BE PROPERLY STORED, STOCKPILED OR DISPOSED OF.

B. WASTE MATERIALS AND DEBRIS SHALL BE COMPLETELY DISPOSED OF AT THE CONTRACTOR'S EXPENSE. DEBRIS SHALL NOT BE BURIED, INCLUDING ORGANIC MATERIALS, BUT SHALL BE REMOVED COMPLETELY FROM THE SITE.

4. SITE PREPARATIONS:
A. BEFORE AND DURING PRELIMINARY GRADING AND FINISHED GRADING, ALL WEEDS AND GRASSES SHALL BE DUG OUT BY THE ROOTS AND DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES OUTLINED HEREIN.

B. EXISTING TREES AND SHRUBS SHALL BE PRUNED TO REMOVE ANY DAMAGED BRANCHES. THE ENTIRE LINE OF ANY DAMAGED BRANCH SHALL BE CUT OFF AT THE BRANCH COLLAR.

C. CUTTING SURFACES SHALL BE SMOOTH AND STRAIGHT. EXPOSED ROOTS SHALL BE BURIED WITH CLEAN, SHARP TOOLS AND TOPSOIL SHALL BE PLACED AROUND THE REMAINDERS OF THE ROOTS. EXISTING TREES SHALL BE MONITORED ON A REGULAR BASIS FOR ADDITIONAL ROOT OR BRANCH DAMAGE AS A RESULT OF CONSTRUCTION. ROOTS SHALL NOT BE LEFT EXPOSED FOR MORE THAN ONE (1) DAY. CONTRACTOR SHALL WATER EXISTING TREES AS NEEDED TO PREVENT SHOCK OR DECLINE.

D. CONTRACTOR SHALL ARRANGE TO HAVE A UTILITY STAKE-OUT TO LOCATE ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY LANDSCAPE MATERIAL. UTILITY COMPANIES SHALL BE CONTACTED THREE (3) DAYS PRIOR TO THE BEGINNING OF THE WORK.

5. TREE PROTECTION:
A. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES TO REMAIN. A TREE PROTECTION ZONE SHALL BE ESTABLISHED AT THE DRIP LINE OR AT THE LIMIT OF CONSTRUCTION DISTURBANCE, WHICHEVER IS GREATER. LOCAL STANDARDS THAT MAY REQUIRE A MORE STRICT TREE PROTECTION ZONE SHALL BE HONORED.

B. A FORTY-EIGHT INCH (48") HIGH WOODEN SNOW FENCE OR ORANGE COLORED HIGH-DENSITY NYLON FENCE, OR APPROVED EQUIVALENT, ON STILTS, POSTS SHALL BE PLACED ALONG THE BOUNDARY OF THE TREE PROTECTION ZONE. POSTS SHALL BE LOCATED AT A MAXIMUM OF EIGHT FEET (8') ON CENTER OR AS INDICATED WITHIN THE TREE PROTECTION DETAIL.

C. WHEN THE TREE PROTECTION FENCING HAS BEEN INSTALLED, IT SHALL BE INSPECTED BY THE APPROVING AGENCY PRIOR TO REMOVAL, GRADING, TREE CLEARING OR ANY OTHER ACTION. THE FENCE ALONG THE TREE PROTECTION ZONE SHALL BE REGULARLY INSPECTED BY THE LANDSCAPE CONTRACTOR AND MAINTAINED UNTIL ALL CONSTRUCTION ACTIVITY HAS BEEN COMPLETED.

D. AT NO TIME SHALL MACHINERY, DEBRIS, FALLEN TREES OR OTHER MATERIALS BE PLACED, STOCKPILED OR LEFT STANDING IN THE TREE PROTECTION ZONE.

6. SOIL MODIFICATIONS:
A. CONTRACTOR SHALL ATTAIN A SOIL TEST FOR ALL AREAS OF THE SITE PRIOR TO CONDUCTING ANY PLANTING. SOIL TESTS SHALL BE PERFORMED BY A CERTIFIED SOIL LABORATORY.

B. LANDSCAPE CONTRACTOR SHALL REPORT ANY SOIL OR ORGANIC CONDITIONS CONSIDERED DETERMINAL TO THE GROWTH OF PLANT MATERIAL. SOIL MODIFICATIONS, AS SPECIFIED HEREIN, MAY NEED TO BE CONDUCTED BY THE LANDSCAPE CONTRACTOR DEPENDING ON SITE CONDITIONS.

C. THE FOLLOWING AMENDMENTS AND QUANTITIES ARE APPROXIMATE AND ARE FOR BIDDING PURPOSES ONLY. COMPOSITION OF AMENDMENTS SHOULD BE REVISED DEPENDING ON THE OUTCOME OF A TOPSOIL ANALYSIS PERFORMED BY A CERTIFIED SOIL LABORATORY.

I. TO INCREASE SOIL'S ABILITY TO RETAIN WATER AND NUTRIENTS, THOROUGHLY TILT ORGANIC MATTER INTO THE TOP 4-12" DECOMPOSED PINE BARK, COMPOSED LEAF MULCH OR 3 PARTS PEAT MOSS. PRODUCTS SHOULD BE COMPOSED TO A DARK COLOR AND BE FREE OF IDENTIFIABLE LEAF OR WOOD STRUCTURE. AVOID MATERIAL WITH A HIGH HUMUS.

II. TO INCREASE DRAINAGE, MODIFY HEAVY CLAY OR SILT MORE THAN 40% CLAY OR SILT BY ADDING COMPOSED PINE BARK (UP TO 30% BY VOLUME) AND/OR AGRICULTURAL GYPSUM.

III. MODIFY EXTREMELY SANDY SOILS (MORE THAN 85%) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LUMPS UP TO 30% OF THE TOTAL MIX.

7. FINISHED GRADING:
A. UNLESS OTHERWISE CONTRACTED, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF TOPSOIL, AND THE ESTABLISHMENT OF FINE-GRADING WITHIN THE DISTURBED AREA OF THE SITE.

B. LANDSCAPE CONTRACTOR SHALL VERIFY THAT SUBGRADE FOR INSTALLATION OF TOPSOIL HAS BEEN ESTABLISHED. THE SUBGRADE OF THE SITE MUST MEET THE FINISHED GRADE LESS THE REQUIRED TOPSOIL THICKNESS ("t").

C. ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN AND UNIFORM PLANE WITH NO APPRECIATE CHANGE OF SURFACE AS DEPICTED WITHIN THIS SET OF CONSTRUCTION PLANS, UNLESS OTHERWISE DIRECTED BY THE PROJECT ENGINEER OR LANDSCAPE ARCHITECT.

D. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER IN AND AROUND THE PLANTING BEDS. STANDING WATER SHALL NOT BE PERMITTED IN PLANTING BEDS.

8. TOPSOIL:
A. CONTRACTOR SHALL PROVIDE A 2" THICK MINIMUM LAYER OF TOPSOIL, OR AS DIRECTED BY THE LOCAL ORDINANCE OR CLIENT, IN ALL PLANTING AREAS. TOPSOIL SHOULD BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM LAYER TO ACHIEVE THE DESIRED COMPACTED THICKNESS.

B. ON-SITE TOPSOIL MAY BE USED TO SUPPLEMENT THE TOTAL AMOUNT REQUIRED. TOPSOIL FROM THE SITE MAY BE REJECTED IF IT HAS NOT BEEN PROPERLY REMOVED, STORED AND PROTECTED PRIOR TO CONSTRUCTION.

C. CONTRACTOR SHALL FURNISH THROUGH THE APPROVING AGENCY AN ANALYSIS OF BOTH REMOVED AND ON-SITE TOPSOIL TO BE UTILIZED IN ALL PLANTING AREAS. THE PH AND NUTRIENT LEVELS MAY NEED TO BE ADJUSTED THROUGH SOIL MODIFICATIONS AS NEEDED TO ACHIEVE THE REQUIRED LEVELS AS SPECIFIED IN THE MATERIALS SECTION ABOVE.

9. STANDARD FOR PERMANENT STABILIZATION WITH SOD

METHODS AND MATERIALS

1. CULTIVATED SOD IS PREFERRED OVER NATIVE OR PASTURE SOD. SPECIFY "CERTIFIED SOD," OR OTHER HIGH QUALITY CULTIVATED SOD.

2. SOD SHOULD BE FREE OF WEEDS AND UNDESIRABLE COARSE WEEDY GRASSES.

3. SOD SHOULD BE OF UNIFORM THICKNESS, APPROXIMATELY 6" INCH, PLUS OR MINUS 1/4 INCH, AT TIME OF CUTTING. (EXCLUDES TOP GROWTH.)

