

F:\Projects\NEX-2200136 - Methuen, MA - DHB Homes\CAD Files\2200136_CVR.dwg COVER 9/26/24 2:09pm gpiccirillo

<div>INDEX TO DRAWINGS</div> <div><div>1.</div><div>TITLE SHEET</div></div> <div><div>2.</div><div>GENERAL NOTES</div></div> <div><div>3.</div><div>EXISTING CONDITIONS PLAN</div></div> <div><div>4.</div><div>DEFINITIVE SUBDIVISION PLAN (1"=100')</div></div> <div><div>5-9.</div><div>DEFINITIVE SUBDIVISION PLAN (1"=40')</div></div> <div><div>10.</div><div>SITE DEVELOPMENT OVERVIEW PLAN</div></div> <div><div>11-15.</div><div>GRADING, DRAINAGE & EROSION CONTROL PLAN</div></div> <div><div>16-20.</div><div>EROSION & SEDIMENT CONTROL PLAN</div></div> <div><div>21-22.</div><div>WASHINGTON STREET PLAN & PROFILE</div></div> <div><div>23-24.</div><div>EDGEWATER DRIVE PLAN & PROFILE</div></div> <div><div>25.</div><div>CROSS COUNTRY WATER MAIN PLAN</div></div> <div><div>26-30.</div><div>CONSTRUCTION DETAILS</div></div> <div><div>31-32.</div><div>PUMP STATION DETAILS</div></div> <div><div>1 OF 1</div><div>SIGHT LINE PLAN</div></div>											
<div>PERMITS & APPROVALS</div> <table><tr><th>TYPE</th><th>APPROVAL NO.</th><th>DATE APPROVED</th></tr><tr><td>DEP ORDER OF CONDITIONS</td><td></td><td></td></tr><tr><td>MCC ORDER OF CONDITIONS</td><td></td><td></td></tr></table>			TYPE	APPROVAL NO.	DATE APPROVED	DEP ORDER OF CONDITIONS			MCC ORDER OF CONDITIONS		
TYPE	APPROVAL NO.	DATE APPROVED									
DEP ORDER OF CONDITIONS											
MCC ORDER OF CONDITIONS											
<div>WAIVERS</div> <div>--</div>											

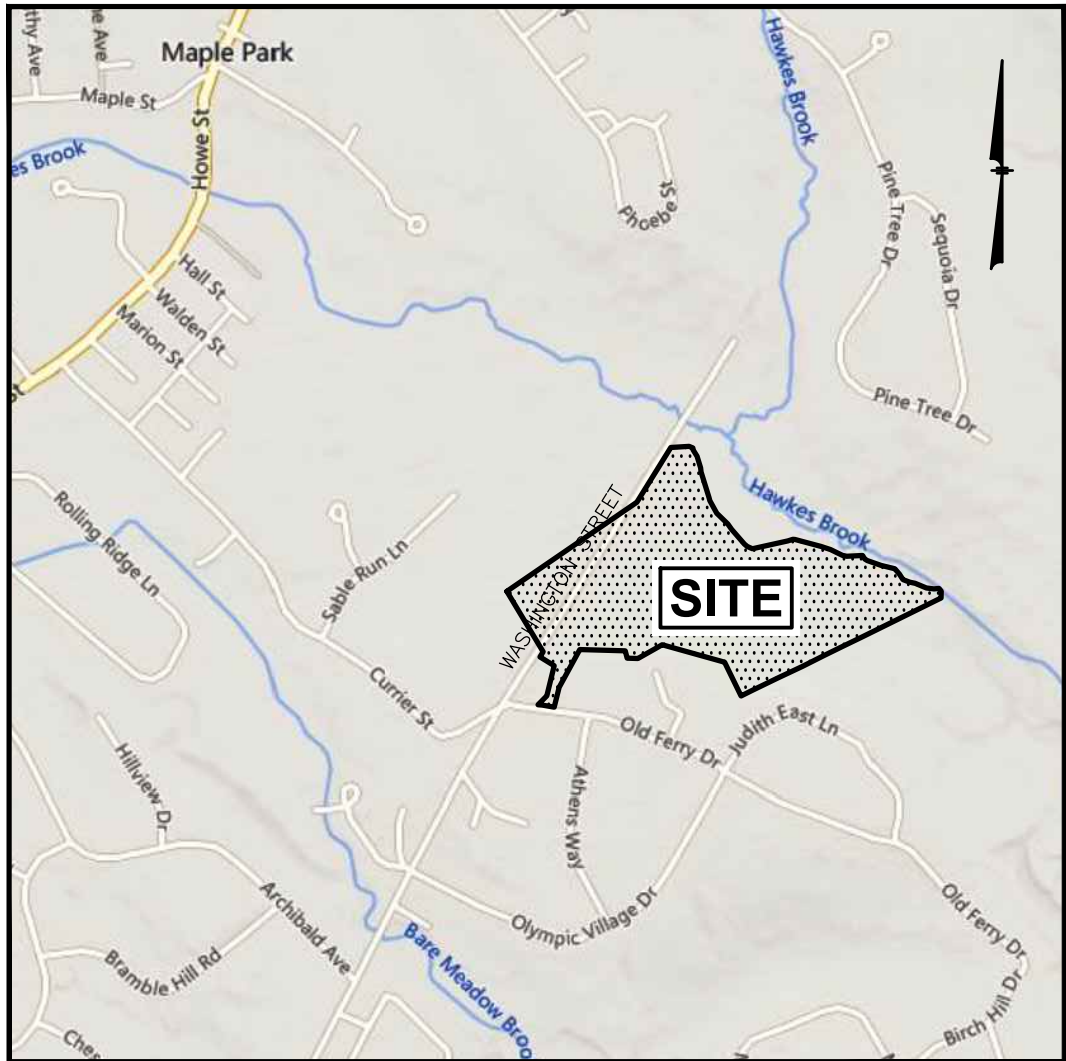
DEFINITIVE SUBDIVISION PLANS

BROOKVIEW HEIGHTS

PARCEL 908-78E-67E, 908-78E-66D, 908-78E-66B,
& 908-76-53C

WASHINGTON STREET

METHUEN, MASSACHUSETTS



LOCATION MAP
(NOT TO SCALE)

Prepared for:

DHB HOMES, LLC

25 BUTTRICK ROAD, UNIT A1

LONDONDERRY, NH 03053

METHUEN COMMUNITY
DEVELOPMENT BOARD

DATE OF FILING	_____
DATE OF HEARING	_____
DATE OF APPROVAL	_____
_____	_____
_____	_____
_____	_____

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Planning
Construction Management

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Greenman-Pedersen, Inc.

44 Stiles Road, Suite One

Salem, NH 03079

PREPARED FOR

DHB HOMES, LLC

25 BUTTRICK ROAD, UNIT A1

LONDONDERRY, NH 03053

BROOKVIEW HEIGHTS

DEFINITIVE SUBDIVISION PLAN

DHB HOMES, LLC

LAND OFF WASHINGTON STREET

METHUEN, MASSACHUSETTS

COMMONWEALTH OF MASSACHUSETTS

DAVID R. JORDAN

CIVIL

No. 34732

REGISTERED

10/2/24

REVISIONS		
3	REV. 2, 4-6, 10-13, 16-18, 21-23, 26, 28 & ADD SIGHT LINE PLAN	9/26/24
2	REV. ALL SHEETS PER CITY COMMENTS	8/2/24
1	REV. SHEETS 12-15 & 17-20	4/3/24
NO.	REVISION	DATE

MARCH 6, 2024

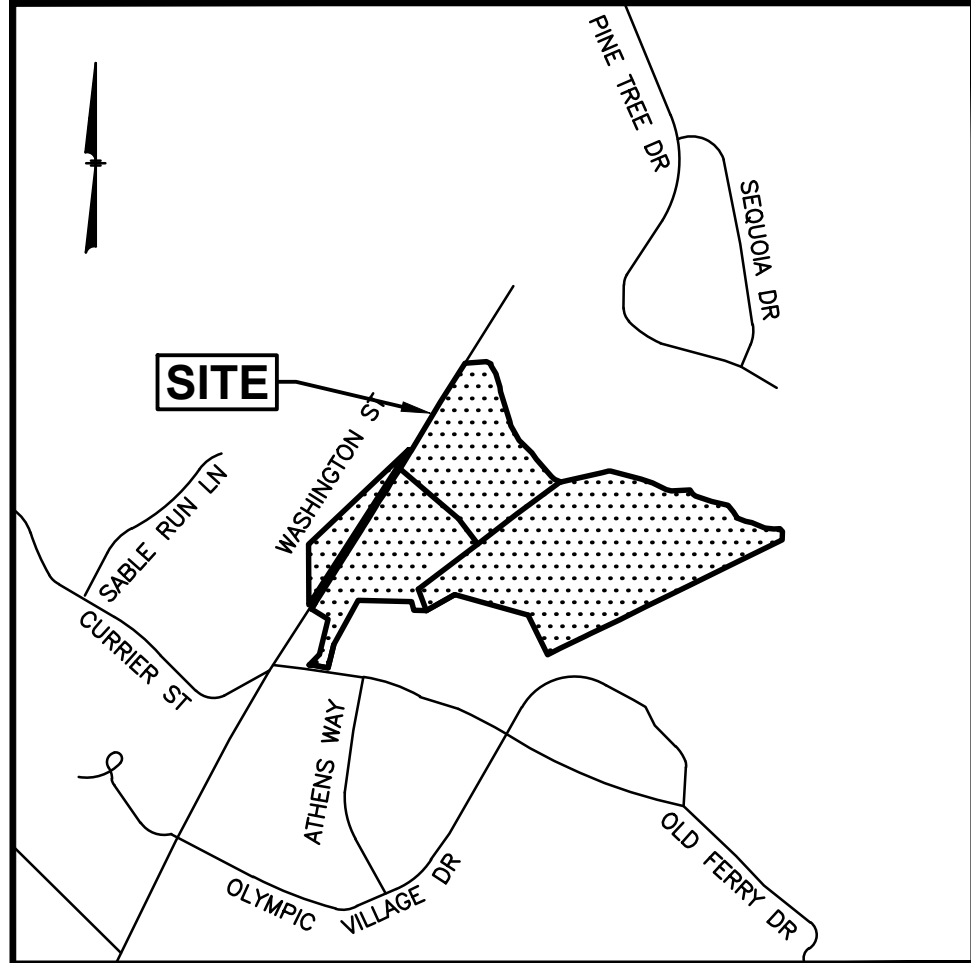
DRAWN/DESIGN BY	CHECKED BY
GMP	DRJ

TITLE SHEET

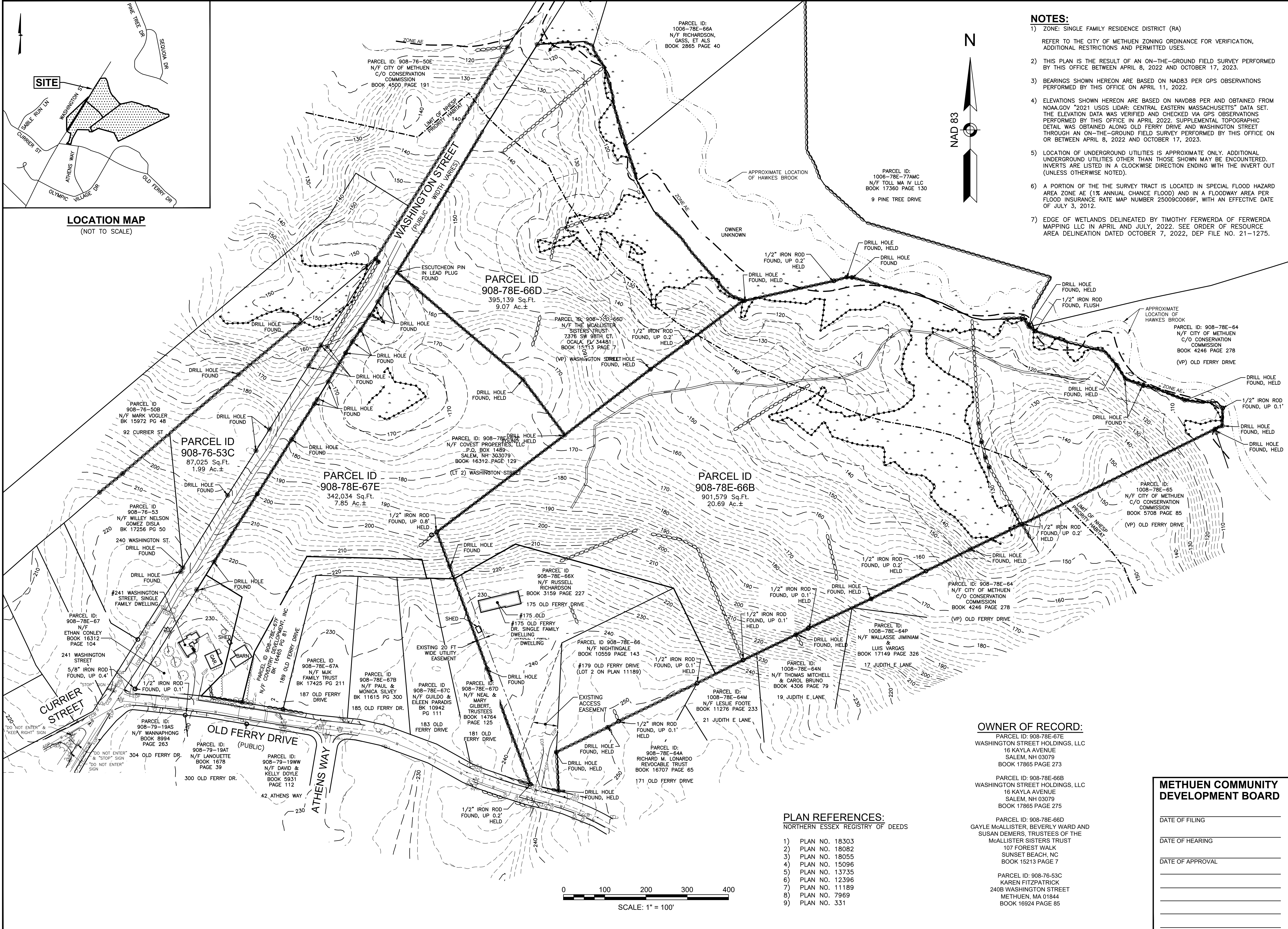
SCALE: AS SHOWN

PROJECT NO. NEX-2200136

1 OF 32



LOCATION MAP
(NOT TO SCALE)



- NOTES:**
- 1) ZONE: SINGLE FAMILY RESIDENCE DISTRICT (RA)
REFER TO THE CITY OF METHUEN ZONING ORDINANCE FOR VERIFICATION, ADDITIONAL RESTRICTIONS AND PERMITTED USES.
 - 2) THIS PLAN IS THE RESULT OF AN ON-THE-GROUND FIELD SURVEY PERFORMED BY THIS OFFICE BETWEEN APRIL 8, 2022 AND OCTOBER 17, 2023.
 - 3) BEARINGS SHOWN HEREON ARE BASED ON NAD83 PER GPS OBSERVATIONS PERFORMED BY THIS OFFICE ON APRIL 11, 2022.
 - 4) ELEVATIONS SHOWN HEREON ARE BASED ON NAVD88 PER AND OBTAINED FROM NOAA.GOV "2021 USGS LIDAR: CENTRAL EASTERN MASSACHUSETTS" DATA SET. THE ELEVATION DATA WAS VERIFIED AND CHECKED VIA GPS OBSERVATIONS PERFORMED BY THIS OFFICE IN APRIL 2022. SUPPLEMENTAL TOPOGRAPHIC DETAIL WAS OBTAINED ALONG OLD FERRY DRIVE AND WASHINGTON STREET THROUGH AN ON-THE-GROUND FIELD SURVEY PERFORMED BY THIS OFFICE ON OR BETWEEN APRIL 8, 2022 AND OCTOBER 17, 2023.
 - 5) LOCATION OF UNDERGROUND UTILITIES IS APPROXIMATE ONLY. ADDITIONAL UNDERGROUND UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED. INVERTS ARE LISTED IN A CLOCKWISE DIRECTION ENDING WITH THE INVERT OUT (UNLESS OTHERWISE NOTED).
 - 6) A PORTION OF THE THE SURVEY TRACT IS LOCATED IN SPECIAL FLOOD HAZARD AREA ZONE AE (1% ANNUAL CHANCE FLOOD) AND IN A FLOODWAY AREA PER FLOOD INSURANCE RATE MAP NUMBER 25009C0069F, WITH AN EFFECTIVE DATE OF JULY 3, 2012.
 - 7) EDGE OF WETLANDS DELINEATED BY TIMOTHY FERWERDA OF FERWERDA MAPPING LLC IN APRIL AND JULY, 2022. SEE ORDER OF RESOURCE AREA DELINEATION DATED OCTOBER 7, 2022, DEP FILE NO. 21-1275.

OWNER OF RECORD:
PARCEL ID: 908-78E-67E
WASHINGTON STREET HOLDINGS, LLC
16 KAYLA AVENUE
SALEM, NH 03079
BOOK 17865 PAGE 273

PARCEL ID: 908-78E-66B
WASHINGTON STREET HOLDINGS, LLC
16 KAYLA AVENUE
SALEM, NH 03079
BOOK 17865 PAGE 275

PARCEL ID: 908-78E-66D
GAYLE McALLISTER, BEVERLY WARD AND
SUSAN DEMERS, TRUSTEES OF THE
McALLISTER SISTERS TRUST
107 FOREST WALK
SUNSET BEACH, NC
BOOK 15213 PAGE 7

PARCEL ID: 908-76-53C
KAREN FITZPATRICK
240B WASHINGTON STREET
METHUEN, MA 01844
BOOK 16924 PAGE 85

PLAN REFERENCES:
NORTHERN ESSEX REGISTRY OF DEEDS

- 1) PLAN NO. 18303
- 2) PLAN NO. 18082
- 3) PLAN NO. 18055
- 4) PLAN NO. 15096
- 5) PLAN NO. 13735
- 6) PLAN NO. 12396
- 7) PLAN NO. 11189
- 8) PLAN NO. 7969
- 9) PLAN NO. 331

PREPARED FOR
DHB HOMES, LLC
25 BUTTRICK ROAD, UNIT A1
LONDONDERRY, NH 03053

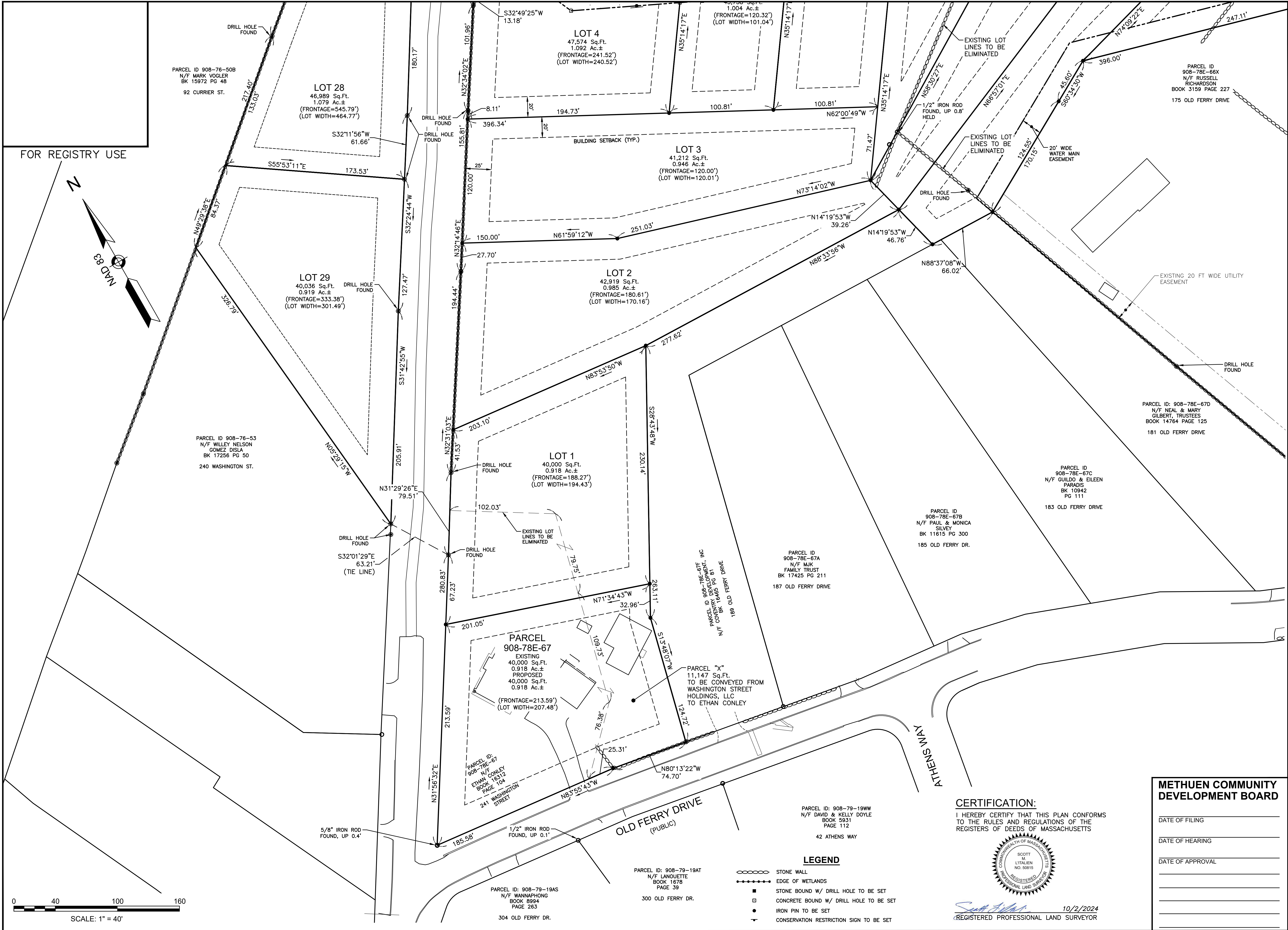
**BROOKVIEW HEIGHTS
DEFINITIVE SUBDIVISION PLAN
DHB HOMES, LLC
LAND OFF WASHINGTON STREET
METHUEN, MASSACHUSETTS**



REVISIONS			
NO.	REVISION	DATE	
1.	REVISED PER REVIEW COMMENTS	08/02/24	
MARCH 6, 2024			
DRAWN/DESIGN BY SML		CHECKED BY DRJ	

EXISTING CONDITIONS PLAN	
SCALE:	1"=100'
PROJECT NO.	NEX-2200136
3 OF 32	

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44 Stiles Road, Suite One
Salem, NH 03079

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LONDONDERRY, NH 03053

**BROOKVIEW HEIGHTS
DEFINITIVE SUBDIVISION PLAN
DHB HOMES, LLC
LAND OFF WASHINGTON STREET
METHUEN, MASSACHUSETTS**

REVISIONS		
NO.	REVISION	DATE
1	REVISE LOTS 1 & 2	9/26/24

MARCH 6, 2024

DRAWN/DESIGN BY KAC	CHECKED BY SML/DRJ
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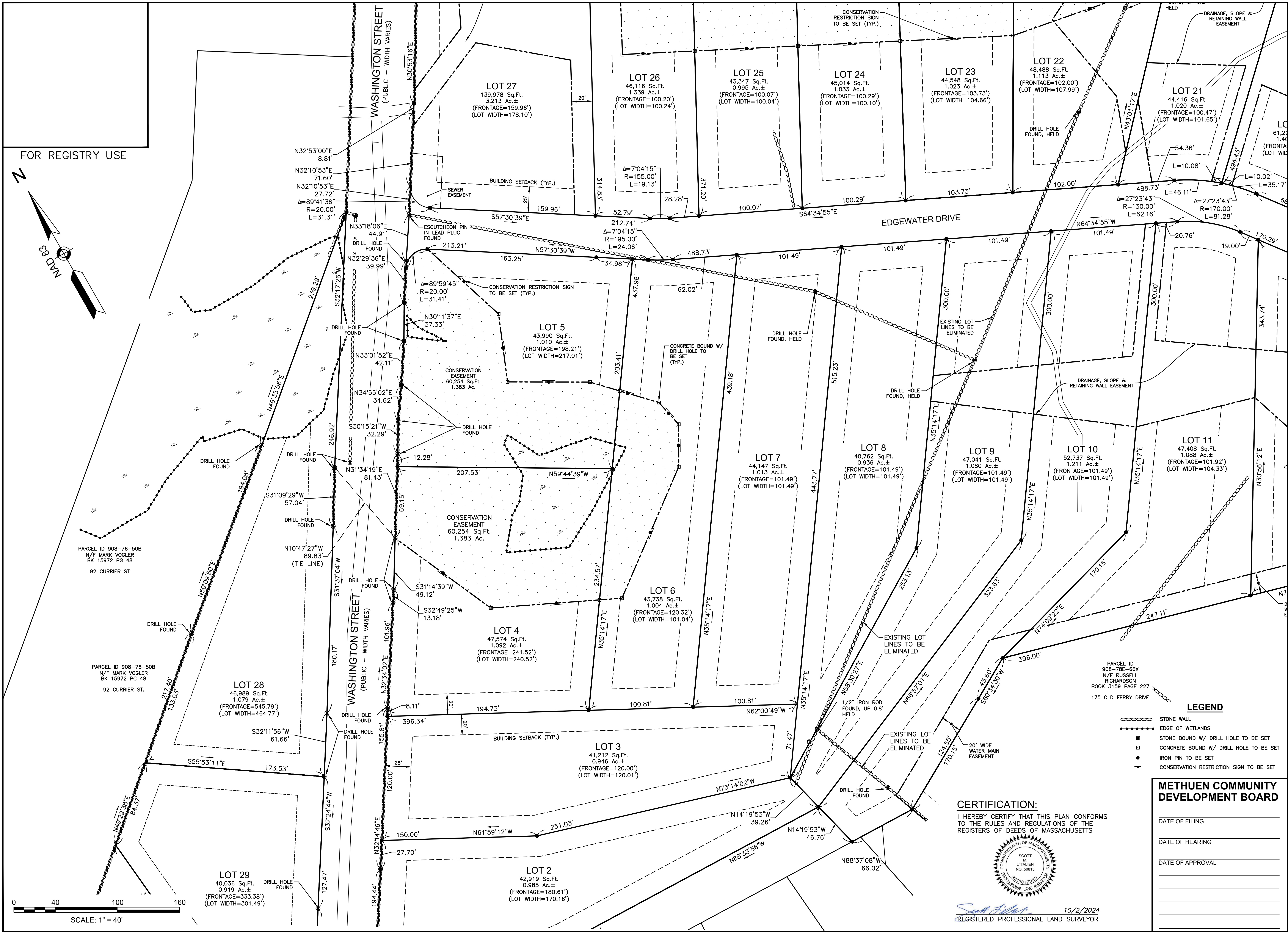
DEFINITIVE SUBDIVISION PLAN

SCALE: 1"=40'

PROJECT NO. NEX-2200136

5 OF 32

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LONDONDERRY, NH 03053

**BROOKVIEW HEIGHTS
DEFINITIVE SUBDIVISION PLAN
DHB HOMES, LLC
LAND OFF WASHINGTON STREET
METHUEN, MASSACHUSETTS**

REVISIONS

NO.	REVISION	DATE
1	REVISE LOTS 1 & 2	9/26/24

MARCH 6, 2024

DRAWN/DESIGN BY
KAC

CHECKED BY
SML/DRJ

**METHUEN COMMUNITY
DEVELOPMENT BOARD**

DATE OF FILING

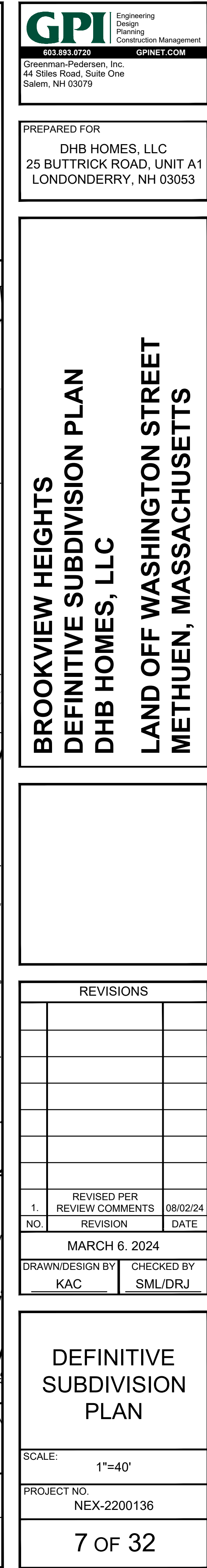
DATE OF HEARING

DATE OF APPROVAL

SCALE:
1"=40'

PROJECT NO.
NEX-2200136

6 OF 32



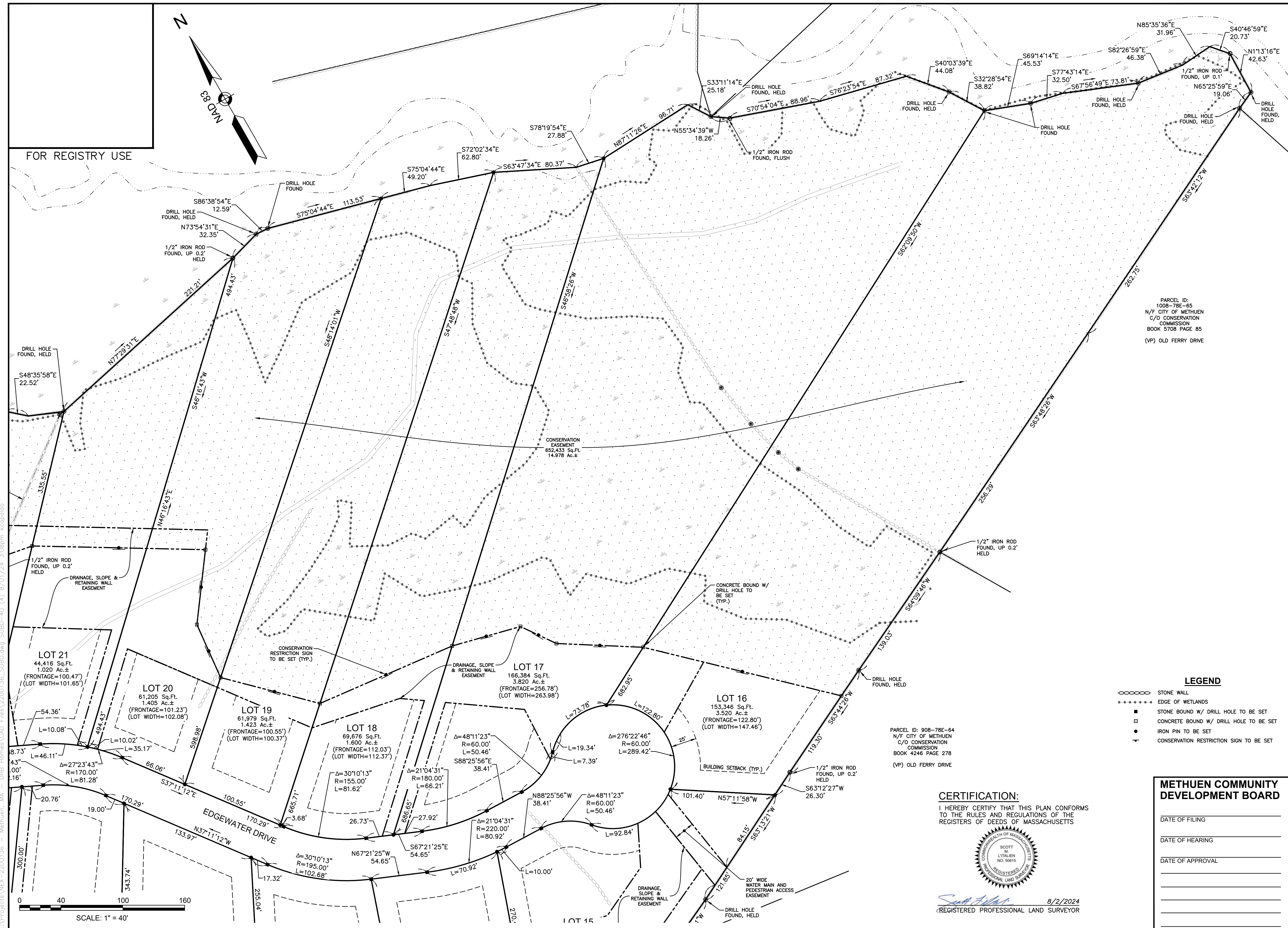
**BROOKVIEW HEIGHTS
DEFINITIVE SUBDIVISION PLAN
DHB HOMES, LLC
LAND OFF WASHINGTON STREET
METHUEN, MASSACHUSETTS**

REVISIONS		
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NO.	REVISION	DATE