4. SOD SHOULD BE VIGOROUS AND DENSE, AND BE ABLE TO RETAIN ITS OWN SHAPE AND WEIGHT WHEN SUSPENDED VERTICALLY WITH A FIRM GRASP FROM THE UPPER 10 PERCENT OF THE STRIP. BROKEN PADS OR TORN AND UNVEN ENDS WILL NOT BE ACCEPTABLE.

5. FOR DRAUGHT SITES, A SOD OF KENTUCKY 31 TALL FESCUE AND BLUEGRASS IS PREFERRED OVER A STRAIGHT BLUEGRASS SOD.

6. ONLY FRESH, UNHEATED SOD SHOULD BE USED. SOD SHOULD BE HARVESTED, DELIVERED, AND INSTALLED WITHIN A PERIOD OF 36 HOURS.

7. SITE PREPARATION:
A. GRADE AS NEEDED AND POSSIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR LIMING, FERTILIZING, AND SOIL PREPARATION. ALL GRADING SHOULD BE DONE IN ACCORDANCE WITH STANDARD FOR LAND GRADING.

B. INSTALL NEEDED EROSION CONTROL PRACTICES AND FACILITIES, SUCH AS INTERCEPTOR DITCHES, DIKES AND TERRACES, EROSION STOPS, AND DESILTING BASINS.

II. SOIL PREPARATION:
A. APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TESTS SUCH AS THOSE OFFERED BY UNIVERSITIY SOIL TESTING LABORATORY. SOIL SAMPLE MAILERS ARE AVAILABLE FROM THE LOCAL COOPERATIVE EXTENSION SERVICE. IF SOIL TESTS ARE NOT PERFORMED ON-SITE, OR THERE IS NO TIME, THE PERTICULAR FERTILIZER MAY BE APPLIED AT A RATE OF 300 POUNDS PER ACRES OR 11 POUNDS PER 1,000 SQUARE FEET OF 10-10-10 OR EQUIVALENT. IN ADDITION, 300 POUNDS SODA ASH PER ACRE OR EQUIVALENT OF SLOW RELEASE NITROGEN MAY BE USED IN LIEU OF TOPDRESSING. APPLY LIMESTONE (EQUVALNT TO 50 PERCENT CALCIUM PLUS MAGNESIUM OXIDES) AS FOLLOWS:

SOD TEXTURE TONS/ACRE LBS/1000 SQ. FT
CLAY, LOAM, AND HIGH ORGANIC SOIL 4 180
SANDY LOAM, LOAM, SILT, LOAM 3 135
LOAMY SAND, SAND 2 90

PULVERIZED LIMESTONE IS PREFERRED FOR MOST SODS SOUTH OF THE NEW BRUNSWICK-TRENTON LINE.

B. WORK LIMING AND FERTILIZER INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC, SPRING TOOTH HARROW, OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DISCING OPERATION SHOULD BE ON THE GENERAL CONTOUR. CONTINUE TILLING UNTIL ALL OTHER DEBRIS, SUCH AS WIRE, CABLE, TREE ROOTS, PIECES OF CONCRETE, CLOUDS, LUMPS, OR OTHER UNDESIRABLE MATERIAL.

C. INSPECT SITE JUST BEFORE SEEDING. IF TRAFFIC HAS LEFT THE SOIL COMPACTED, THE AREA MUST BE RE-TILLED AND FIRMED AS ABOVE.

III. SOD PLACEMENT:
A. SOD STRIPS SHOULD BE LAYED ON THE CONTOUR, NEVER UP AND DOWN THE SLOPE, STARTING AT THE BOTTOM OF THE SLOPE AND WORKING UP, ON STEEP SLOPES, THE USE OF RODDERS WILL FACILITATE THE WORK AND PREVENT DAMAGE TO THE SOD. DURING PERIODS OF HIGH TEMPERATURE, LIGHTLY IRRIGATE THE SOIL IMMEDIATELY PRIOR TO LAYING THE SOD.

B. PLACE SOD STRIPS WITH SNUG, EVEN JOINTS THAT ARE STAGGERED. OPEN SPACES INVITE EROSION.

C. ROLL OR TAMP SOD IMMEDIATELY FOLLOWING PLACEMENT TO INSURE SOIL CONTACT OF ROOT MAT AND SOIL SURFACE. DO NOT OVERLAP SOD. ALL JOINTS SHOULD BE BUTTED TIGHTLY TO PREVENT Voids WHICH COULD CAUSE LEAKING OF THE ROOTS.

D. ON SLOPES GREATER THAN 10% SOD SHOULD BE LAYED 6" TO 10 INCHES LONG BY 34 INCH WIDE.

E. SURFACE WATER CANNOT ALWAYS BE DIVERTED FROM FLOWING OVER THE FACE OF THE SLOPE, BUT A CAPPING STRIP OF HEAVY DYE OR PLASTIC NETTING, SECURELY SEALED, ALONG THE CROWN OF THE SLOPE AND EDGES WILL PROVIDE EXTRA PROTECTION AGAINST LIFTING AND UNDERCUTTING OF SOD. THE SAME TECHNIQUE CAN BE USED TO ANCHOR SOD IN WATER CARRYING CHANNELS AND OTHER CRITICAL AREAS. WIRE STAPLES MAY BE USED TO ANCHOR NETTING IN CHANNELS.

F. IMMEDIATELY FOLLOWING INSTALLATION SOD SHOULD BE WATERED UNTIL MOISTURE PENETRATES THE SOIL LAYER BEHIND SOD TO A DEPTH OF 4 INCHES. MANTAIN OPTIMUM MOISTURE FOR AT LEAST TWO WEEKS, AND CONTINUE IRRIGATION THROUGHOUT ENTIRE SEASON.

G. TOPDRESSING, IF SLOW RELEASE NITROGEN (300 POUNDS 30-0-0 PER ACRE OR EQUIVALENT) IS USED IN ADDITION TO SUGGESTED FERTILIZER, THEN A FOLLOW-UP OF TOP DRESSING IS NOT MANDATORY.

H. SPRING INSTALLATION OF SOD WILL REQUIRE AN APPLICATION OF FERTILIZER SUCH AS 10-20-10 OR EQUIVALENT AT 500 POUNDS PER ACRE OR 11 POUNDS PER 1,000 SQUARE FEET BETWEEN MARCH 15 AND APRIL 1.

I. FALL INSTALLATION OF SOD WILL REQUIRE THE ABOVE BETWEEN SEPTEMBER 1 AND OCTOBER 1.

J. APPROVED BY THE COMMUNITY DEVELOPMENT BOARD

DATE: _____

P. ALL LAWN AREAS TO BE CULTIVATED TO A DEPTH OF SIX INCHES (6"). ALL DEBRIS EXPOSED FROM EXCAVATION AND CULTIVATION SHALL BE DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES SECTION ABOVE. THE FOLLOWING SHALL BE TILLED INTO THE TOP FOUR INCHES (4") IN TWO DIRECTIONS (QUANTITIES BASED ON A 1,000 SQUARE FOOT AREA FOR DHD PURPOSES ONLY (SEE SPECIFICATION 6.4)).

I. 12 POUNDS SODA ASH OR APPROVED SOIL CONDITIONER/FERTILIZER.

II. 30 POUNDS NITRO-POT (COURSE) 30-8-0 BLUE CHIP OR APPROVED NITROGEN FERTILIZER.

III. THE SPREADING OF TOPDRESSING SHALL NOT BE CONDUCTED UNDER MUDDY OR FROZEN CONDITIONS.

IV. ANY SOIL OR MULCH SHALL BE PLANTED ON THE DAY OF SODDING. IN THE EVENT THAT THIS IS NOT POSSIBLE, LANDSCAPE CONTRACTOR SHALL PROTECT UNPLANTED PLANT MATERIAL. PLANTS SHALL NOT BE SODDED OR PLANTED FOR LONGER THAN THREE DAYS SHALL BE HELD IN WITH TOPSOIL OR MULCH TO HELP PRESERVE ROOT MOISTURE.

V. SOD SHALL BE STRONGLY ROOTED, WEED AND DISEASE-FREE WITH A UNIFORM THICKNESS. SOD INSTALLED ON SLOPES GREATER THAN 4:1 SHALL BE PEGGED TO HOLD SOD IN PLACE.

VI. ALL PLANTING BEDS SHALL BE MULCHED WITH A 2" THICK LAYER OF DOUBLE SHREDDED HARDWOOD BARK MULCH, UNLESS OTHERWISE STATED ON THE LANDSCAPE PLAN AND/OR DETAILS.

VII. FERTILIZER SHALL BE DELIVERED TO THE SITE MIXED AS SPECIFIED IN THE ORIGINAL UNOPENED STANDARD BAGS SHOWING WEIGHT, ANALYSIS AND NAME OF MANUFACTURER, FERTILIZER TEST PER TEST PER TON.