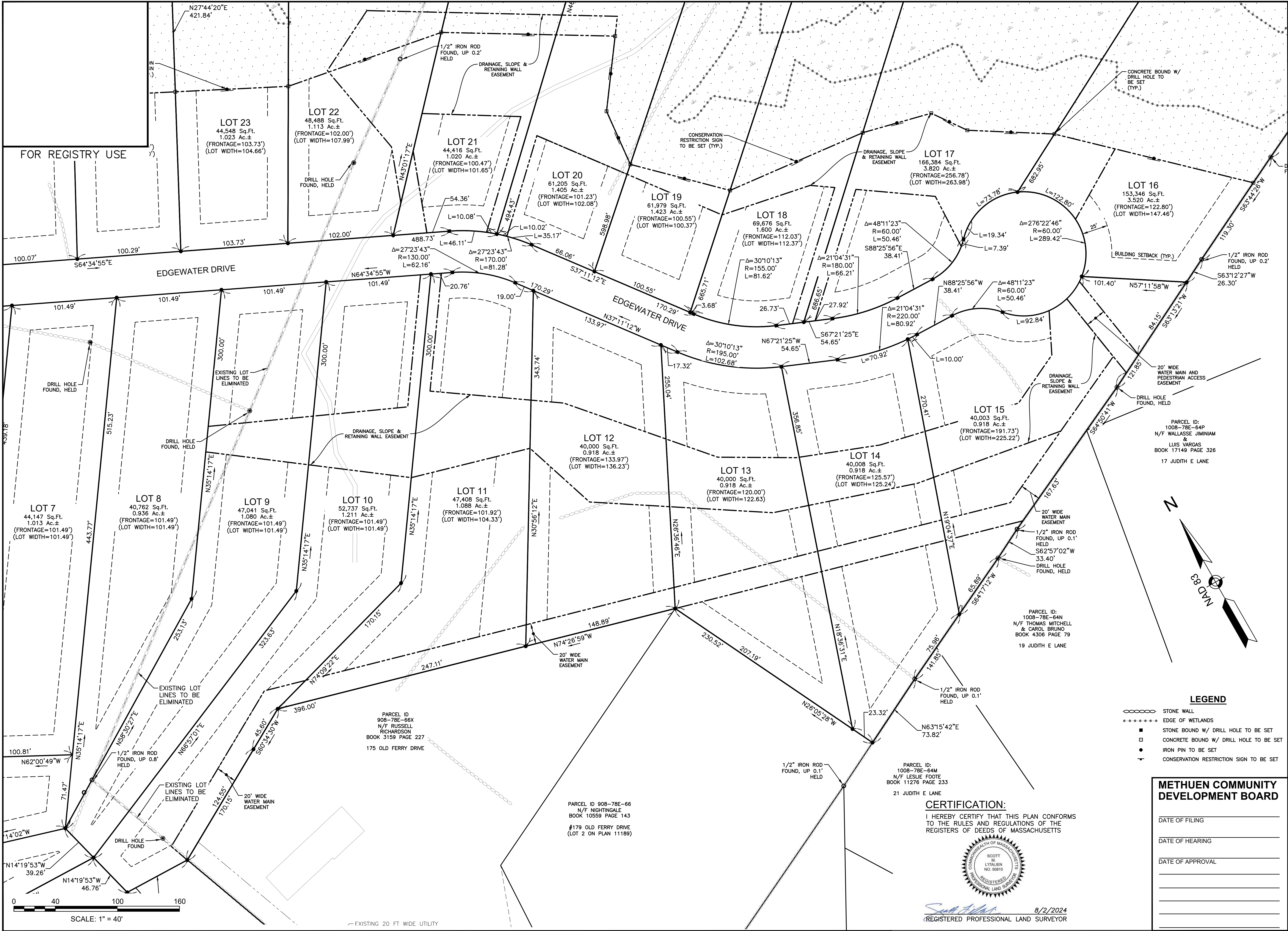
MARCH 6, 2024

DRAWN/DESIGN BY KAC	CHECKED BY SML/DRJ
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DEFINITIVE SUBDIVISION PLAN	
SCALE:	1"=40'
PROJECT NO. NEX-2200136	
8 OF 32	



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LONDONDERRY, NH 03053

**BROOKVIEW HEIGHTS
DEFINITIVE SUBDIVISION PLAN
DHB HOMES, LLC
LAND OFF WASHINGTON STREET
METHUEN, MASSACHUSETTS**

REVISIONS		
NO.	REVISION	DATE
1.	REVISED PER REVIEW COMMENTS	08/02/24

MARCH 6, 2024

DRAWN/DESIGN BY	CHECKED BY
KAC	SML/DRJ

DEFINITIVE SUBDIVISION PLAN

SCALE: 1"=40'

PROJECT NO. NEX-2200136

9 OF 32

**BROOKVIEW HEIGHTS
DEFINITIVE SUBDIVISION PLAN
DHB HOMES, LLC
LAND OFF WASHINGTON STREET
METHUEN, MASSACHUSETTS**



REVISIONS

2	REVISE PER CITY COMMENTS	9/26/24
1	REVISE PER CITY COMMENTS	8/2/24
NO.	REVISION	DATE

MARCH 6. 2024

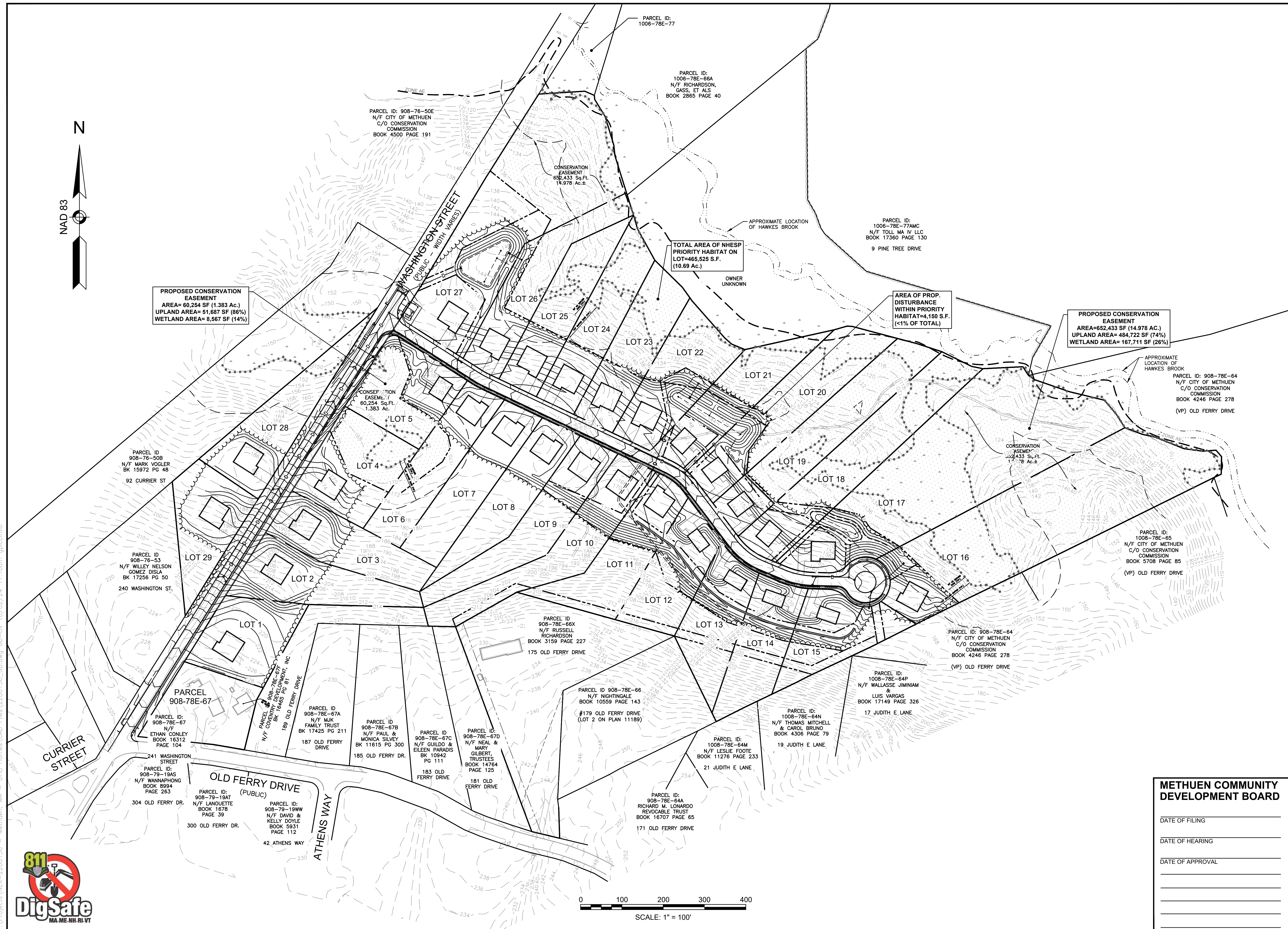
DRAWN/DESIGN BY GMP	CHECKED BY DRJ
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SITE DEVELOPMENT OVERVIEW PLAN

SCALE: 1"=100'

PROJECT NO.
NEX-2200136

10 OF 32



**BROOKVIEW HEIGHTS
DEFINITIVE SUBDIVISION PLAN
DHB HOMES, LLC
LAND OFF WASHINGTON STREET
METHUEN, MASSACHUSETTS**



REVISIONS		
2	REVISE PER CITY COMMENTS	9/26/24
1	REVISE PER CITY COMMENTS	8/2/24
NO.	REVISION	DATE

MARCH 6, 2024

DRAWN/DESIGN BY <div style="text-align: center; font-weight: bold;">GMP</div>	CHECKED BY <div style="text-align: center; font-weight: bold;">DRJ</div>
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GRADING & DRAINAGE PLAN

SCALE: 1"=40'

PROJECT NO. NEX-2200136

11 OF 32





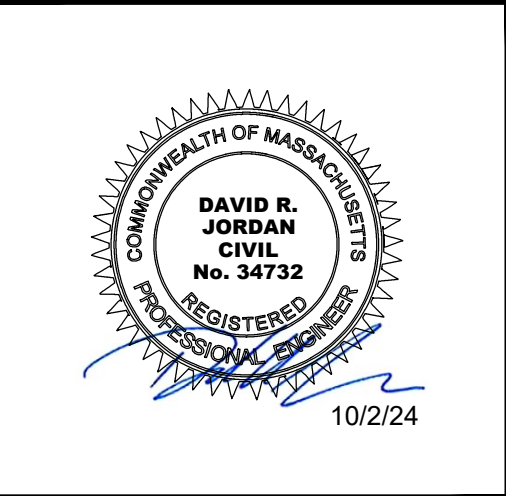
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2	REVISE PER CITY COMMENTS	8/2/24
1	ADD 100' WETLAND BUFFER	4/3/24
NO.	REVISION	DATE

DRAWN/DESIGN BY GMP	CHECKED BY DRJ
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PROJECT NO.
NEX-2200136

PREPARED FOR
DHB HOMES, LLC
25 BUTTRICK ROAD, UNIT A1
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**BROOKVIEW HEIGHTS
DEFINITIVE SUBDIVISION PLAN
DHB HOMES, LLC
LAND OFF WASHINGTON STREET
METHUEN, MASSACHUSETTS**



REVISIONS		
NO.	REVISION	DATE
3	REVISE PER CITY COMMENTS	9/26/24
2	REVISE PER CITY COMMENTS	8/2/24
1	ADD 100' WETLAND BUFFER	4/3/24

MARCH 6, 2024

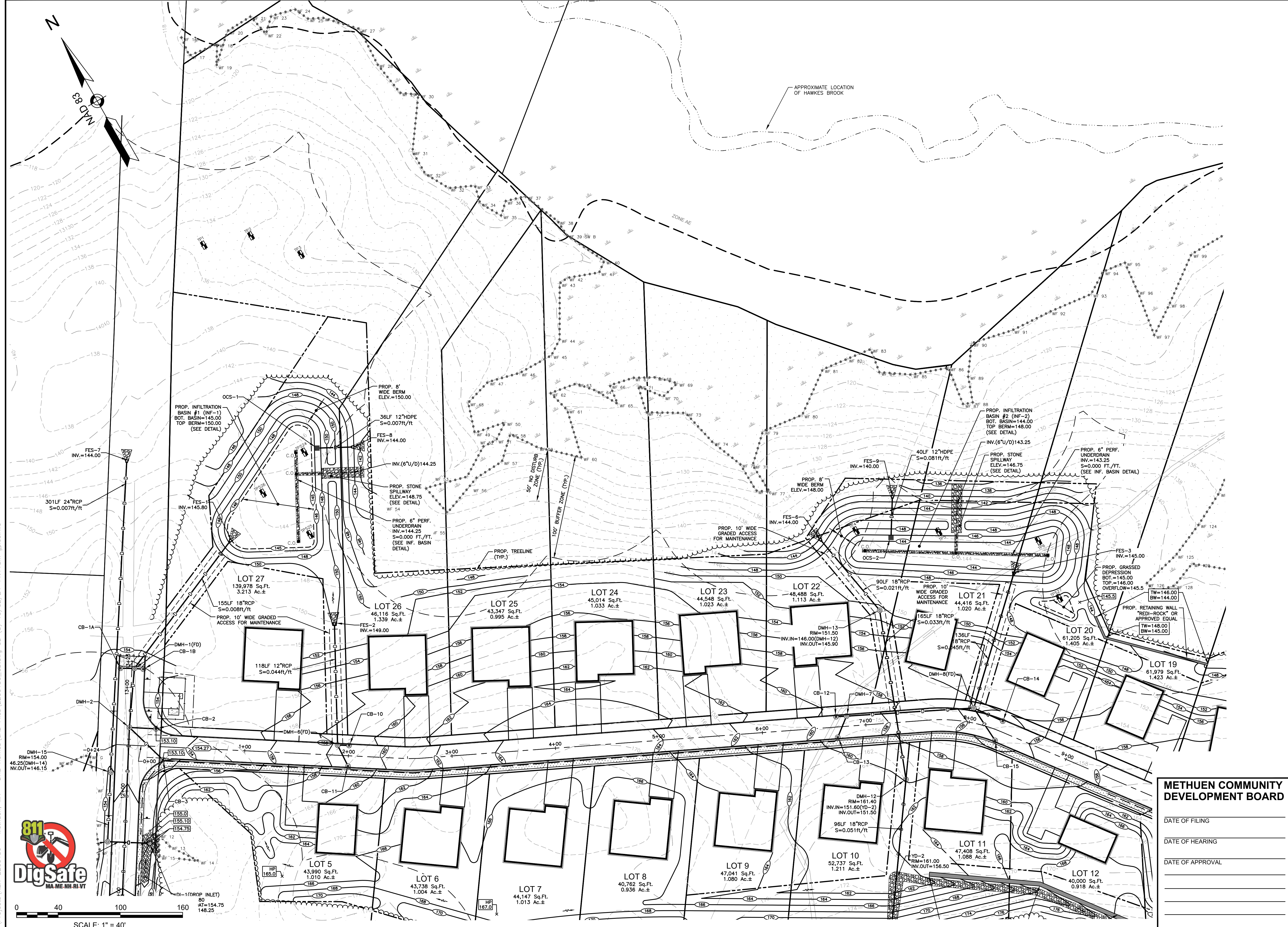
DRAWN/DESIGN BY	CHECKED BY
GMP	DRJ

GRADING & DRAINAGE PLAN

SCALE: 1"=40'

PROJECT NO. NEX-2200136

13 OF 32



METHUEN COMMUNITY DEVELOPMENT BOARD

DATE OF FILING _____

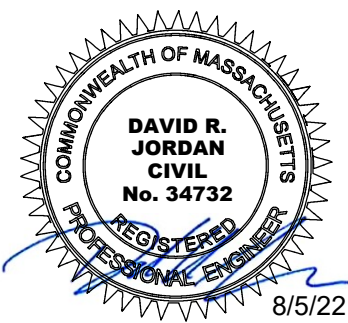
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DATE OF APPROVAL _____

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**BROOKVIEW HEIGHTS
DEFINITIVE SUBDIVISION PLAN
DHB HOMES, LLC
LAND OFF WASHINGTON STREET
METHUEN, MASSACHUSETTS**



REVISIONS		
2	REVISE PER CITY COMMENTS	8/2/24
1	ADD 100' WETLAND BUFFER	4/3/24
NO.	REVISION	DATE

MARCH 6, 2024

DRAWN/DESIGN BY GMP	CHECKED BY DRJ
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DATE OF FILING _____

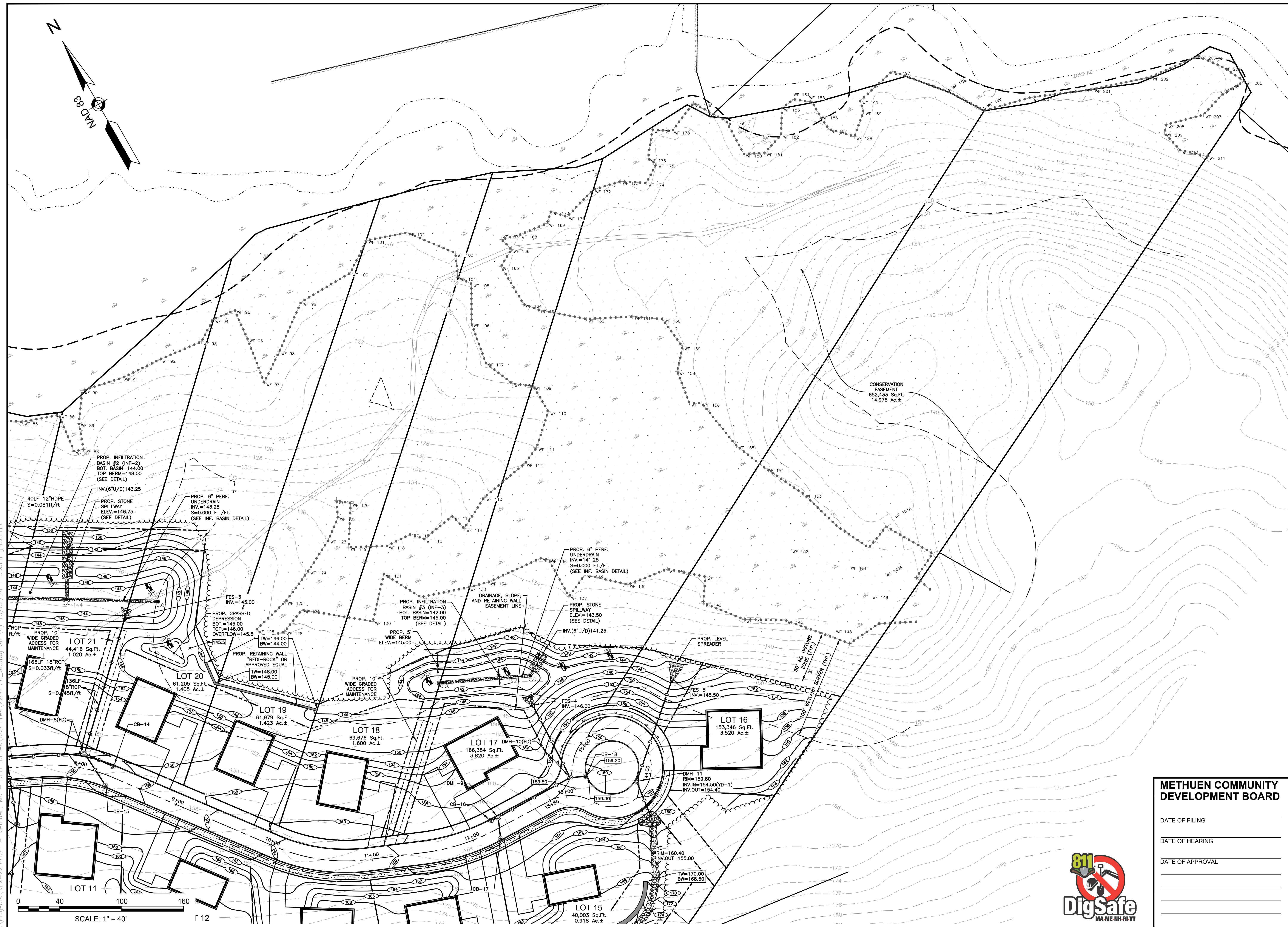
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DATE OF APPROVAL _____