VIII. FOR THE PURPOSE OF BIDDING, ASSUME THAT FERTILIZER SHALL BE 10% NITROGEN, 6% PHOSPHORUS AND 4% POTASSIUM BY WEIGHT. A FERTILIZER SHOULD NOT BE SELECTED FOR THE PURPOSE OF BIDDING.

V. BAGS OF FERTILIZER:

I. ALL PLANTS SHALL IN ALL CASES CONFORM TO THE REQUIREMENTS OF THE "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60.1), LATEST EDITION, AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION (FORMERLY THE AMERICAN ASSOCIATION OF NURSERYMEN).

II. IN ALL CASES, BOTANICAL NAMES SHALL TAKE PRIORITY OVER COMMON NAMES FOR ANY AND ALL PLANT MATERIAL.

III. PLANTS SHALL BE LEGIBLY TAGGED WITH THE PROPER NAME AND SIZE. TAGS SHALL BE REMOVED AT LEAST ONE PLANT OF EACH SPECIES FOR VERIFICATION PURPOSES DURING PLANTING.

IV. TREES WITH BARK OF THE BARK SUN SCALES, DISFIGURATION OR FRESH CUTS OF LIMBS OVER 1/2", WHICH HAVE NOT BEEN COMPLETELY CALLED, SHALL BE REJECTED.

PLANTS SHALL NOT BE BOUD WITH ROOTS OR ROPE AT ANY TIME SO AS TO DAMAGE THE BARK OR BREAK BRANCHES.

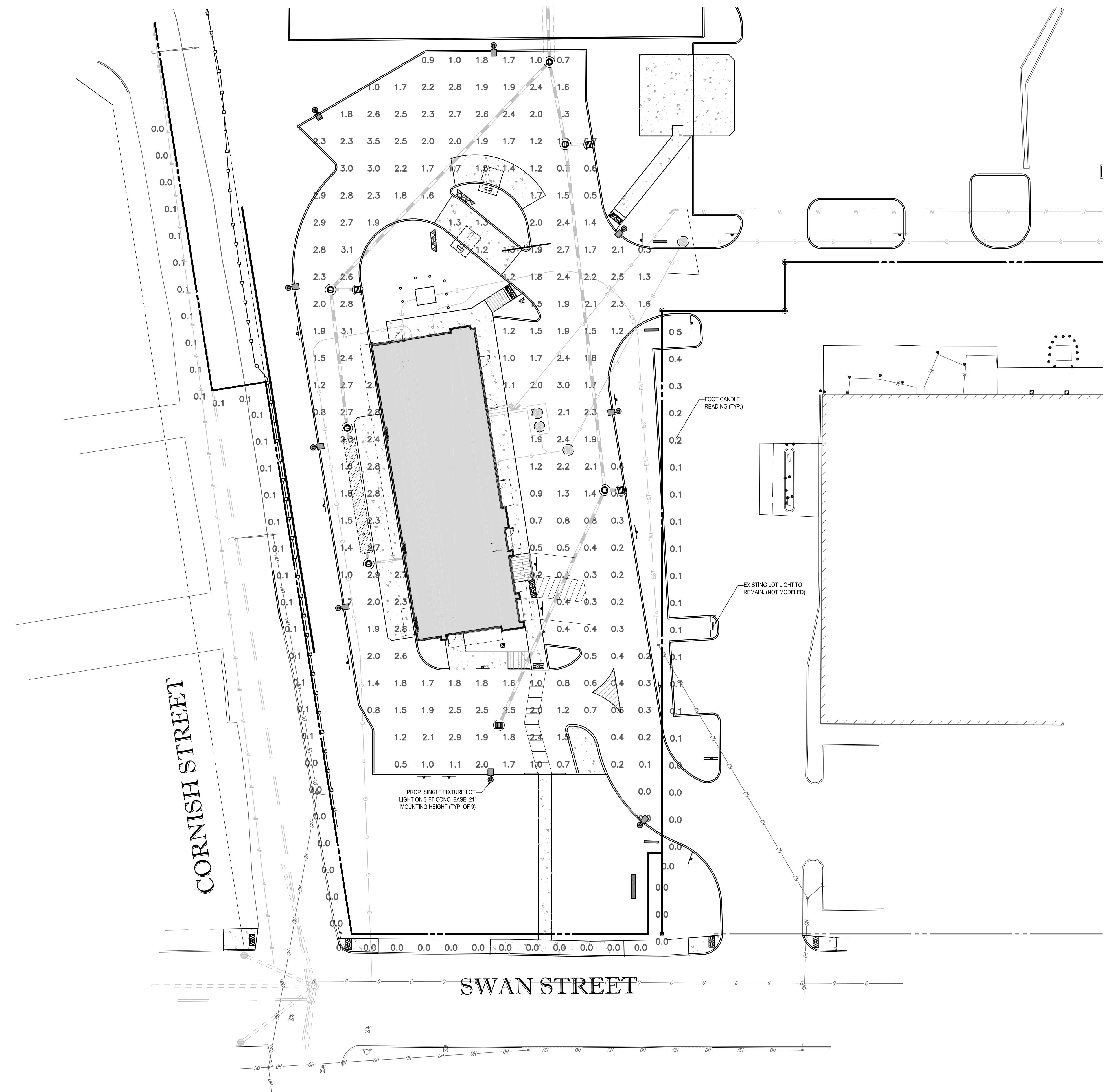
V. TREES AND SHRUBS SHALL BE HANDLED WITH CARE BY THE ROOT BALL.

6. GENERAL WORK PROCEDURES:
A. CONTRACTOR TO UTILIZE WORKMAN-LIKE INDUSTRY STANDARDS IN PERFORMING ALL LANDSCAPE CONSTRUCTION. THE SITE IS TO BE LEFT IN A CLEAN STATE AT THE END OF EACH WORKDAY. ALL DEBRIS, MATERIALS AND TOOLS SHALL BE PROPERLY STORED, STOCKPILED OR DISPOSED OF.

B. WASTE MATERIALS AND DEBRIS SHALL BE COMPLETELY DISPOSED OF AT THE CONTRACTOR'S EXPENSE. DEBRIS SHALL NOT BE BURIED, INCLUDING ORGANIC MATERIALS, BUT SHALL BE REMOVED COMPLETELY FROM THE SITE.

4. SITE PREPARATIONS:
A. BEFORE AND DURING PRELIMINARY GRADING AND FINISHED GRADING, ALL WEEDS AND GRASSES SHALL BE DUG OUT BY THE ROOTS AND DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES OUTLINED HEREIN.

B. EXISTING TREES AND SHRUBS SHALL BE PRUNED TO REMOVE ANY DAMAGED BRANCHES. THE ENTIRE LINE OF ANY DAMAGED BRANCH SHALL BE CUT OFF AT THE BRANCH COLLAR.</p



LIGHTING NOTES:

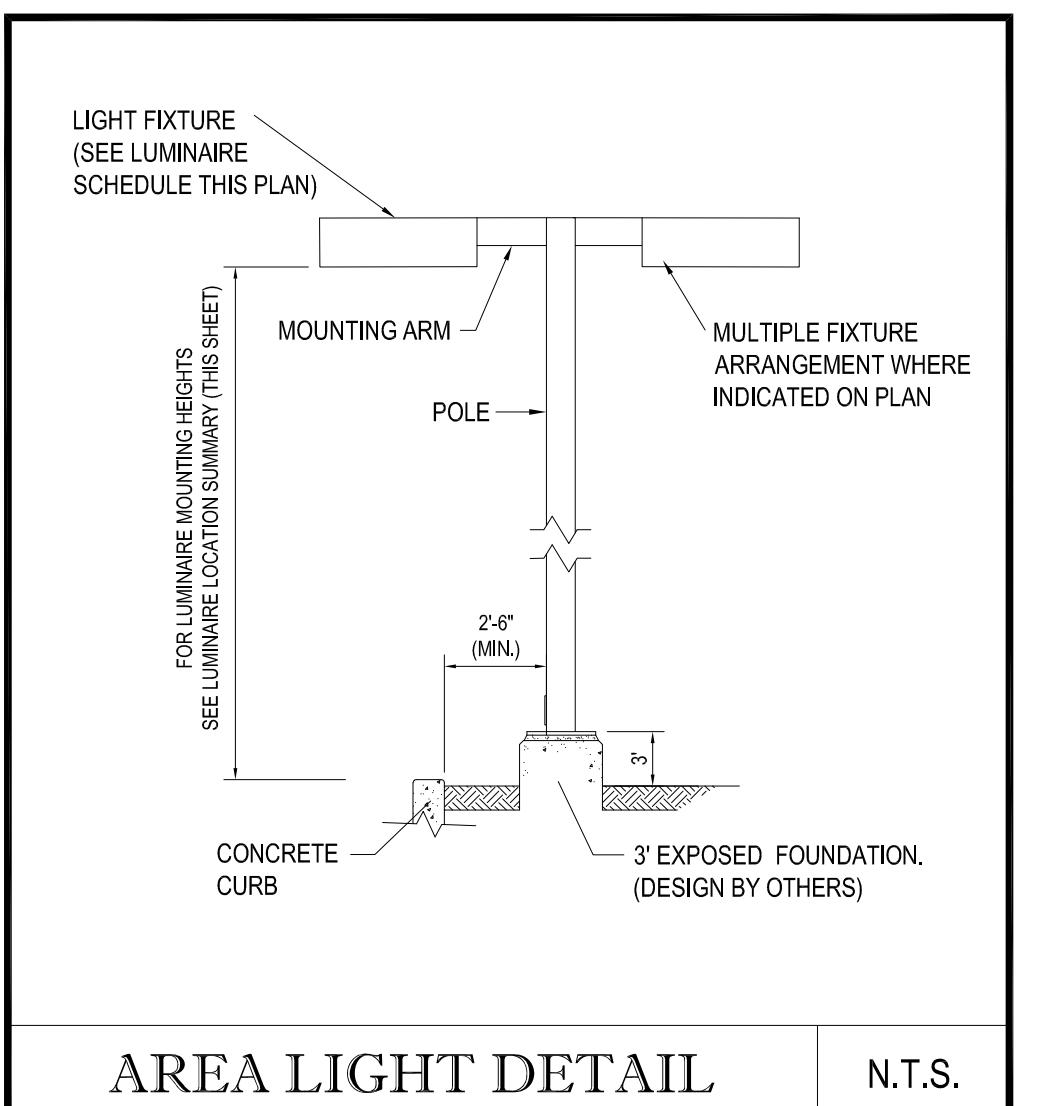
1. THIS LIGHTING PLAN DEPICTS PROPOSED SUSTAINED ILLUMINATION LEVELS CALCULATED USING DATA PROVIDED BY THE NOTED MANUFACTURER(S). ACTUAL SUSTAINED SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINAIRES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, THE SERVICE LIFE OF EQUIPMENT AND LUMINAIRES AND OTHER RELATED VARIABLE FIELD CONDITIONS.
2. THE LIGHT LOSS FACTORS USED IN THESE LIGHTING CALCULATIONS ARE 0.90 FOR ALL LED LUMINAIRES, 0.80 FOR ALL HIGH PRESSURE SODIUM LUMINAIRES OR 0.72 FOR ALL METAL HALIDE LUMINAIRES UNLESS OTHERWISE SPECIFIED. THESE FACTORS ARE INDICATIVE OF TYPICAL LIGHTING INDUSTRY MODELING STANDARDS.
3. THE LIGHTING VALUES AND CALCULATION POINTS DEPICTED ON THIS PLAN ARE ALL ANALYZED ON A HORIZONTAL GEOMETRIC PLANE AT ELEVATION ZERO (GROUND LEVEL) UNLESS OTHERWISE NOTED. THE VALUES DEPICTED ON THIS PLAN ARE IN FOOTCANDLES.
4. THE LUMINAIRES, LAMPS AND LENSES MUST BE REGULARLY INSPECTED/MAINTAINED TO ENSURE THAT THEY FUNCTION PROPERLY. THIS WORK SHOULD INCLUDE, BUT NOT BE LIMITED TO, FREQUENT VISUAL INSPECTIONS, CLEANING OF LENSES, AND RELAMPING (IF NECESSARY) AT LEAST ONCE EVERY SIX (6) MONTHS. FAILURE TO FOLLOW THE ABOVE STEPS COULD CAUSE THE LUMINAIRES, LAMPS AND LENSES TO FAIL PROPERLY TO FUNCTION.
5. WHERE APPLICABLE, THE EXISTING CONDITION LIGHT LEVELS ILLUSTRATED ARE REPRESENTATIVE OF AN APPROXIMATION UTILIZING LABORATORY DATA FOR SIMILAR FIXTURES, UNLESS ACTUAL FIELD MEASUREMENTS ARE TAKEN WITH A LIGHT METER AND ARE, CONSEQUENTLY, APPROXIMATIONS ONLY. DUE TO FACTORS SUCH AS FIXTURE MAINTENANCE, EQUIPMENT TOLERANCES, WEATHER CONDITIONS, ETC, ACTUAL LIGHT LEVELS MAY DIFFER. EXISTING LIGHT LEVELS DEPICTED ON THIS PLAN SHOULD BE CONSIDERED APPROXIMATE.
6. THIS LIGHTING PLAN IS INTENDED TO SHOW THE LOCATIONS AND TYPE OF LUMINAIRES, ONLY. POWER SYSTEM, CONDUITS, WIRING, VOLTAGES AND OTHER ELECTRICAL COMPONENTS ARE THE RESPONSIBILITY OF THE ARCHITECT, MEP AND/OR LIGHTING CONTRACTOR, AS INDICATED IN THE CONSTRUCTION CONTRACT DOCUMENTS. THESE ITEMS MUST BE INSTALLED AS REQUIRED BY STATE AND LOCAL REGULATIONS. LIGHT POLE BASES ARE THE RESPONSIBILITY OF THE STRUCTURAL ENGINEER, AS INDICATED IN THE CONSTRUCTION CONTRACT DOCUMENTS. CONTRACTOR IS RESPONSIBLE FOR INSTALLING LIGHTING FIXTURES AND APPURTENANCES IN ACCORDANCE WITH ALL APPLICABLE BUILDING AND ELECTRICAL CODES AND ALL OTHER APPLICABLE RULES, REGULATIONS, LAWS AND STATUTES.
7. CONTRACTOR MUST BRING TO DESIGNER'S ATTENTION, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, ANY LIGHT LOCATIONS THAT CONFLICT WITH DRAINAGE, UTILITIES, OR OTHER STRUCTURES.
8. IT IS LIGHTING CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE PROJECT ARCHITECT OR OWNER REGARDING THE POWER SOURCE(S) FROM WITHIN THE BUILDING, AND TIMING DEVICES NECESSARY TO MEET THE DESIGN INTENT.
9. THE LIGHTING CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CONTRACTOR REQUIREMENTS INDICATED IN THE SITE PLAN, INCLUDING BUT NOT LIMITED TO, GENERAL NOTES, GRADING AND UTILITY NOTES, SITE SAFETY, AND ALL GOVERNMENTAL RULES, LAWS, ORDINANCES, REGULATIONS AND THE LIKE.
10. THE CONTRACTOR MUST VERIFY THAT INSTALLATION OF LIGHTING FIXTURES COMPLIES WITH THE REQUIREMENTS FOR SEPARATION FROM OVERHEAD ELECTRICAL WIRES PER STATE REGULATIONS.
11. WHEN A BANK ATM IS INCLUDED IN THE PLAN, THE LIGHTING DESIGN REPRESENTS BOHLER'S UNDERSTANDING AND INTERPRETATION OF THE REGULATORY LIGHTING LEVELS INTENDED BY PUBLISHED STANDARDS.
12. UPON OWNER'S ACCEPTANCE OF THE COMPLETED PROJECT, THE OWNER SHALL BE RESPONSIBLE FOR ALL MAINTENANCE, SERVICING, REPAIR AND INSPECTION OF THE LIGHTING SYSTEM AND ALL OF ITS COMPONENTS AND RELATED SYSTEMS, TO ENSURE ADEQUATE LIGHTING LEVELS ARE PRESENT AND FUNCTIONING AT ALL TIMES.
13. LIGHTING LEVELS INDICATED ON THIS PLAN ARE TAKEN FROM PLAN PREPARED BY SECURITY LIGHTING SYSTEMS, ENTITLED "POINT-BY-POINT FOOTCANDLE PLOT", DRAWING NUMBER 1PCP283891C AND DATED 1/28/15

NUMERIC SUMMARY							
BEL	CALCTYPE	UNITS	AVG	MAX	MIN	AVG/MIN	MAX/MIN
YED SURFACE READINGS	ILLUMINANCE	FC	1.6	3.5	0.0	n/a	n/a
OPERTY LINE READINGS	ILLUMINANCE	FC	0.1	0.5	0.0	n/a	n/a

LUMINAIRE SCHEDULE					
SYMBOL	QTY	ARRANGEMENT	LUMENS	LLF	DESCRIPTION
	9	(9) SINGLE	110,000	0.67	VP-S-48NB-110-5K-T4-UNV-RA-**-BLC SSP-4118-GL-**-TT (4") POLE TYPE*. MOUNTING HEIGHT 21'