GRADING & DRAINAGE PLAN

SCALE: 1"=40'

PROJECT NO. NEX-2200136



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DHB HOMES, LLC
25 BUTTRICK ROAD, UNIT A1
LONDONDERRY, NH 03053

BROOKVIEW HEIGHTS
DEFINITIVE SUBDIVISION PLAN
DHB HOMES, LLC
LAND OFF WASHINGTON STREET
METHUEN, MASSACHUSETTS

DAVID R. JORDAN
CIVIL
No. 34732
MASSACHUSETTS
8/5/22

REVISIONS		
NO.	REVISION	DATE
2	REVISE PER CITY COMMENTS	8/2/24
1	ADD 100' WETLAND BUFFER	4/3/24

MARCH 6, 2024
DRAWN/DESIGN BY: GMP
CHECKED BY: DRJ

METHUEN COMMUNITY DEVELOPMENT BOARD
DATE OF FILING
DATE OF HEARING
DATE OF APPROVAL

GRADING & DRAINAGE PLAN
SCALE: 1"=40'
PROJECT NO. NEX-2200136
15 OF 32

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LONDONDERRY, NH 03053

**BROOKVIEW HEIGHTS
DEFINITIVE SUBDIVISION PLAN
DHB HOMES, LLC
LAND OFF WASHINGTON STREET
METHUEN, MASSACHUSETTS**

10/2/24

REVISIONS

NO.	REVISION	DATE
3	REVISE PER CITY COMMENTS	9/26/24
1	REVISE PER CITY COMMENTS	8/2/24

MARCH 6, 2024

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METHUEN COMMUNITY DEVELOPMENT BOARD

DATE OF FILING _____

DATE OF HEARING _____

DATE OF APPROVAL _____

EROSION & SEDIMENT CONTROL PLAN

SCALE: 1"=40'

PROJECT NO. NEX-2200136

16 OF 32

**BROOKVIEW HEIGHTS
DEFINITIVE SUBDIVISION PLAN
DHB HOMES, LLC
LAND OFF WASHINGTON STREET
METHUEN, MASSACHUSETTS**



REVISIONS		
3	REVISE PER CITY COMMENTS	9/26/24
2	REVISE PER CITY COMMENTS	8/2/24
1	ADD 100' WETLAND BUFFER	4/3/24
NO.	REVISION	DATE

MARCH 6, 2024	
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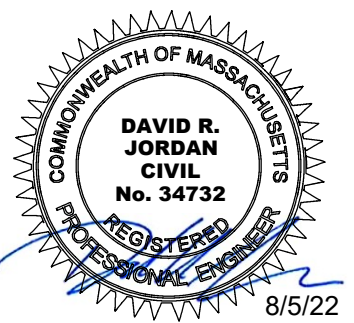
EROSION & SEDIMENT CONTROL PLAN

SCALE: 1"=40'

PROJECT NO. NEX-2200136



**BROOKVIEW HEIGHTS
DEFINITIVE SUBDIVISION PLAN
DHB HOMES, LLC
LAND OFF WASHINGTON STREET
METHUEN, MASSACHUSETTS**

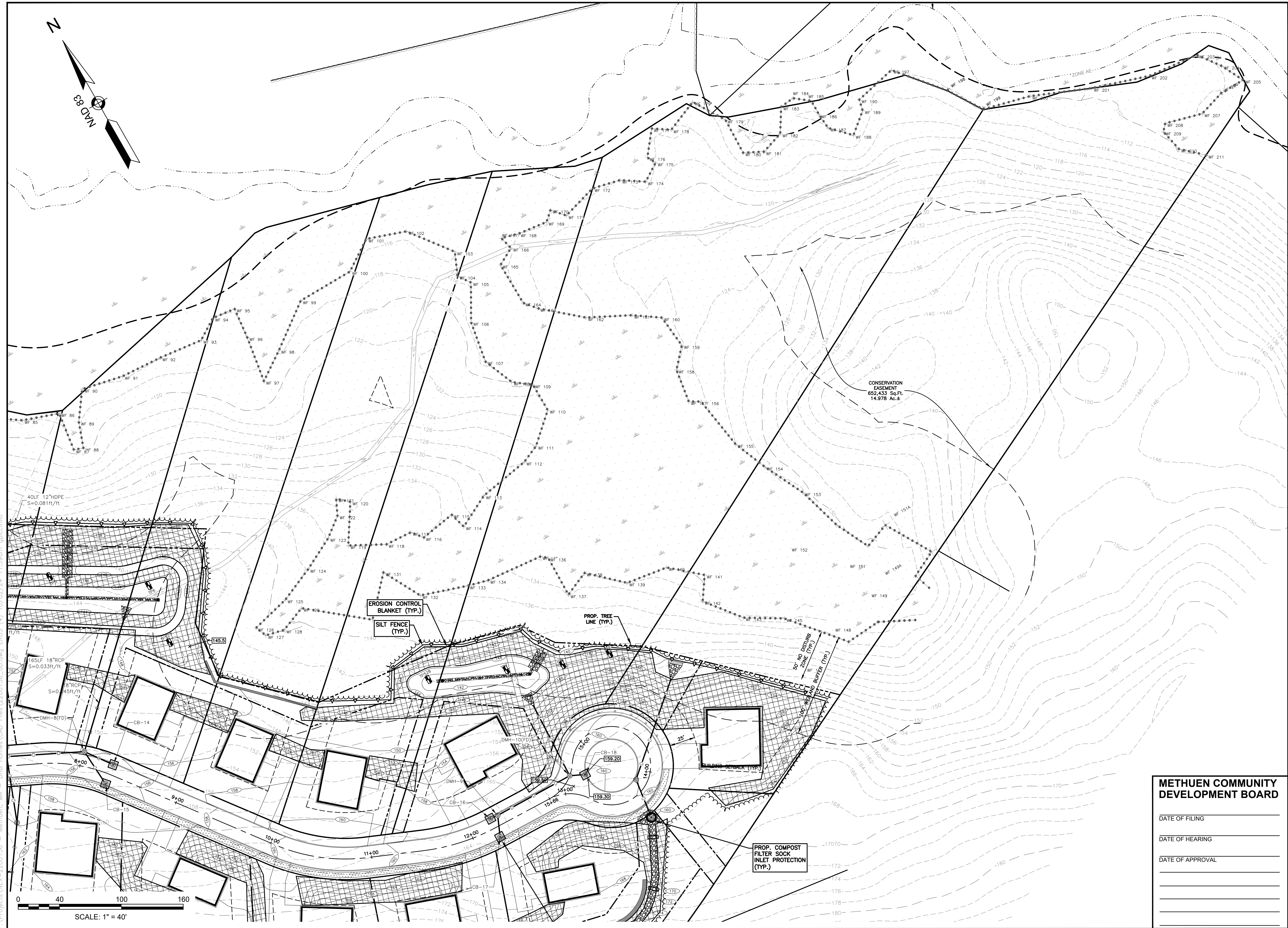


REVISIONS		
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1	ADD 100' WETLAND BUFFER	4/3/24
NO.	REVISION	DATE
MARCH 6, 2024		
DRAWING/DESIGN BY GMP		CHECKED BY DRJ

EROSION & SEDIMENT CONTROL PLAN

SCALE:	1"=40'
PROJECT NO.	NEX-2200136

19 OF 32



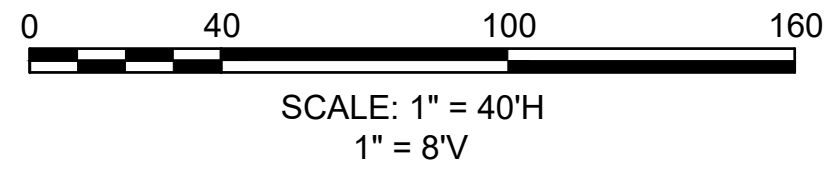
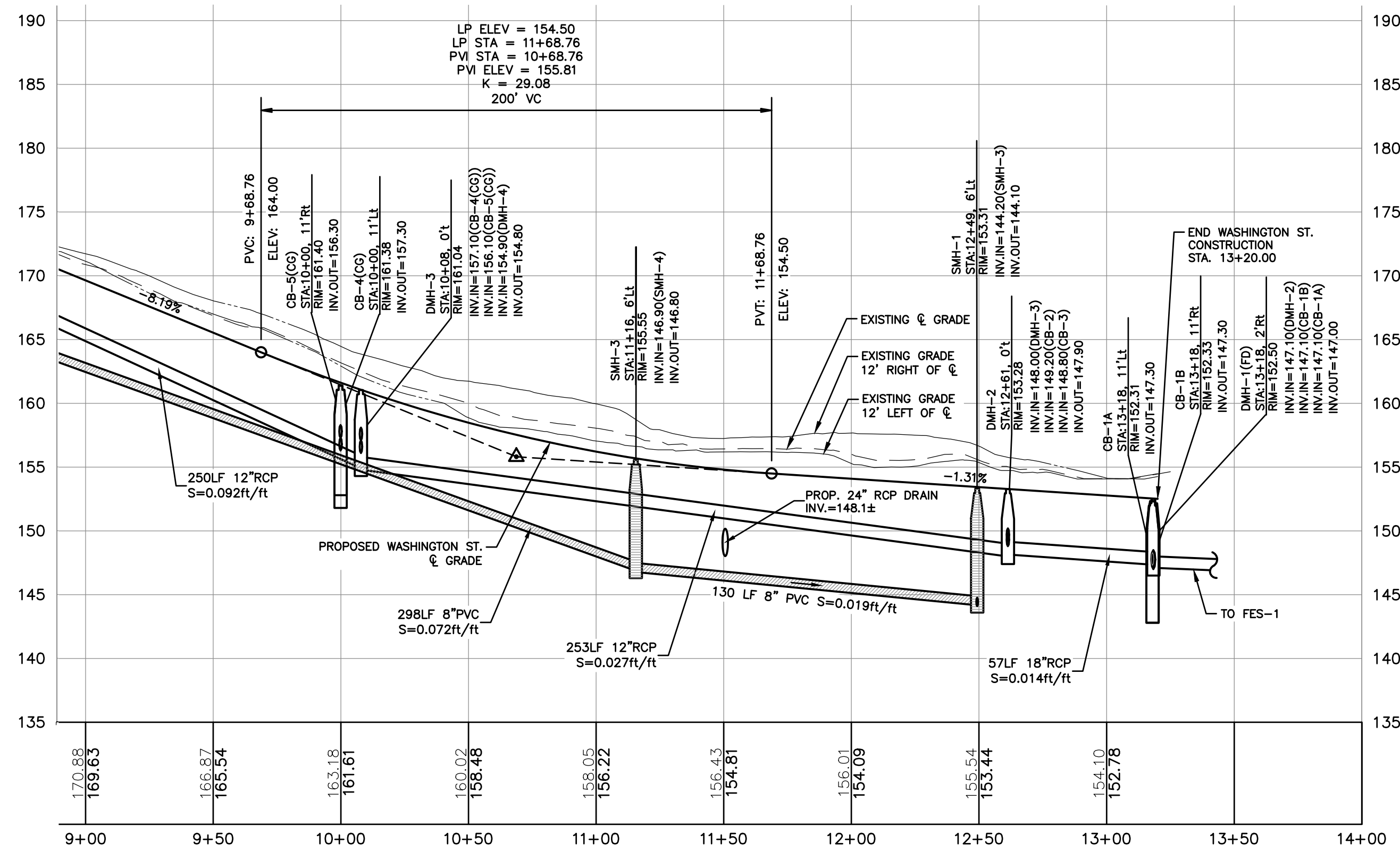
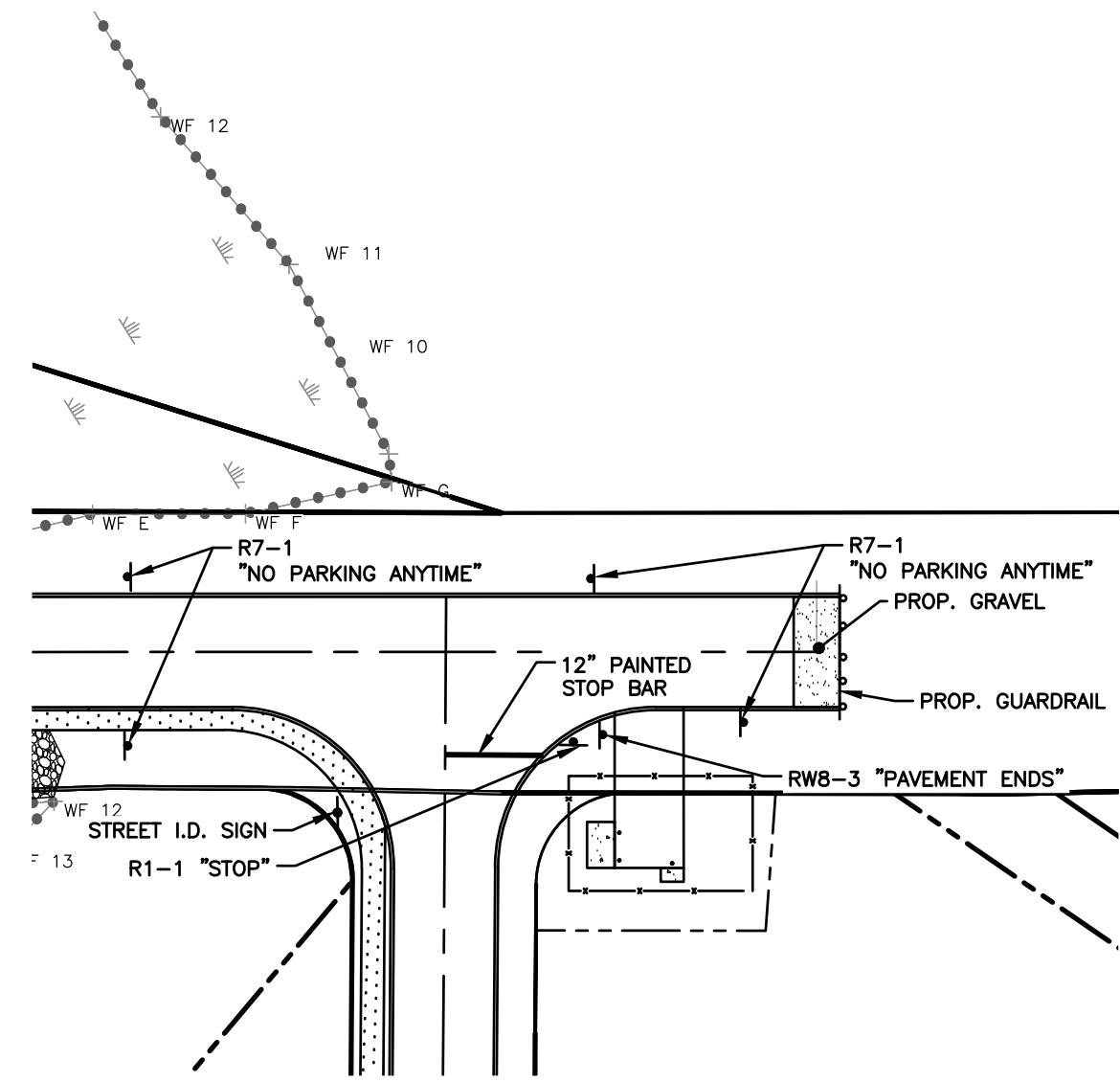
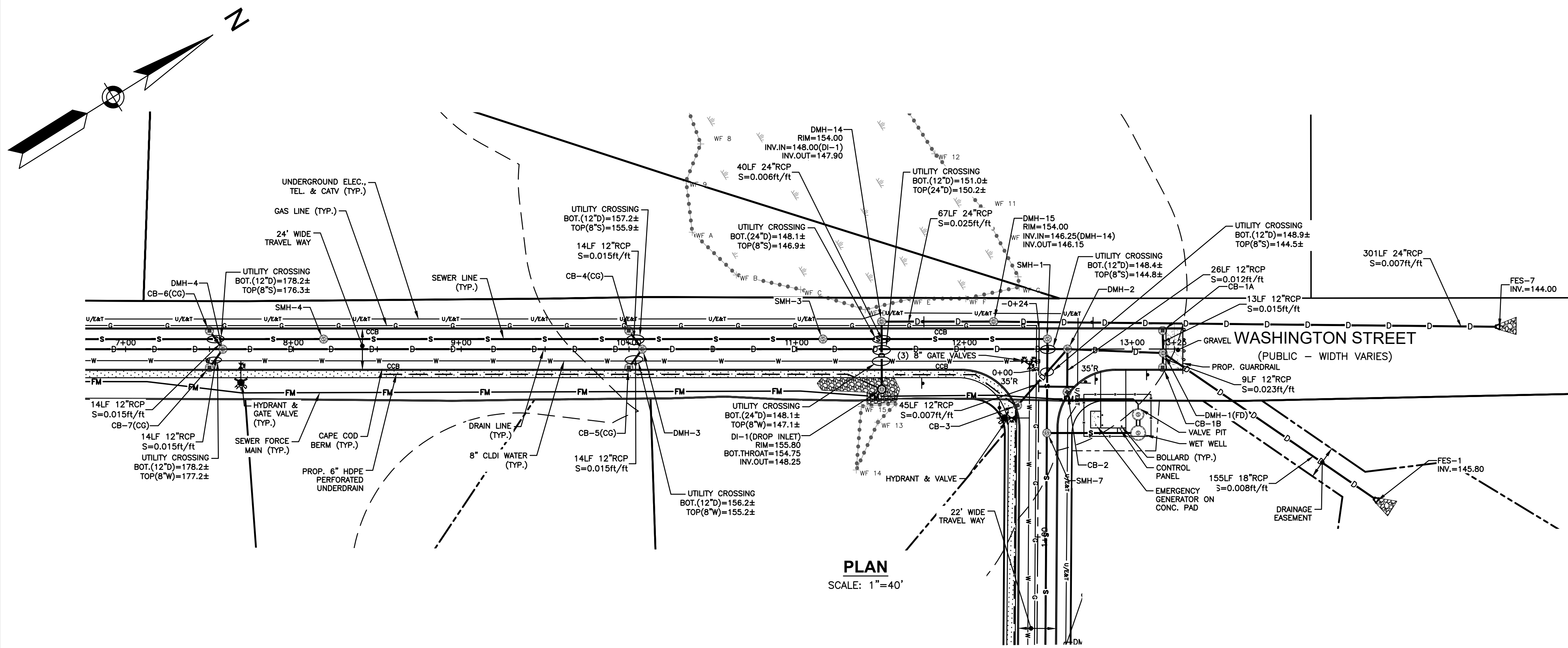
**METHUEN COMMUNITY
DEVELOPMENT BOARD**