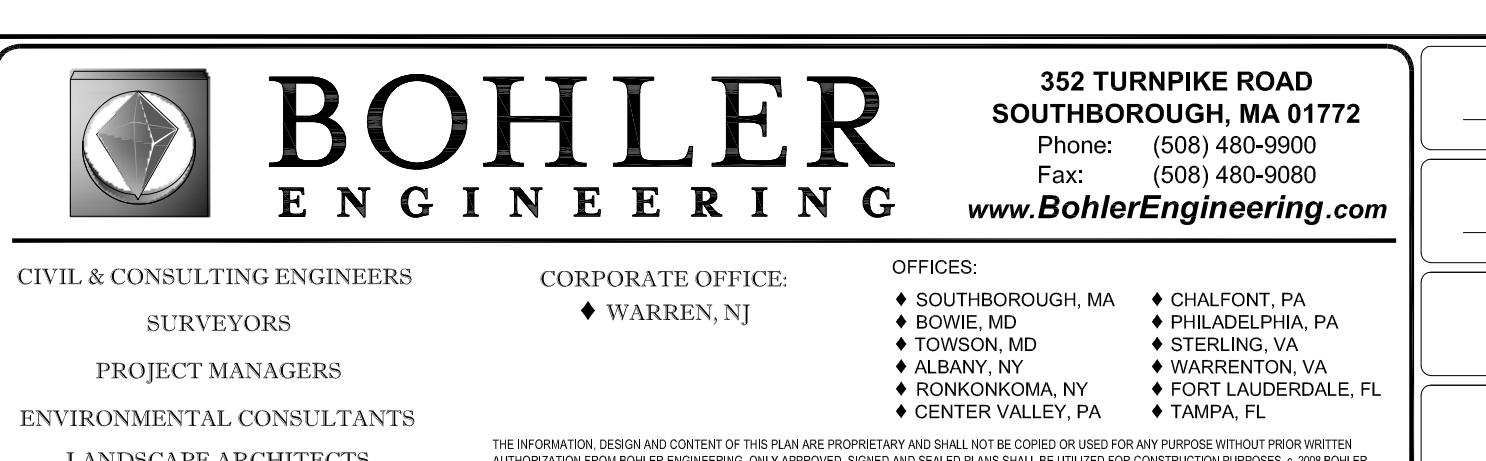
PROJECT WIND LOAD CRITERIA BASED ON: ASCE 7-10 WIND SPEEDS (3-SEC PEAK GUST MPH) 50
YEAR MEAN RECURRENCE INTERVAL. FOR AREAS WHERE THE WIND LOAD CRITERIA EXCEEDS THIS
WIND LOAD, PLEASE CONSULT FACTORY FOR PROPER POLE SPECIFICATION AND MODEL NUMBER.

SPECIFY COLOR



AREA LIGHT DETAIL.

**HIS PLAN TO BE UTILIZED FOR
LIGHTING PURPOSES ONLY**



**Know what's below.
Call before you dig.**

REV	DATE	DESCRIPTION	BY
1	1/22/14	REVISE SIGN TABLE	EGD
2	1/31/14	REVISIONS PER CITY STAFF	AWP
3	2/19/14	REVISIONS PER CITY STAFF	EGD
4	5/19/14	REPETITIVE PETITION SUBMISSION	EGD
5	7/15/14	ADDITIONAL DETAILING	EGD
6	9/2/14	REVISED PER COMMENT LETTER	BPB
7	10/27/14	REVISED PER STAFF COMMENT	EGD
8	1/16/15	REVISED PER STAFF COMMENT	EGD
9	1/21/15	ISSUED FOR COMMUNITY DEVELOPMENT BOARD ENDORSEMENT	EGD



J.A. KUCICH
 PROFESSIONAL ENGINEER
 MASSACHUSETTS LICENSE No. 41530
 CONNECTICUT LICENSE No. 26177
 RHODE ISLAND LICENSE No. 9616
 MAINE LICENSE No. 12553

McDonald's®

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF McDONALD'S CORPORATION
 AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.

PLAN APPROVALS

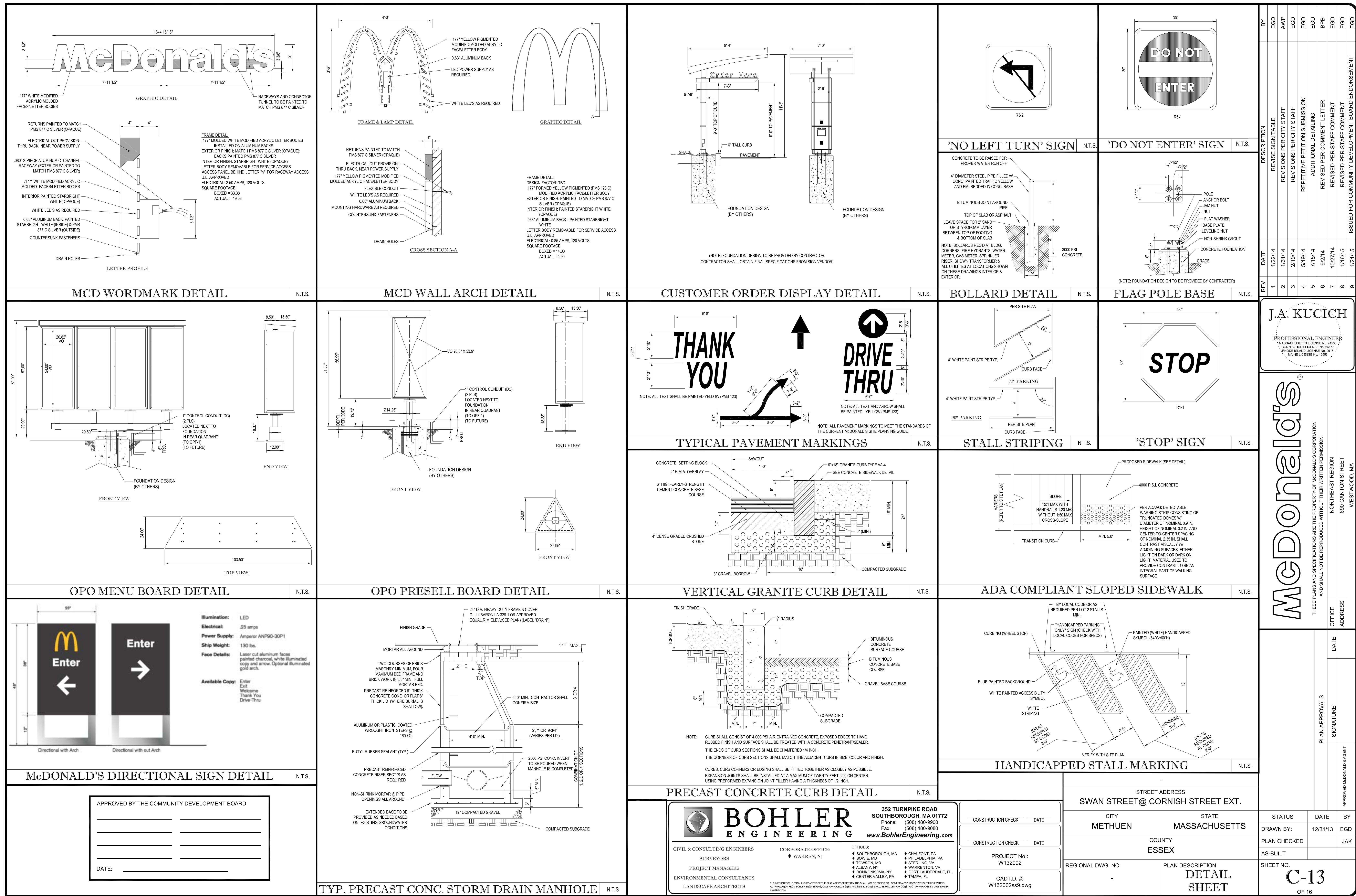
SIGNATURE	DATE	OFFICE	NORTHEAST REGION
McDONALD'S AGENT		ADDRESS	690 CANTON STREET WESTWOOD, MA

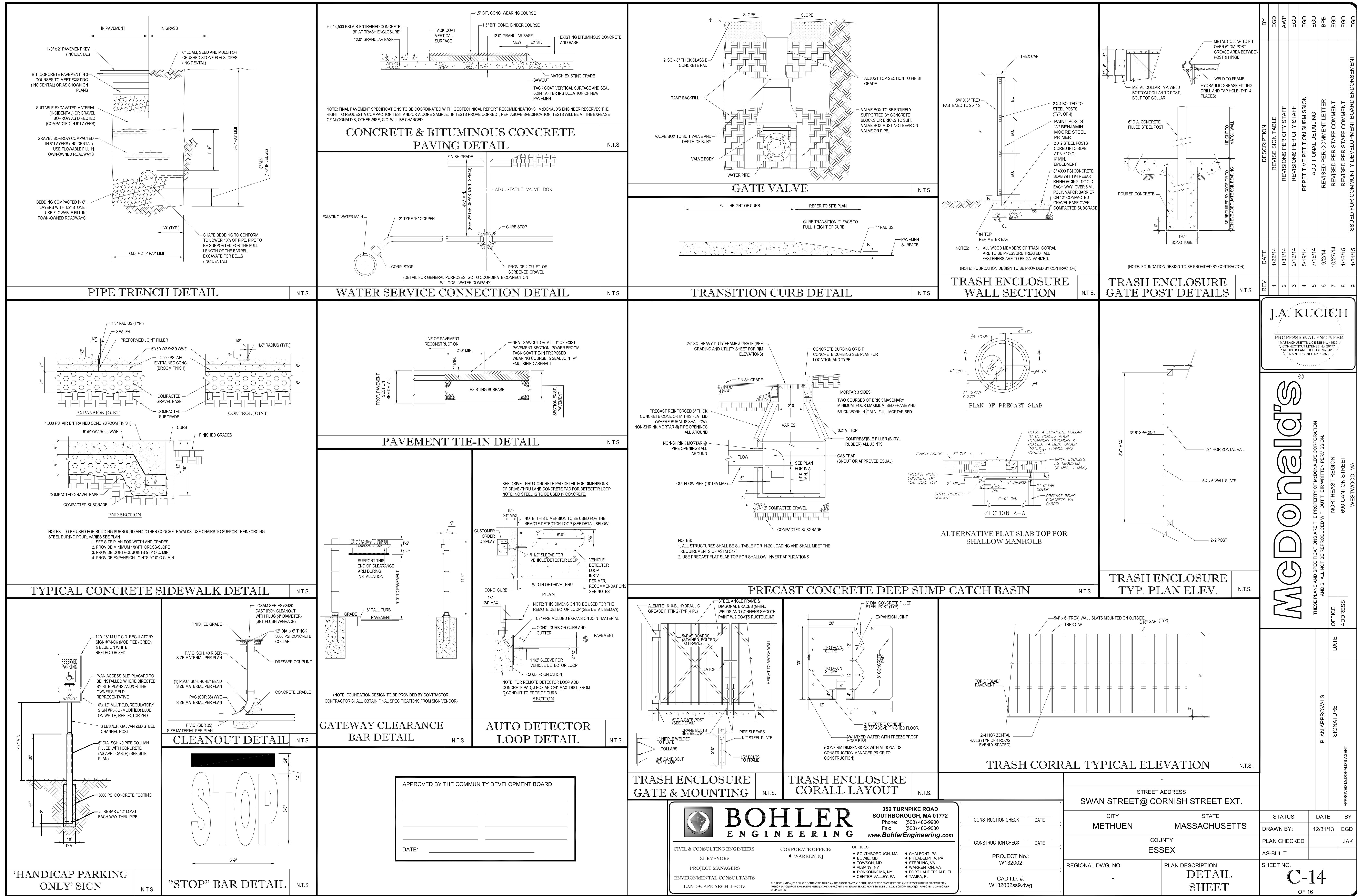
The image features a large, bold, black-outlined logo for McDonald's. The word "McDonald's" is written in a distinctive, rounded, sans-serif font. The 'M' is capitalized and has a small 'Mc' script above it. The 's' is also capitalized and has a small 's' script below it. A registered trademark symbol (®) is positioned at the top right of the 's'. The entire logo is set against a white background with a thin black border.

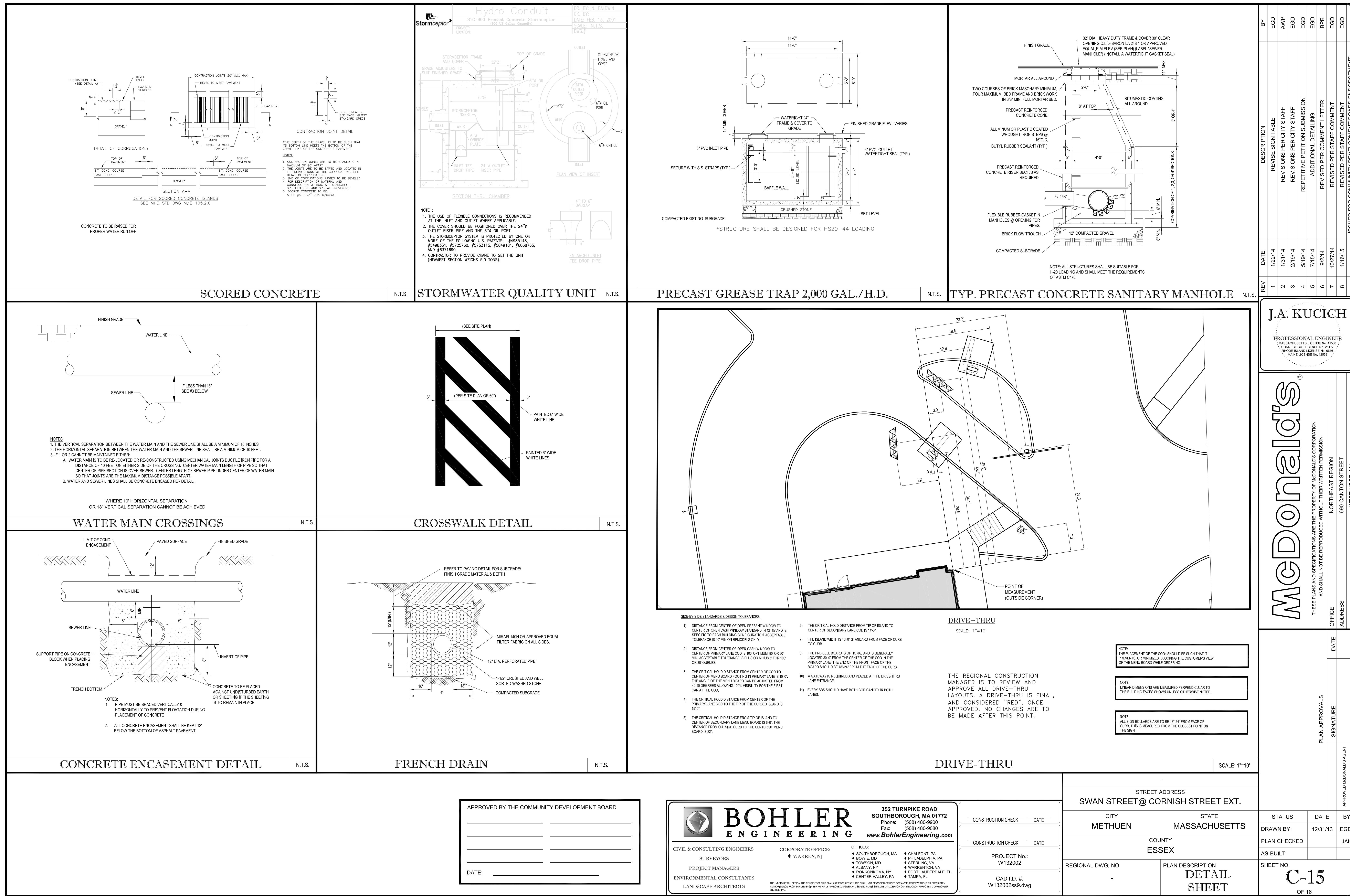
APPROVALS	DATE	OFFICE
ATURE	DATE	ADVISOR