DATE OF FILING _____

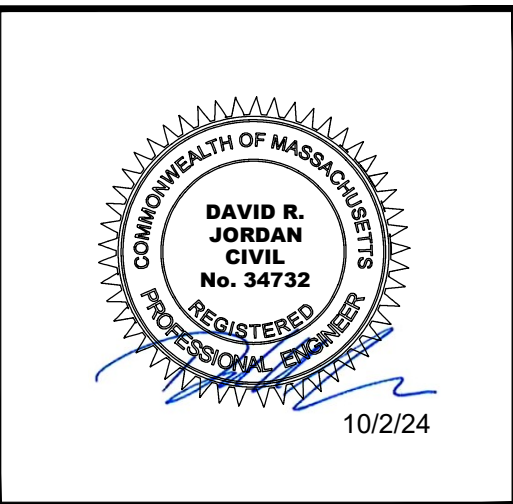
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DATE OF APPROVAL _____

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**BROOKVIEW HEIGHTS
DEFINITIVE SUBDIVISION PLAN
DHB HOMES, LLC
LAND OFF WASHINGTON STREET
METHUEN, MASSACHUSETTS**

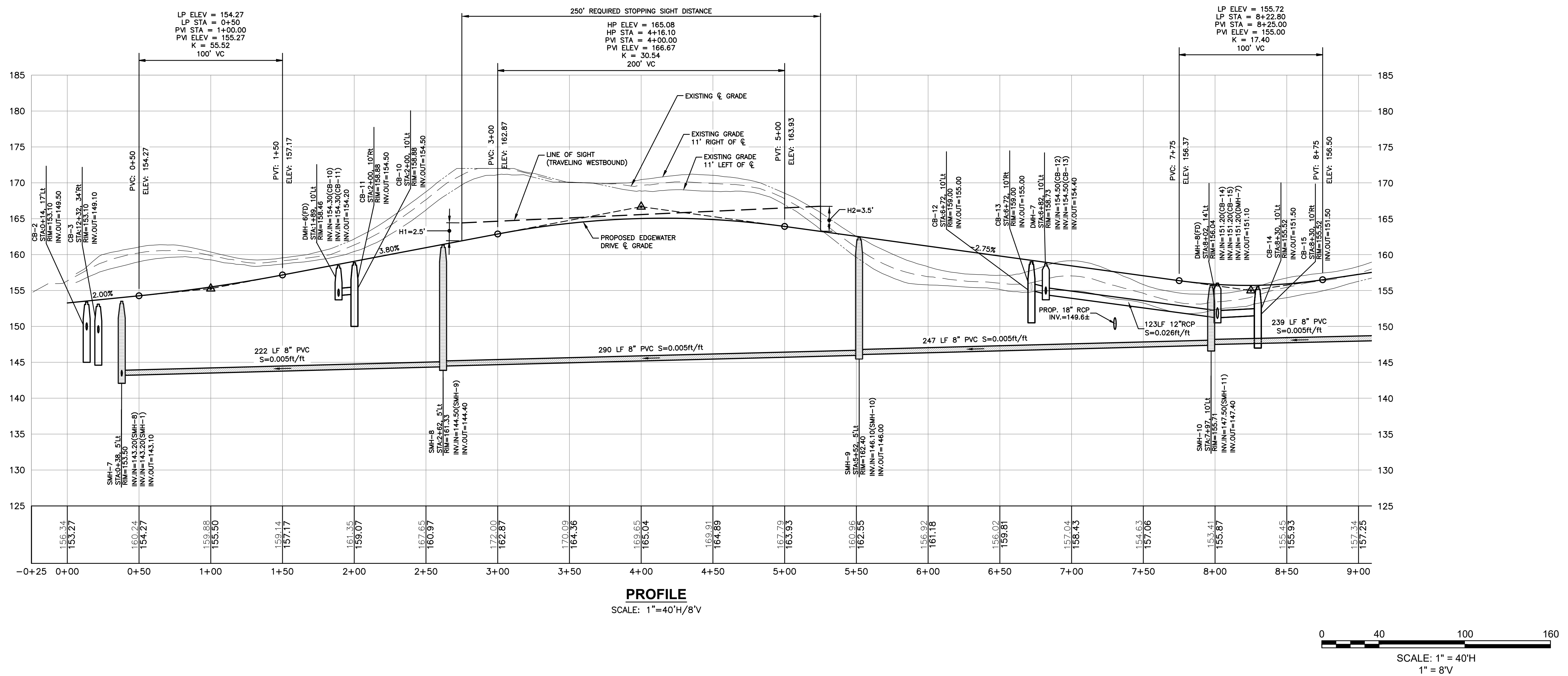
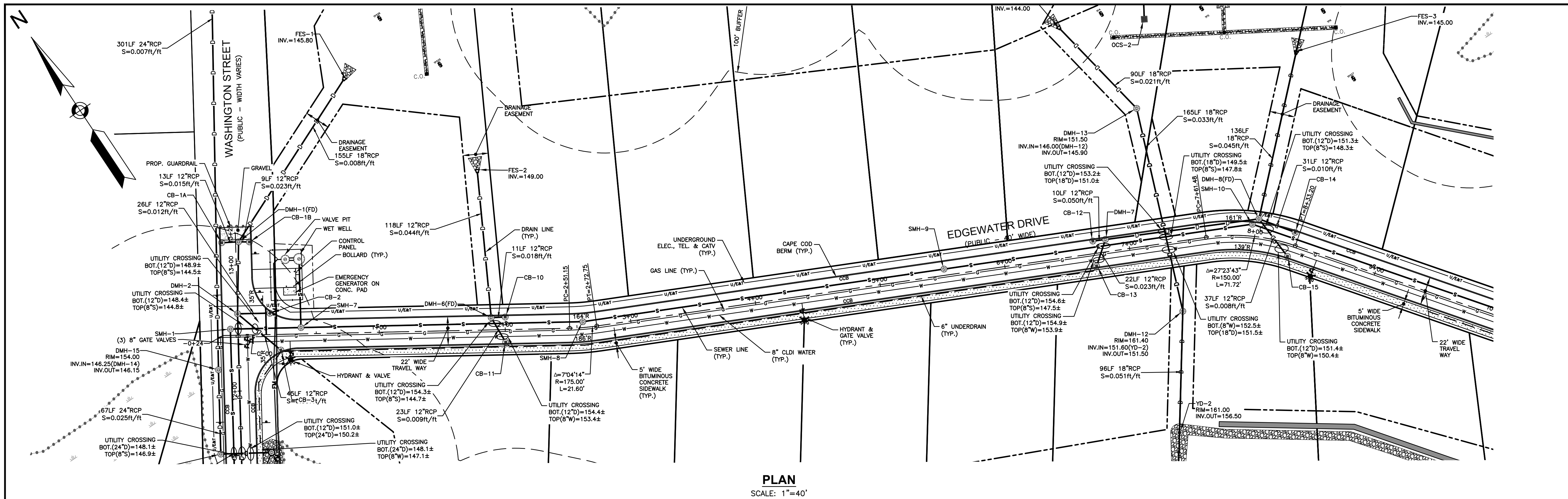


REVISIONS		
NO.	REVISION	DATE
2	REVISE PER CITY COMMENTS	9/26/24
1	REVISE PER CITY COMMENTS	8/2/24

**WASHINGTON
STREET
PLAN &
PROFILE**

SCALE: 1"=40' HORIZ.
1"=8' VERT.
PROJECT NO.
NEX-2200136

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**BROOKVIEW HEIGHTS
DEFINITIVE SUBDIVISION PLAN
DHB HOMES, LLC
LAND OFF WASHINGTON STREET
METHUEN, MASSACHUSETTS**



REVISIONS		
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2	REVISE PER CITY COMMENTS	9/26/24
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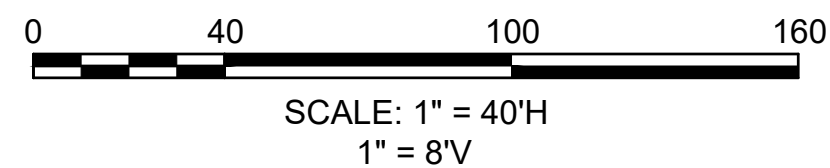
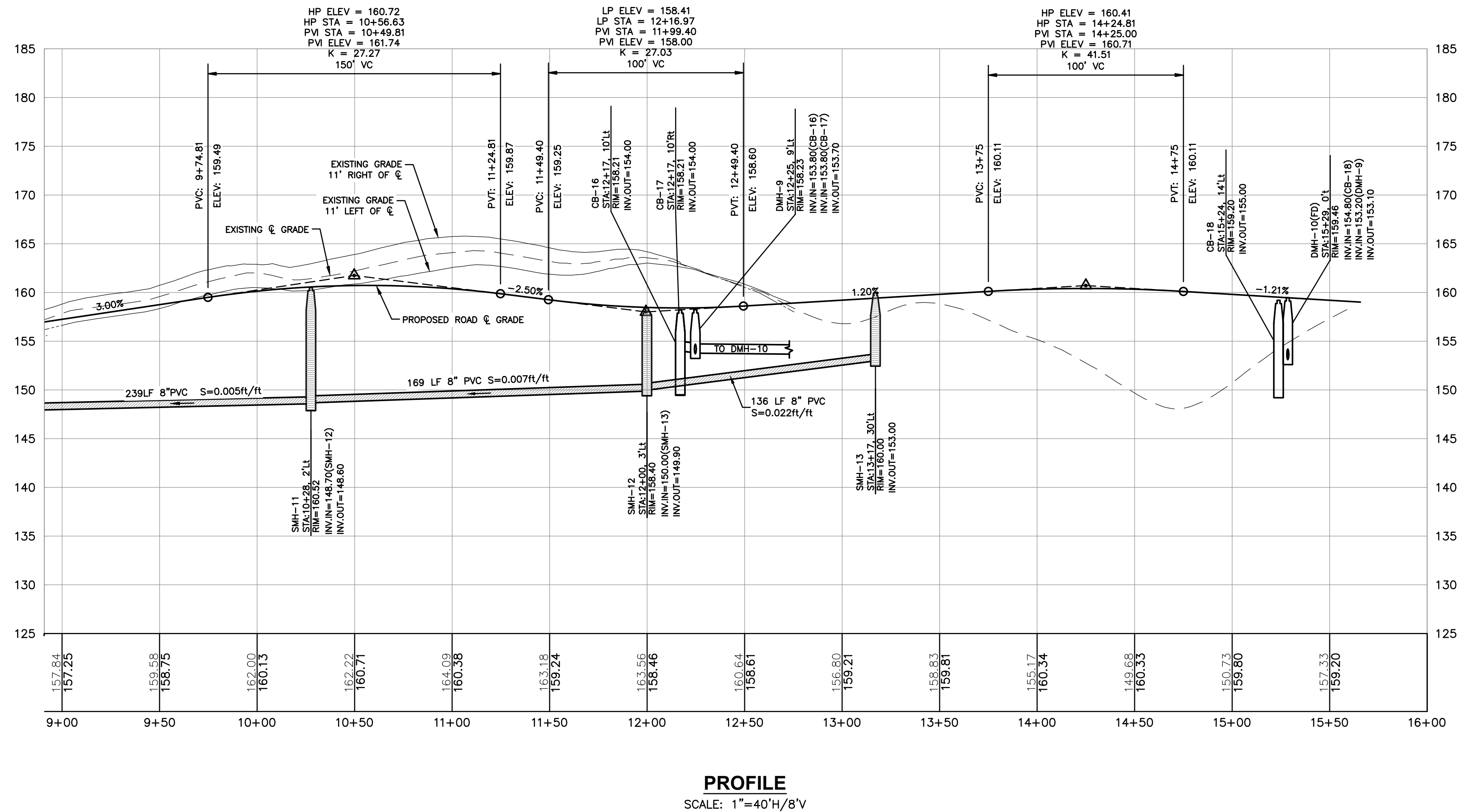
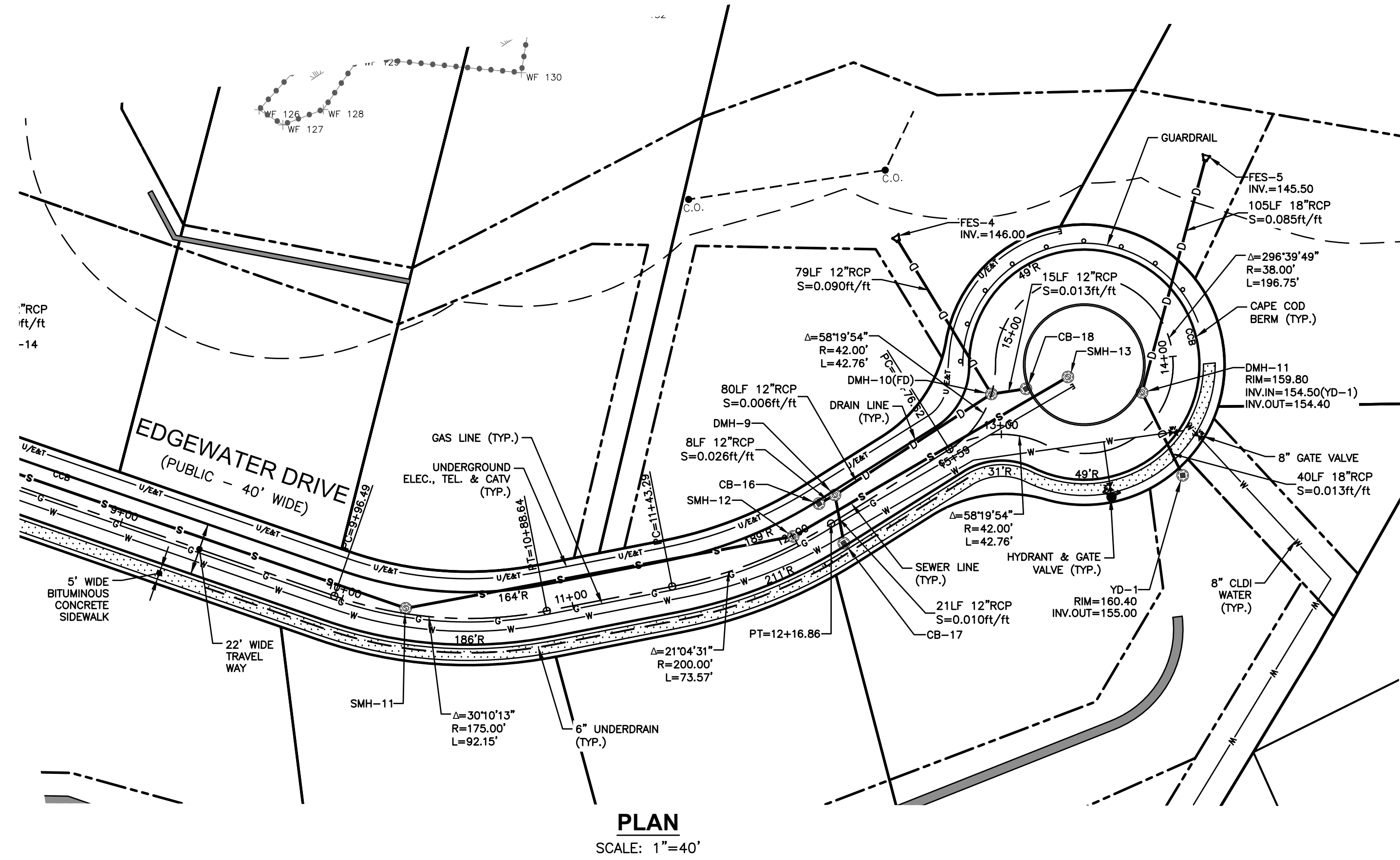
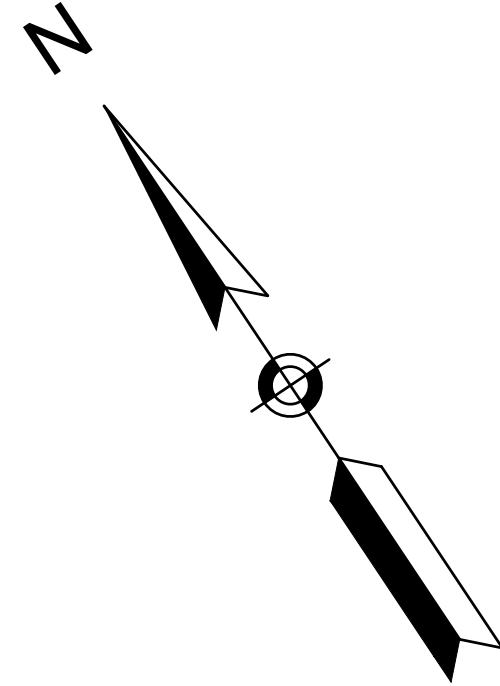
**EDGEWATER DRIVE
PLAN & PROFILE**

SCALE: 1"=40' HORIZ.
1"=8' VERT.

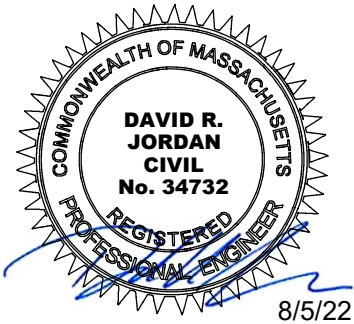
PROJECT NO.
NEX-2200136

23 OF 32

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**BROOKVIEW HEIGHTS
DEFINITIVE SUBDIVISION PLAN
DHB HOMES, LLC
LAND OFF WASHINGTON STREET
METHUEN, MASSACHUSETTS**

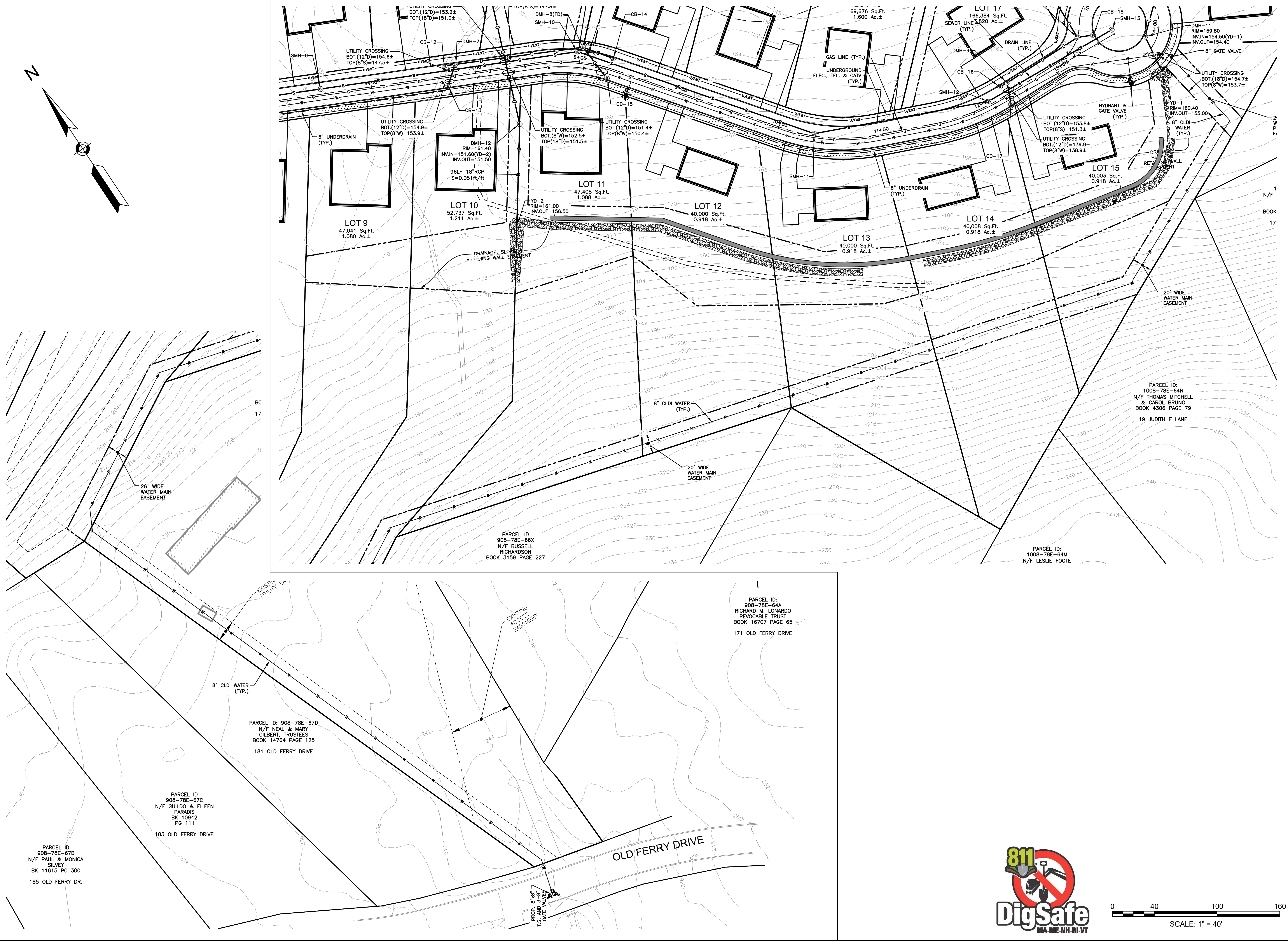


REVISIONS		
NO.	REVISION	DATE
1	REVISE PER CITY COMMENTS	8/2/24

MARCH 6, 2024

DRAWN/DESIGN BY	CHECKED BY
GMP	DRJ

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GPI Engineering
Design
Planning
Construction Management
030.893.0720
Greenman-Pedersen, Inc.
44 Stiles Road, Suite One
Salem, NH 03079
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PREPARED FOR
DHB HOMES, LLC
25 BUTTRICK ROAD, UNIT A1
LONDONDERRY, NH 03053

**BROOKVIEW HEIGHTS
DEFINITIVE SUBDIVISION PLAN
DHB HOMES, LLC
LAND OFF WASHINGTON STREET
METHUEN, MASSACHUSETTS**

DAVID R. JORDAN
CIVIL
No. 34732
MASSACHUSETTS
8/5/22

REVISIONS		
NO.	REVISION	DATE
1	REVISE PER CITY COMMENTS	8/2/24

MARCH 6, 2024

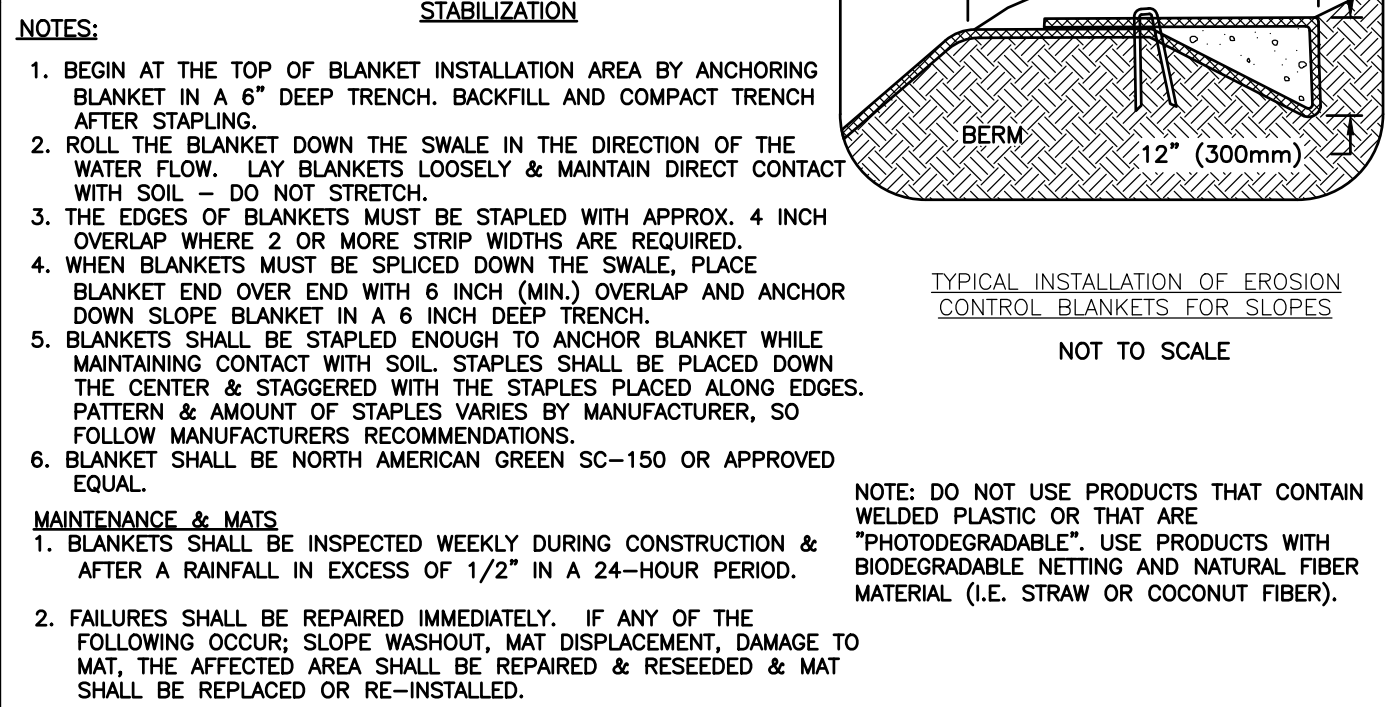
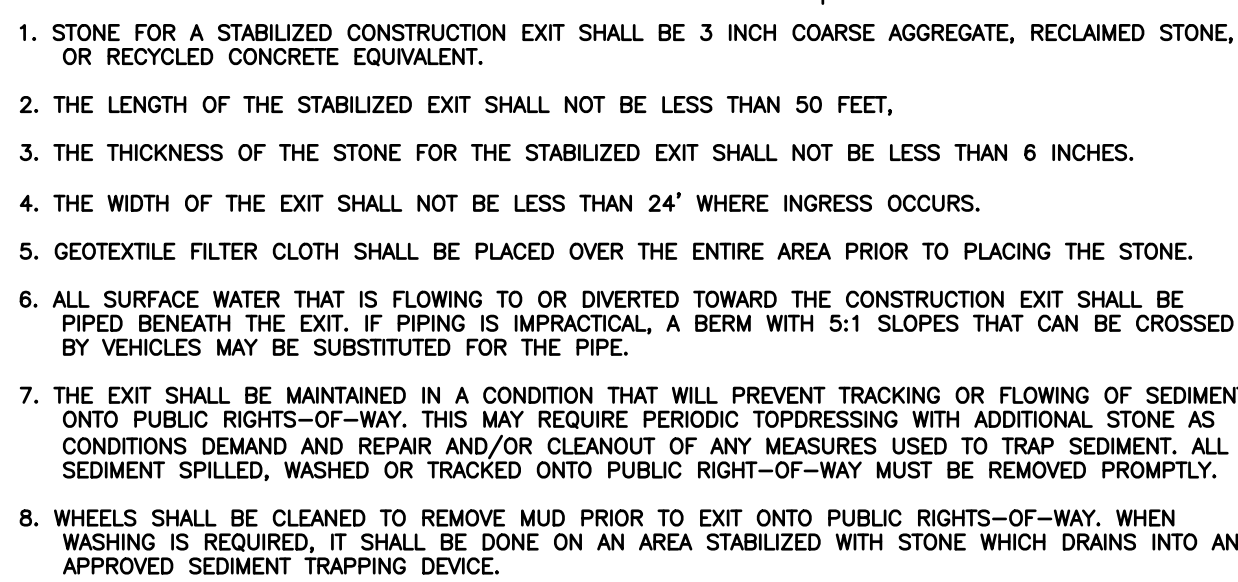
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**CROSS
COUNTRY
WATER MAIN
PLAN**

SCALE: 1"=40'

PROJECT NO.
NEX-2200136

25 OF 32



1-3/4" 1-3/4" 1-3/4" 4" WOOD STAKE OR APPROVED EQUAL

SILT FENCE (MIRAFI 100X OR APPROVED EQUAL)

UPHILL SIDE

WORK AREA

TOP OF GROUND

LOW

1" (MIN.)

8" (MIN.)

4" EMBEDMENT (MIN.)

SILT FENCE "SKIRT" FOLDED UNDER HAY BALES

EMBED 8" OF FILTER CLOTH INTO GROUND IN A 4"x4" TRENCH

(2) STRIPS OF NYLON BALE TWINE OR WIRE TO BE PARALLEL TO GROUND SURFACE STAKED BALES

WOVEN WIRE FENCE (14 1/2 GAUGE MINIMUM, MAXIMUM 6" MESH SPACING) WITH FILTER CLOTH OVER

TRENCH SPOILS

UNDISTURBED GROUND

HAYBALES

36" (MIN.) FENCE POST

20" (MIN.)

16" (MIN.)

CROSS SECTION

CONSTRUCTION NOTES FOR FABRICATED SILT FENCE

1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
2. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
4. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