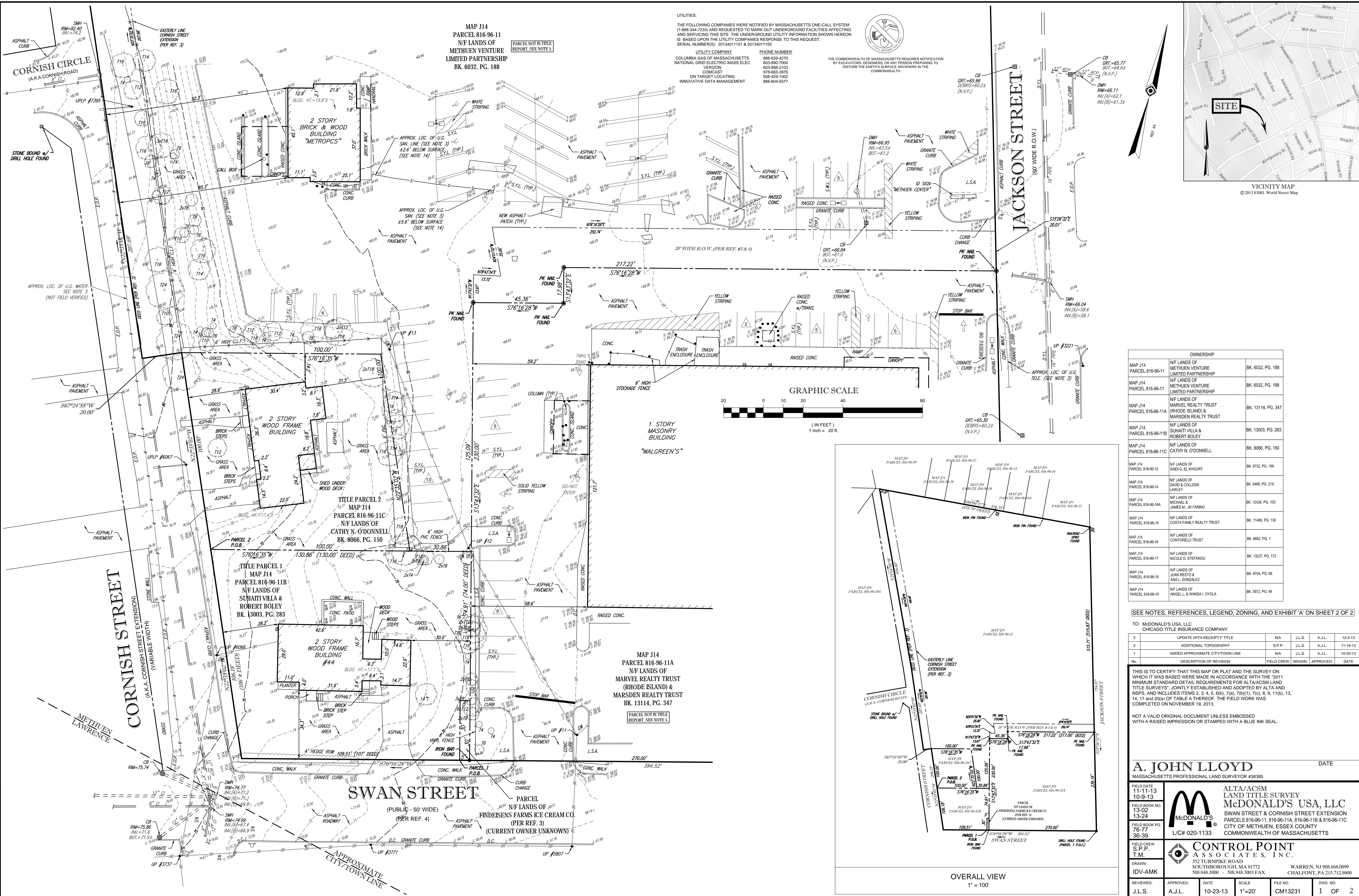
	PLAN APPROVED	SIGNATURE
		APPROVED McDONALD'S AGENT

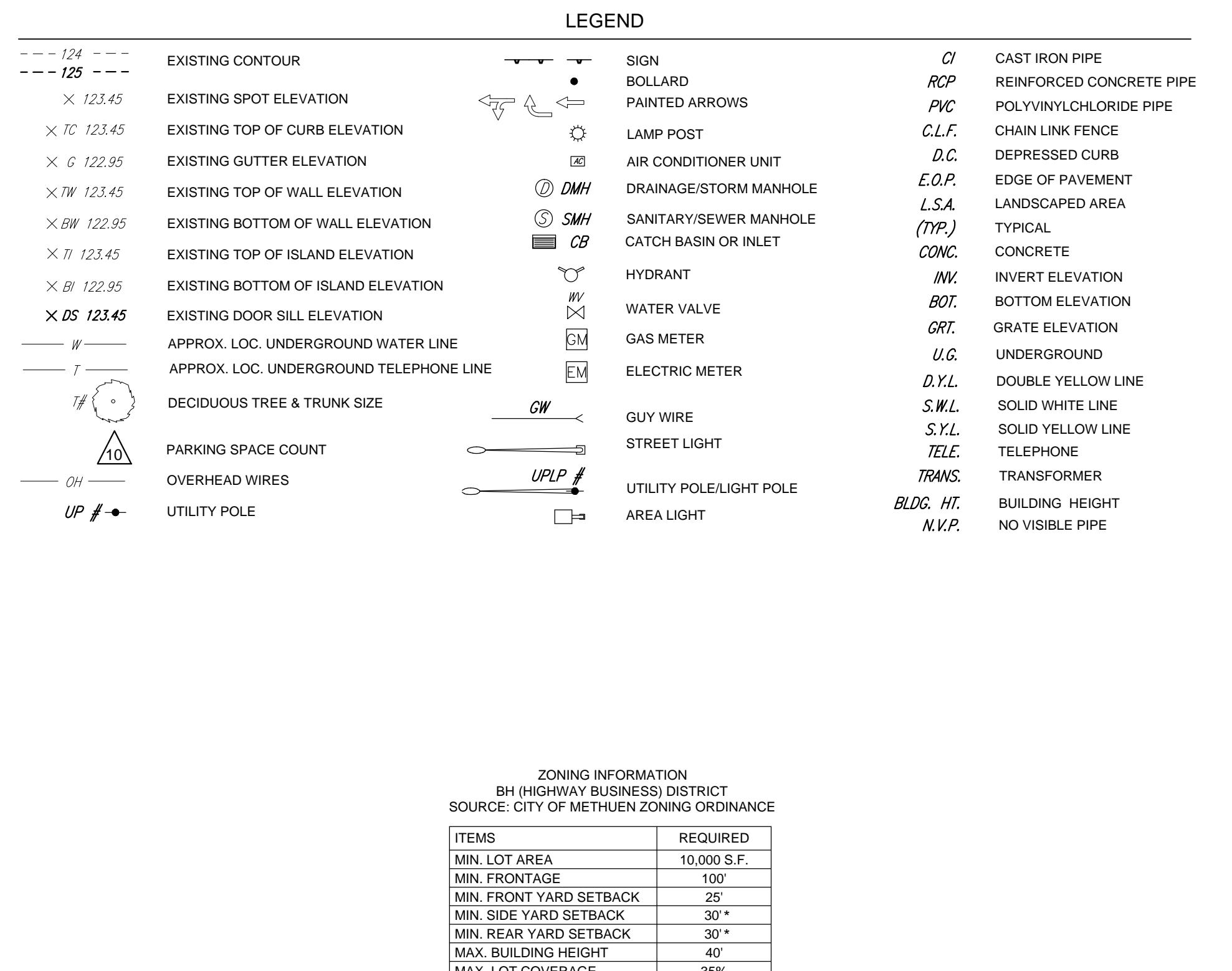
			APP
STATUS		DATE	BY
DRAWN BY:		12/31/13	EGD
PLAN CHECKED			JAK
AS-BUILT			
SHEET NO.			
C-12			











ZONING INFORMATION
BH (HIGHWAY BUSINESS) DISTRICT
SOURCE: CITY OF METHUEN ZONING ORDINANCE

ITEMS	REQUIRED
MIN. LOT AREA	10,000 S.F.
MIN. FRONTAGE	100'
MIN. FRONT YARD SETBACK	25'
MIN. SIDE YARD SETBACK	30*
MIN. REAR YARD SETBACK	30*
MAX. BUILDING HEIGHT	40'
MAX. LOT COVERAGE	35%

*SEE ZONING FOR ADDITIONAL REQUIREMENTS.

NOTE: ZONING CRITERIA IDENTIFIED HEREON ARE BASED UPON PRELIMINARY INVESTIGATION AND PRESENTED FOR REFERENCE ONLY. SAME MUST BE CONFIRMED WITH LOCAL ZONING OFFICIAL AND LEGAL COUNSEL TO CONFIRM VALIDITY.

NOTES:

- PROPERTY KNOWN AS PARCELS 816-96-11, 816-96-11A, 816-96-11B & 816-96-11C AS SHOWN ON THE ASSESSOR'S MAPS OF THE CITY OF METHUEN, ESSEX COUNTY, COMMONWEALTH OF MASSACHUSETTS, MAPS #J14 & J15.
- AREA OF LOT 1 = 276,888 SQUARE FEET OR 6.403 ACRES
AREA OF LOT 1A = 1,223 SQUARE FEET OR 0.027 ACRES
AREA OF LOT 1B = 12,721 SQUARE FEET OR 0.292 ACRES
AREA OF LOT 1C = 9,881 SQUARE FEET OR 0.227 ACRES
AREA OF UNKNOWN OWNERSHIP = 150 SQUARE FEET OR 0.003 ACRES
TOTAL AREA = 366,850 SQUARE FEET OR 8.422 ACRES
- THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
- THIS SURVEY IS PREPARED WITH REFERENCE TO A TITLE REPORT FOR PARCELS 816-96-11B & 816-96-11C PREPARED BY CHICAGO TITLE INSURANCE COMPANY, MIMOG NO. 13-48135, CTIC ORDER NO. 71301323, WITH AN EFFECTIVE DATE OF OCTOBER 17, 2013. WHERE NO SURVEY RELATED EXCEPTIONS APPEAR IN SCHEDULE B, SECTION II.
- FOR PARCELS 816-96-11 & 816-96-11A THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO THE RESTRICTIONS, COVENANTS AND/OR EASEMENTS THAT MAY BE CONTAINED THEREIN.
- BY GRAPHIC PLOTTING ONLY PROPERTY IS LOCATED IN FLOOD HAZARD ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) PER REF. #2.
- THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THE FIELD SURVEY.
- ELEVATIONS ARE BASED UPON NAVD 1988 PER GPS OBSERVATIONS UTILIZING THE KEYSTONE KEYNET VRS NETWORK.
- THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADDITION, ETC.
- PER CONTRACTUAL AGREEMENT WITH THE CLIENT, IMPROVEMENTS ON THE REMAINDER OF THE PARCEL BEYOND THE TOPOGRAPHIC SURVEY AREA HAVE NOT BEEN SHOWN.
- UNDERGROUND SANITARY LINE WAS MARKED BY MARCEAU CONSTRUCTION CORP. ON NOVEMBER 11, 2013 AND LOCATED BY CONTROL POINT ASSOCIATES, INC. ON NOVEMBER 11, 2013.
- THERE IS NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.
- CHANGES IN STREET RIGHT OF WAY LINES EITHER COMPLETED OR PROPOSED REVEALED IN THE TITLE REPORT AND REFERENCE MAPS HAVE BEEN SHOWN.
- THE LAND AS DESCRIBED IN THIS SURVEY CONSTITUTES PARCELS 816-96-11, 816-96-11A, 816-96-11B & 816-96-11C, AND THERE ARE NO GAPS, GORES OR STRIPS BETWEEN SUCH PARCELS.
- THE PROPERTY LINE OF PARCELS 816-96-11, 816-96-11A, 816-96-11B & 816-96-11C RUN ALONG THE RIGHT-OF-WAY LINES OF JACKSON STREET, SWAN STREET AND CORNISH STREET.
- PARCELS 816-96-11, 816-96-11A, 816-96-11B & 816-96-11C ARE INDIVIDUALLY DEEDED TAX LOTS WHICH INDICATES THEY COULD BE CONVEYED WITHOUT REQUIRING A SUBDIVISION.

EXHIBIT A

PARCEL I (44 SWAN STREET)

THE LAND IN SAID METHUEN, ESSEX COUNTY, COMMONWEALTH OF MASSACHUSETTS, BOUNDED AND DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT IN THE NORTHERLY LINE OF SWAN STREET WHICH IS TWO HUNDRED SEVENTY-FIVE (275) FEET WEST OF THE WESTERLY LINE OF JACKSON STREET EXTENSION, THENCE

WESTERLY ABOUT ONE HUNDRED SEVEN (107) FEET ALONG SAID LINE OF SWAN STREET TO A SPIKE

IN THE GROUND; THENCE

NORTHERLY AT AN ANGLE OF 98° 51' 30" ONE HUNDRED SIX (106) FEET MORE OR LESS BY LAND NOW OR FORMERLY OF FINEISEN'S FARMS ICE CREAM CO. TO A STAKE; THENCE

EASTERLY AT AN ANGLE OF 81° 8' 30" ABOUT ONE HUNDRED THIRTY-ONE (131) FEET BY LAND NOW OR FORMERLY OF FINEISEN'S ICE CREAM CO. TO A STAKE; THENCE

SOUTHERLY SEVENTY-FOUR (74) FEET BY LAND NOW OR FORMERLY OF FINEISEN'S ICE CREAM CO. TO A STAKE; THENCE

WESTERLY FIVE (5) FEET BY A STAKE AND THENCE SOUTHERLY THIRTY-FIVE (35) FEET, BOTH COURSES BY LAND NO (NOW) OR FORMERLY OF FINEISEN'S ICE CREAM CO. TO THE POINT OF BEGINNING.

PARCEL II(3 CORNISH EXTENSION)

THE LAND IN METHUEN, ESSEX COUNTY, COMMONWEALTH OF MASSACHUSETTS, BEING MORE PARTICULARLY BOUNDED AND DESCRIBED AS FOLLOWS:

WESTERLY ONE HUNDRED (100) FEET BY CORNISH EXTENSION, SO CALLED;

NORTHERLY ONE HUNDRED (100) FEET BY LAND NOW OR FORMERLY OF FINEISEN'S ICE CREAM CO.;

EASTERLY ONE HUNDRED (100) FEET BY LAND NOW OR FORMERLY OF FINEISEN'S ICE CREAM CO.;

SOUTHERLY ONE HUNDRED (100) FEET BY LAND NOW OR FORMERLY OF SAAB.

THE SOUTHWESTERLY CORNER OF SAID PREMISES IS ONE HUNDRED FOUR (104) FEET NORTH OF THE NORTHERN LINE OF SWAN STREET.

REFERENCES:

- THE TAX ASSESSOR'S MAP OF THE CITY OF METHUEN, ESSEX COUNTY, COMMONWEALTH OF MASSACHUSETTS, MAPS #J14 & J15.
- MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, ESSEX COUNTY, MASSACHUSETTS, (ALL JURISDICTIONS), PANEL 206 OF 600," MAP NUMBER 25009C0206F, EFFECTIVE DATE: JULY 3, 2013.
- MAP ENTITLED "PLAN OF LAND IN METHUEN, MASS., FINEISEN'S FARMS ICE CREAM CO. - OWNER," PREPARED BY NEW ENGLAND SURVEY SERVICE, INC., DATED JUNE 14, 1980, FILED IN ESSEX NORTH DISTRICT REGISTRY OF DEEDS ON OCTOBER 24, 1980 IN BOOK 924, PAGE 265 AS PLAN #4155.
- MAP ENTITLED "PLAN OF LAND IN METHUEN, MA, PREPARED FOR: MARK INVESTMENT, INC.," PREPARED BY BRUCE SALUK & ASSOCIATES, INC., DATED: DECEMBER 14, 2000, FILED IN ESSEX NORTH DISTRICT REGISTRY OF DEEDS ON MARCH 2, 2001 AS PLAN #13946.
- MAP ENTITLED "METHUEN, MASS., OWNED BY JAMES T. LONG," PREPARED BY JOHN T. DESMOND, DATED MAY, 1906, FILED IN THE ESSEX NORTH DISTRICT REGISTRY OF DEEDS ON MARCH 4, 1910 AS PLAN BOOK 1, PAGE 49.
- MAP ENTITLED "PLAN OF LAND IN METHUEN, MASS., PREPARED FOR RAYMOND RUHANN," PREPARED BY STOWERS ASSOCIATES, INC., DATED JUNE 2002, FILED IN ESSEX NORTH DISTRICT REGISTRY OF DEEDS ON OCTOBER 11, 2002 AS PLAN #14389.
- WATER FACILITY MAPPING PROVIDED BY THE CITY OF METHUEN ENGINEERING DEPARTMENT.
- SEWER FACILITY MAPPING PROVIDED BY THE CITY OF METHUEN ENGINEERING DEPARTMENT.

TO: McDONALD'S USA, LLC
CHICAGO TITLE INSURANCE COMPANY

3	UPDATE WITH RECEIPT F TITLE	N/A	J.L.	A.J.L.	12-2-13
2	ADDITIONAL TOPOGRAPHY	S.P.P.	J.L.S.	A.J.L.	11-19-13
1	ADDED APPROXIMATE CITYLINE	N/A	J.L.S.	A.J.L.	10-25-13

No. Description of Revision Field Crew Drawn: Approved: Date

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT WAS BASED WERE MADE IN ACCORDANCE WITH THE 2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPE, AND INCLUDES ITEMS 2, 3, 4, 5, 6(b), 7(a), 7(b)(1), 7(c), 8, 9, 11(b), 13, 14, 17 AND 20. THE FIELD WORK WAS COMPLETED ON NOVEMBER 19, 2013.

NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH A RAISED IMPRESSION OR STAMPED WITH A BLUE INK SEAL.

A. JOHN LLOYD
MASSACHUSETTS PROFESSIONAL LAND SURVEYOR #58385

FIELD DATE 11-11-13 10-9-13	ALTA/ACSM LAND TITLE SURVEY
FIELD BOOK NO. 13-02 13-24	McDONALD'S USA, LLC SWAN STREET & CORNISH STREET EXTENSION PARCELS 816-96-11, 816-96-11A, 816-96-11B & 816-96-11C
FIELD BOOK PG. 76-77 36-39	CITY OF METHUEN, ESSEX COUNTY COMMONWEALTH OF MASSACHUSETTS
FIELD CREW S.P.P. T.M.	L/C# 020-1133
DRAWN: IDV-AMK	McDONALD'S 352 TURNPIKE ROAD SOUTHBOROUGH, MA 01772 508.948.3000 - 508.948.3003 FAX WARREN, NJ 07068-0099 CHALFONT, PA 19421-9700

REVIEWED: J.L.S.	APPROVED: A.J.L.	DATE: 10-23-13	SCALE: 1"=20'	FILE NO.: CM13231	DWG. NO.: 2 OF 2
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