POST: 2" HARDWOOD

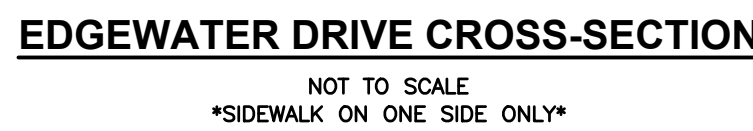
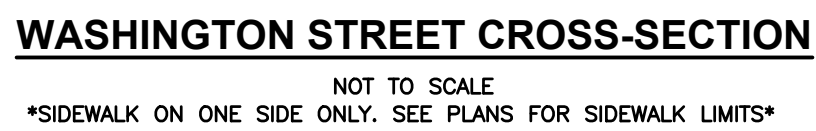
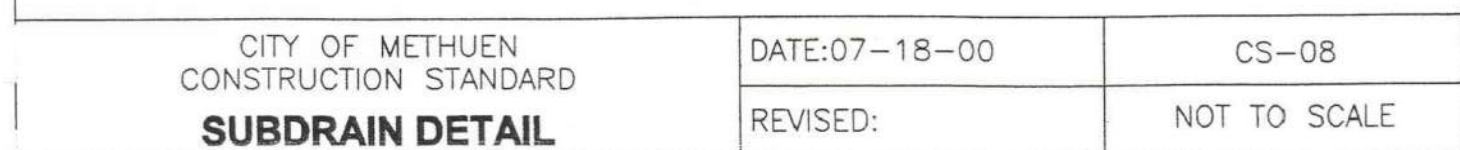
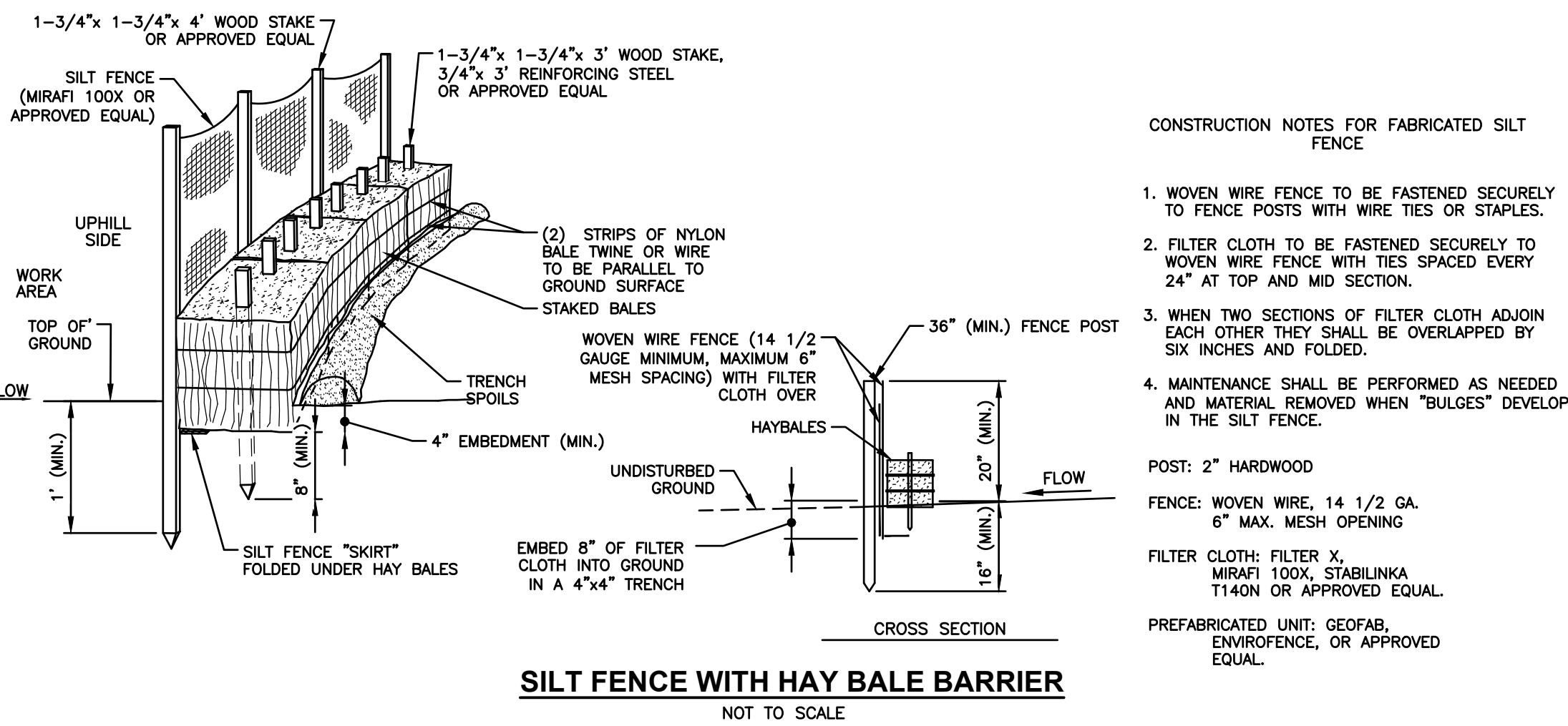
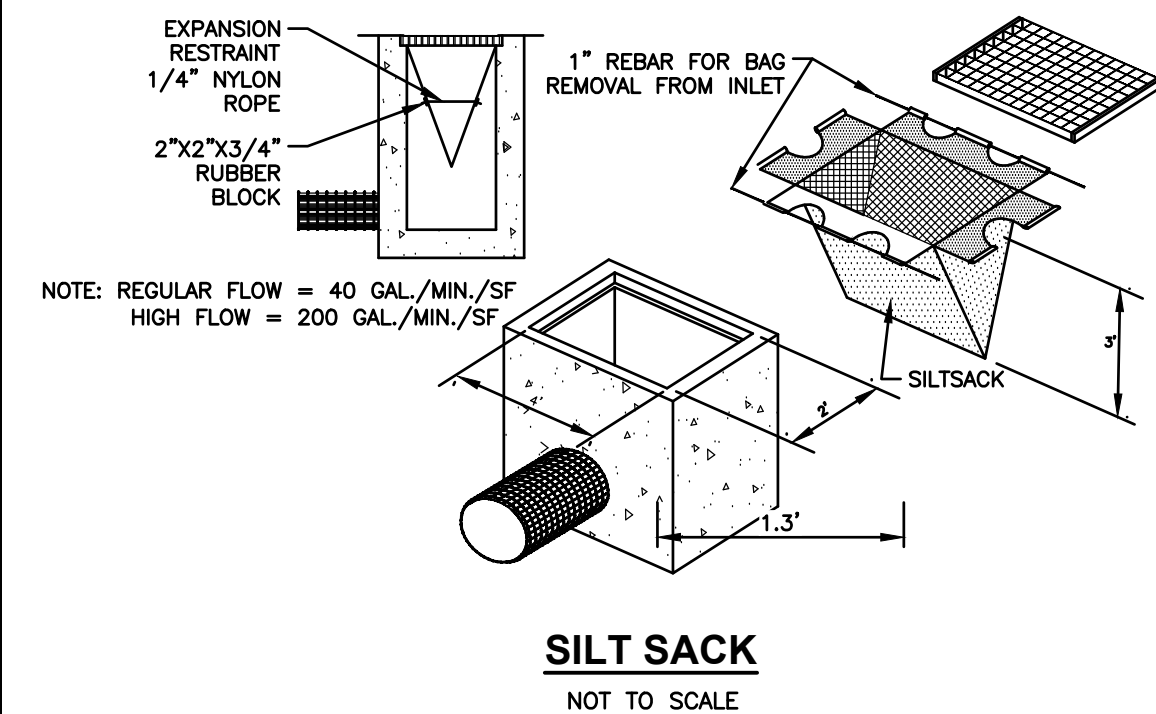
FENCE: WOVEN WIRE, 14 1/2 GA. 6" MAX. MESH OPENING

FILTER CLOTH: FILTER X, MIRAFI 100X, STABILINKA T140N OR APPROVED EQUAL.

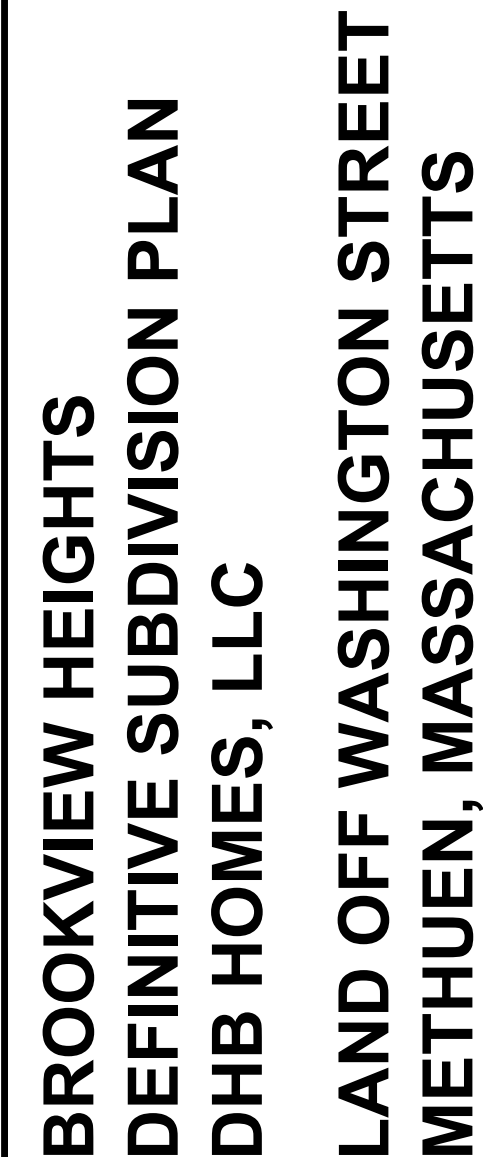
PREFABRICATED UNIT: GEOFAB ENVIRONMENT, OR APPROVED EQUAL.

SILT FENCE WITH HAY BALE BARRIER

NOT TO SCALE

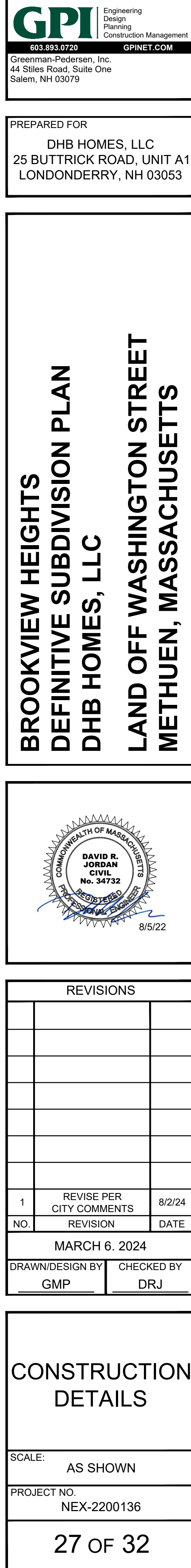
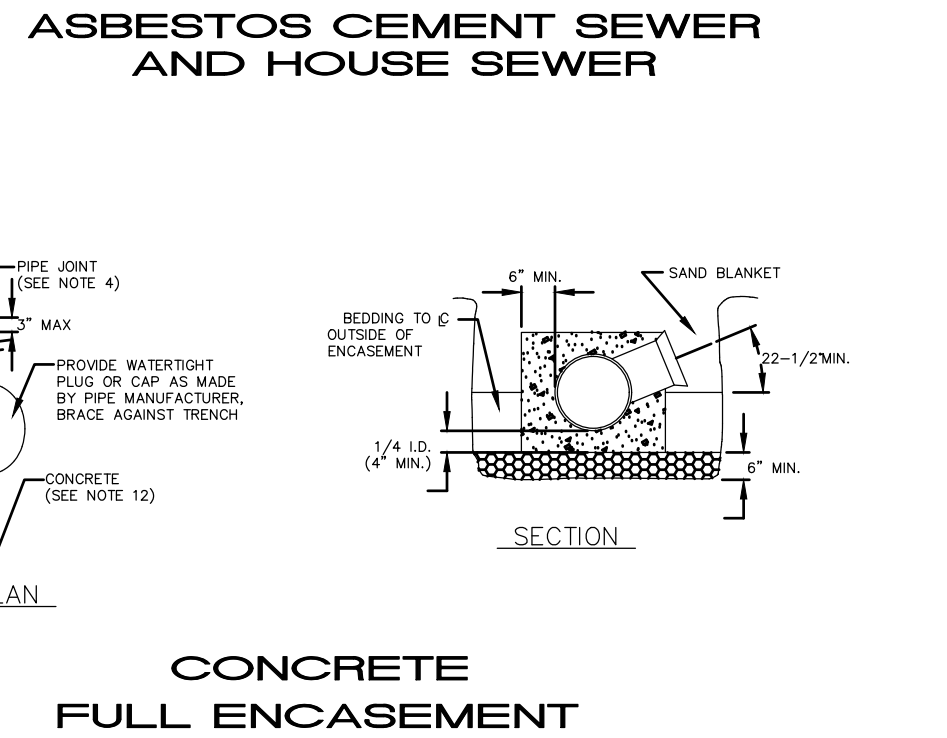
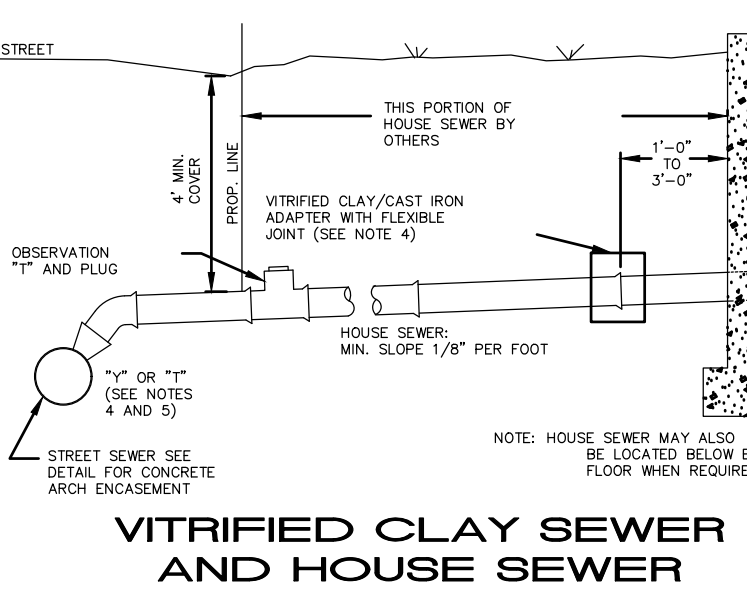
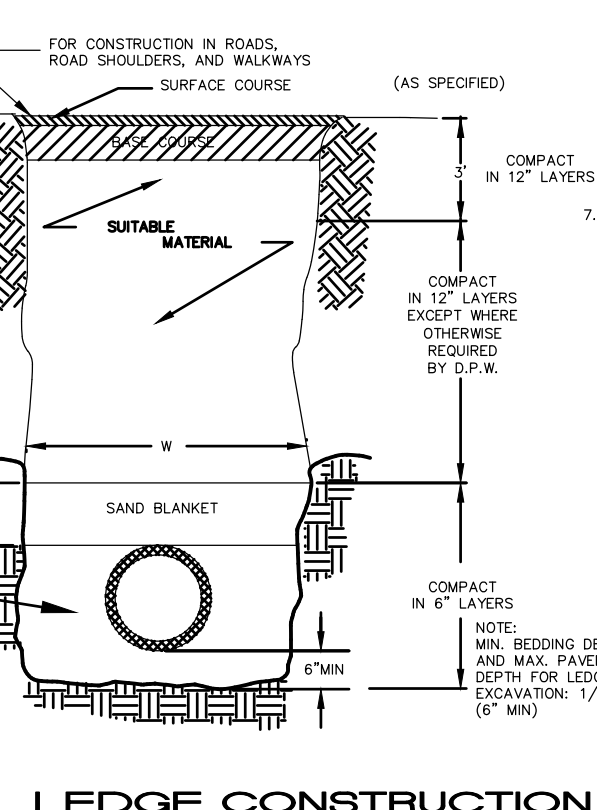
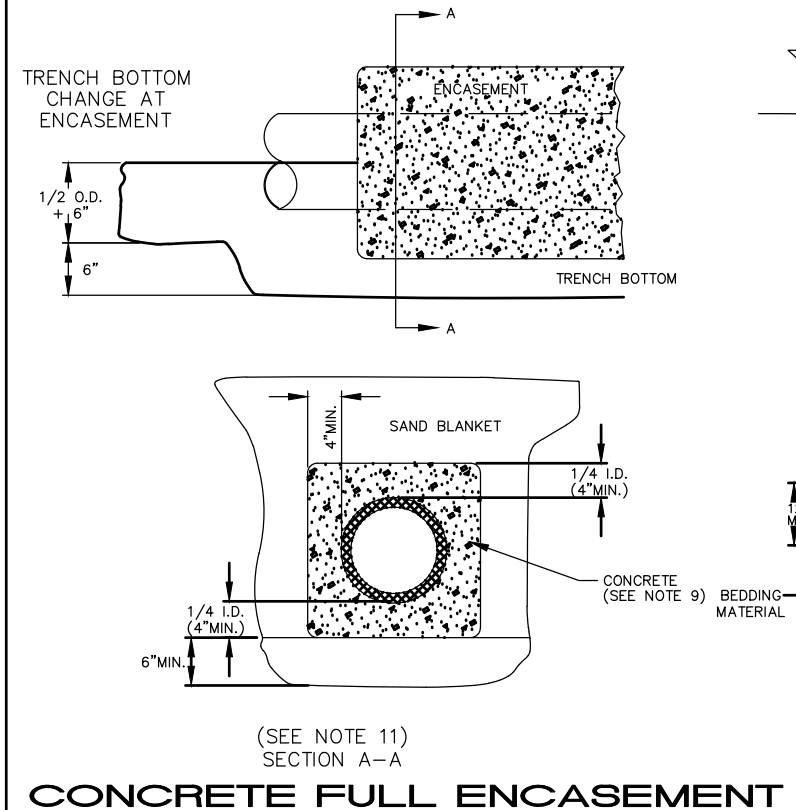
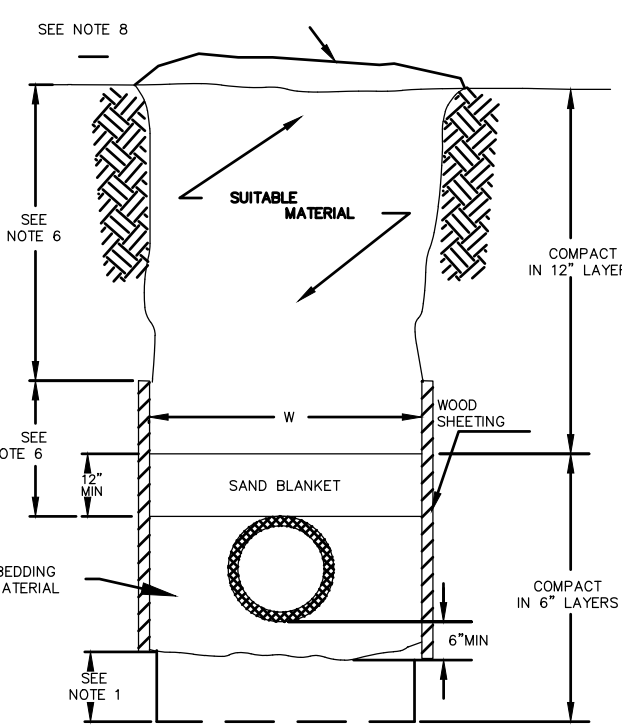
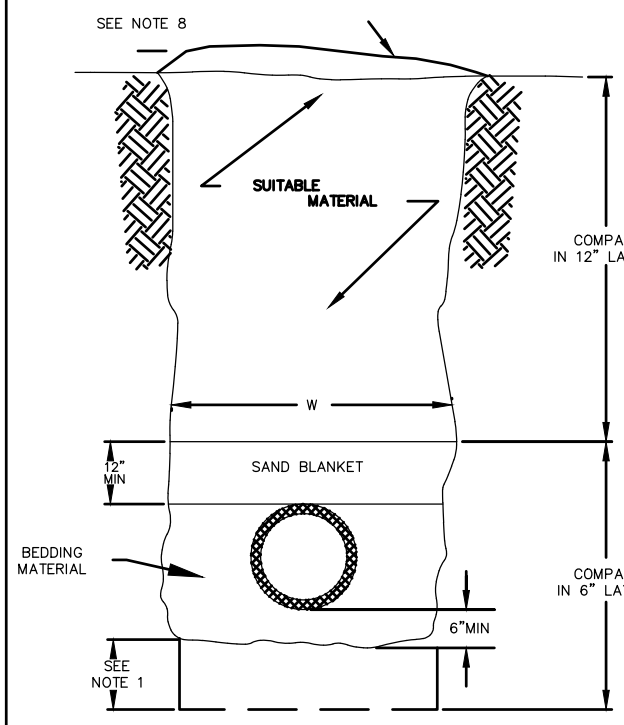
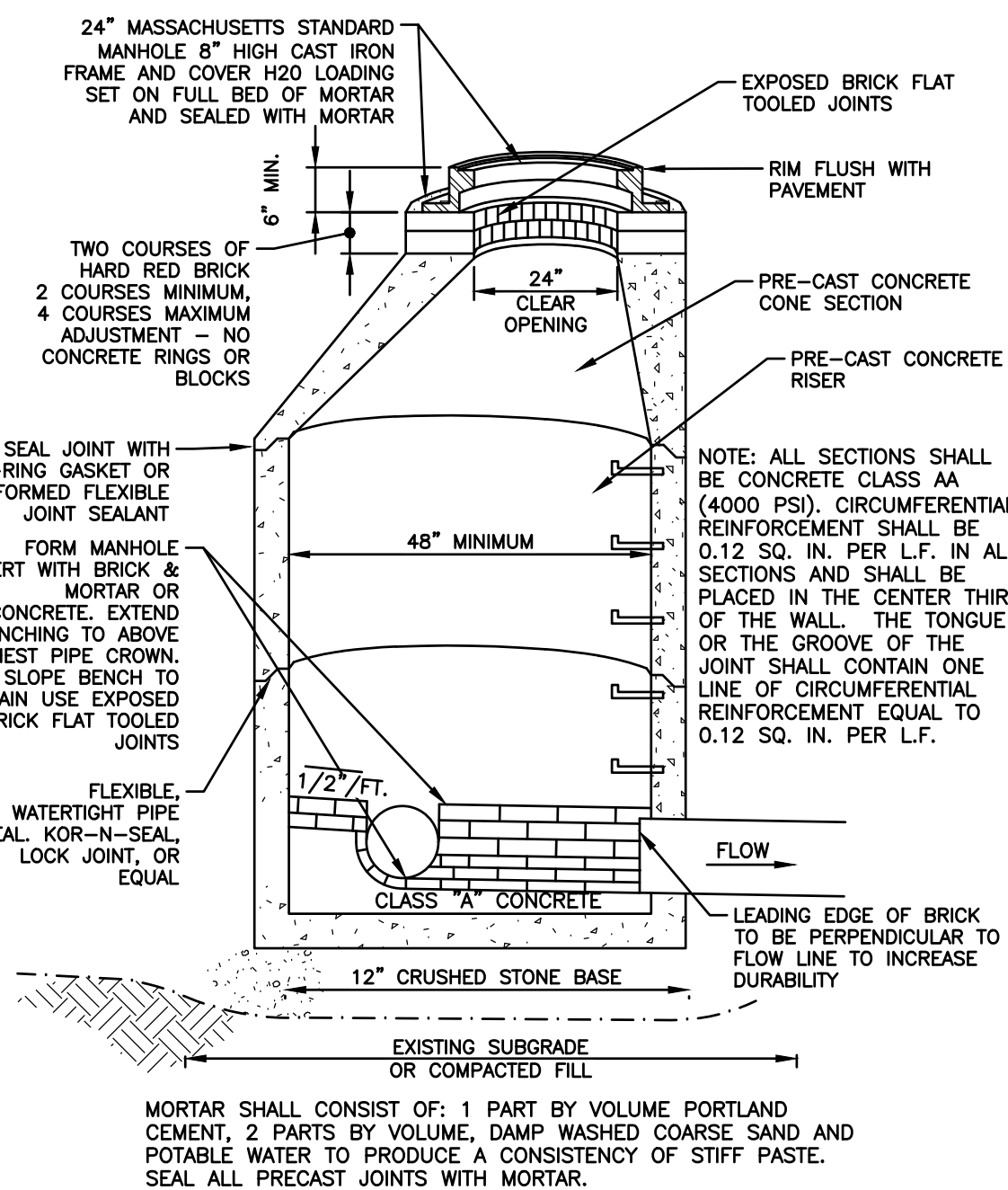
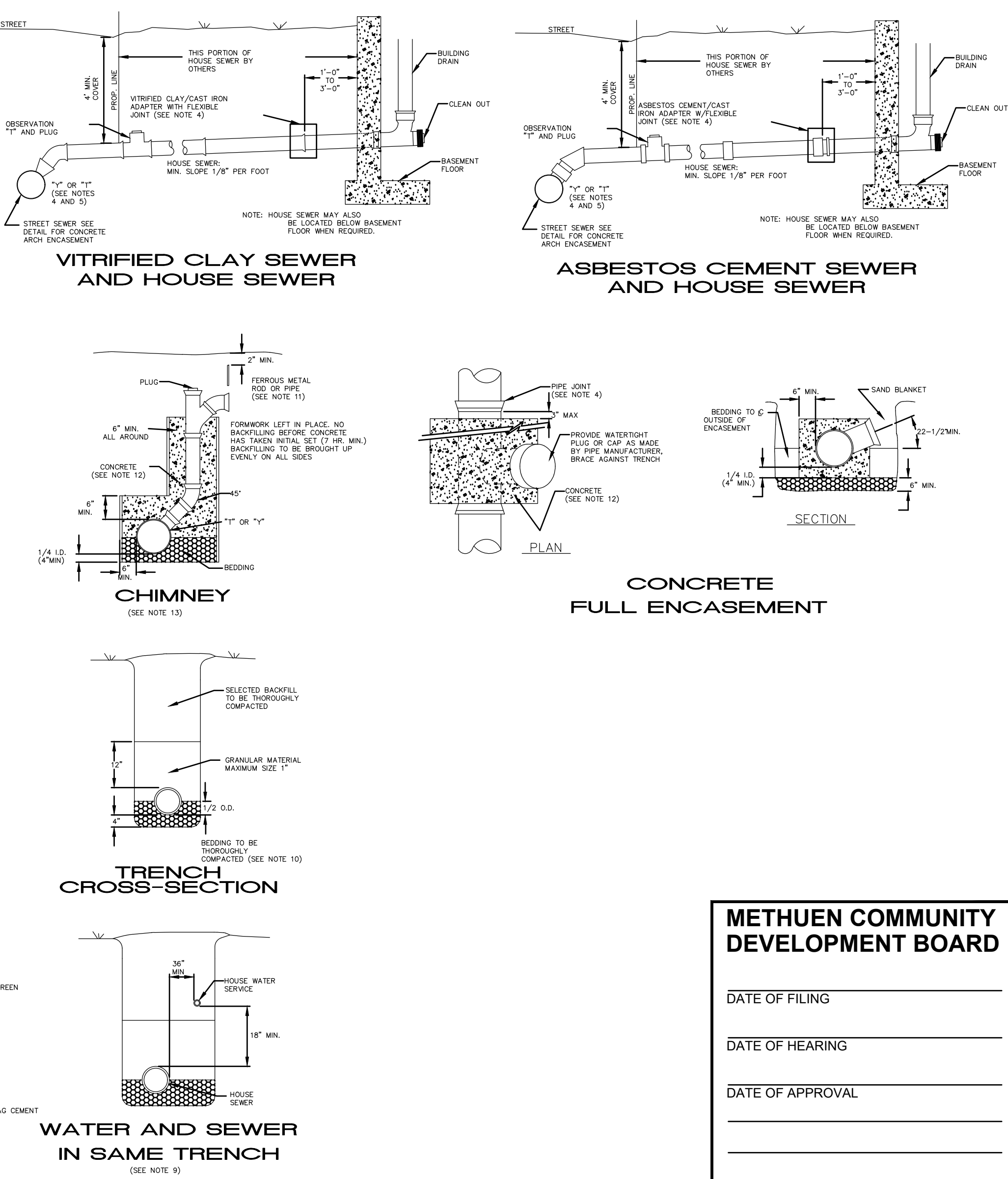
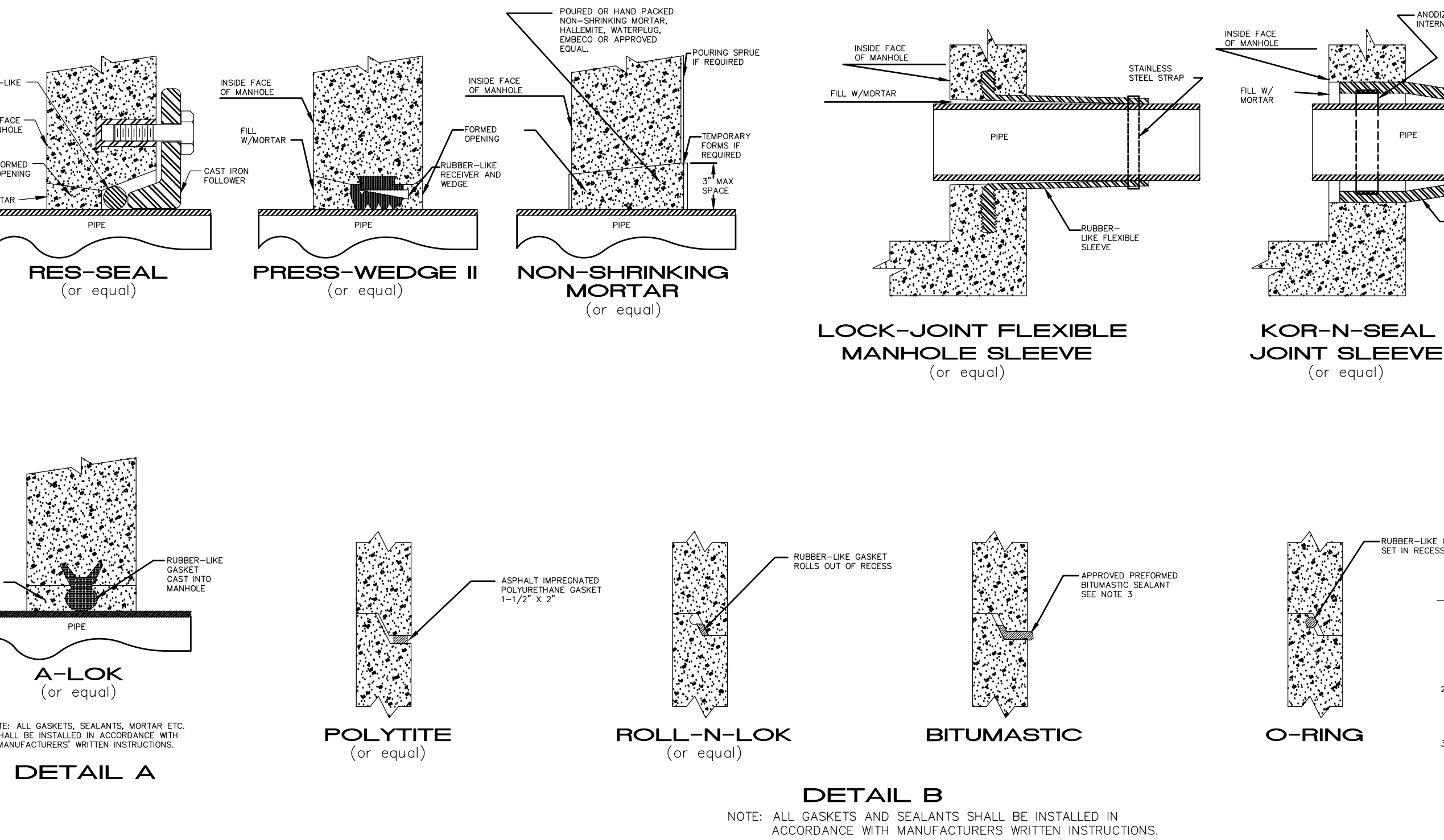
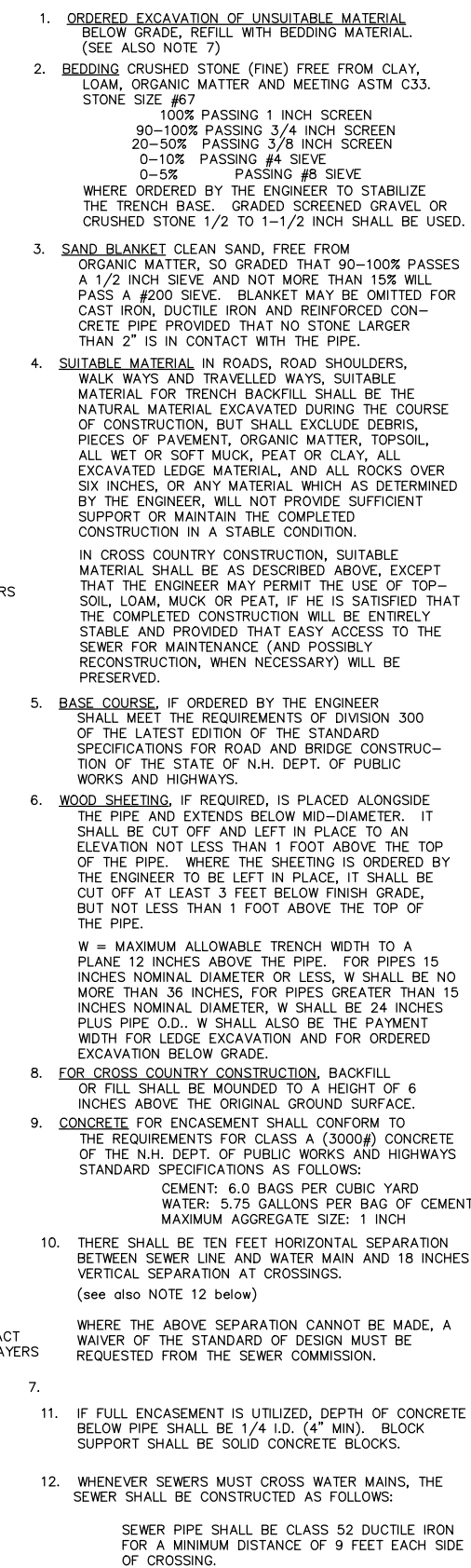
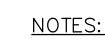
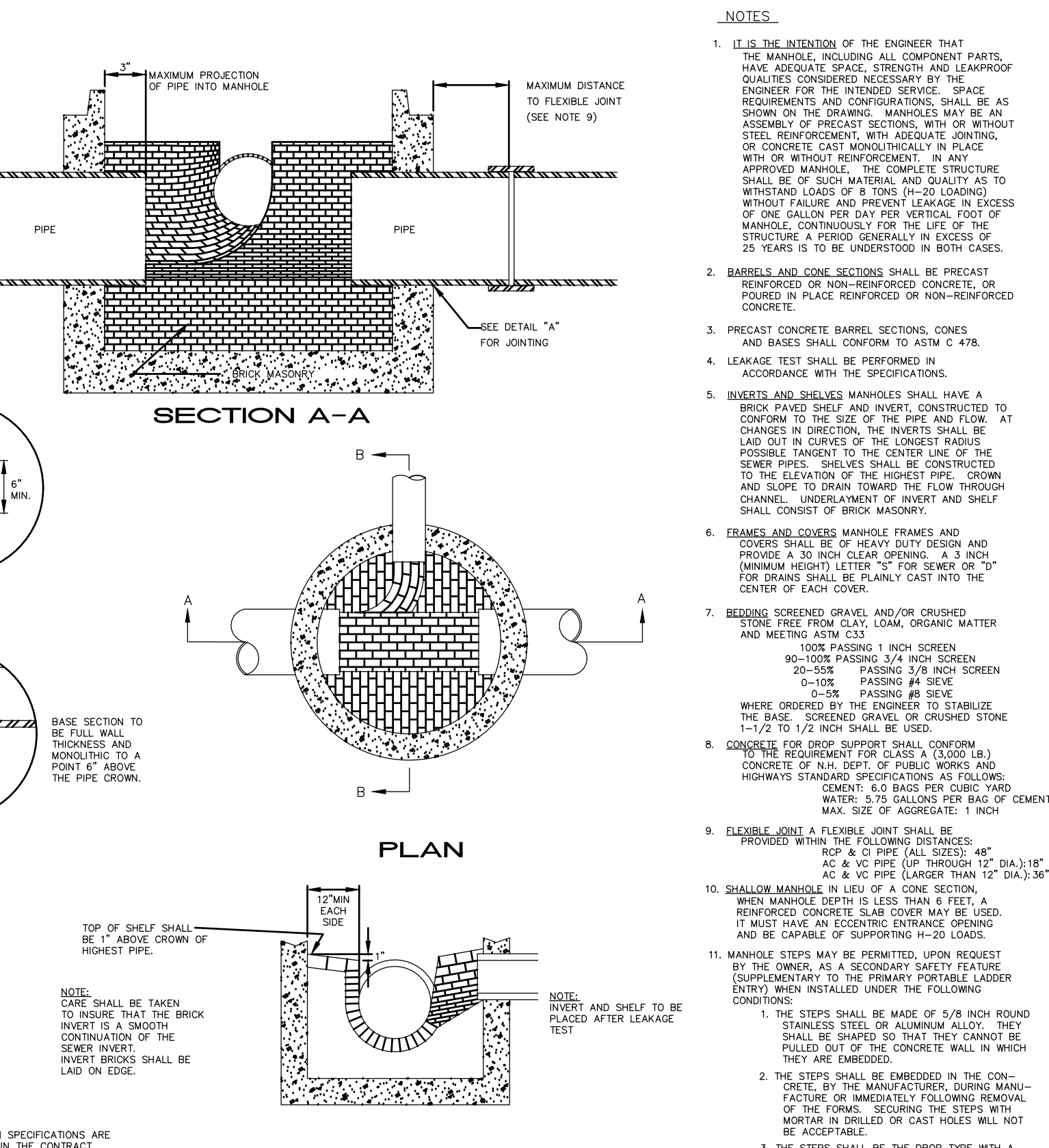
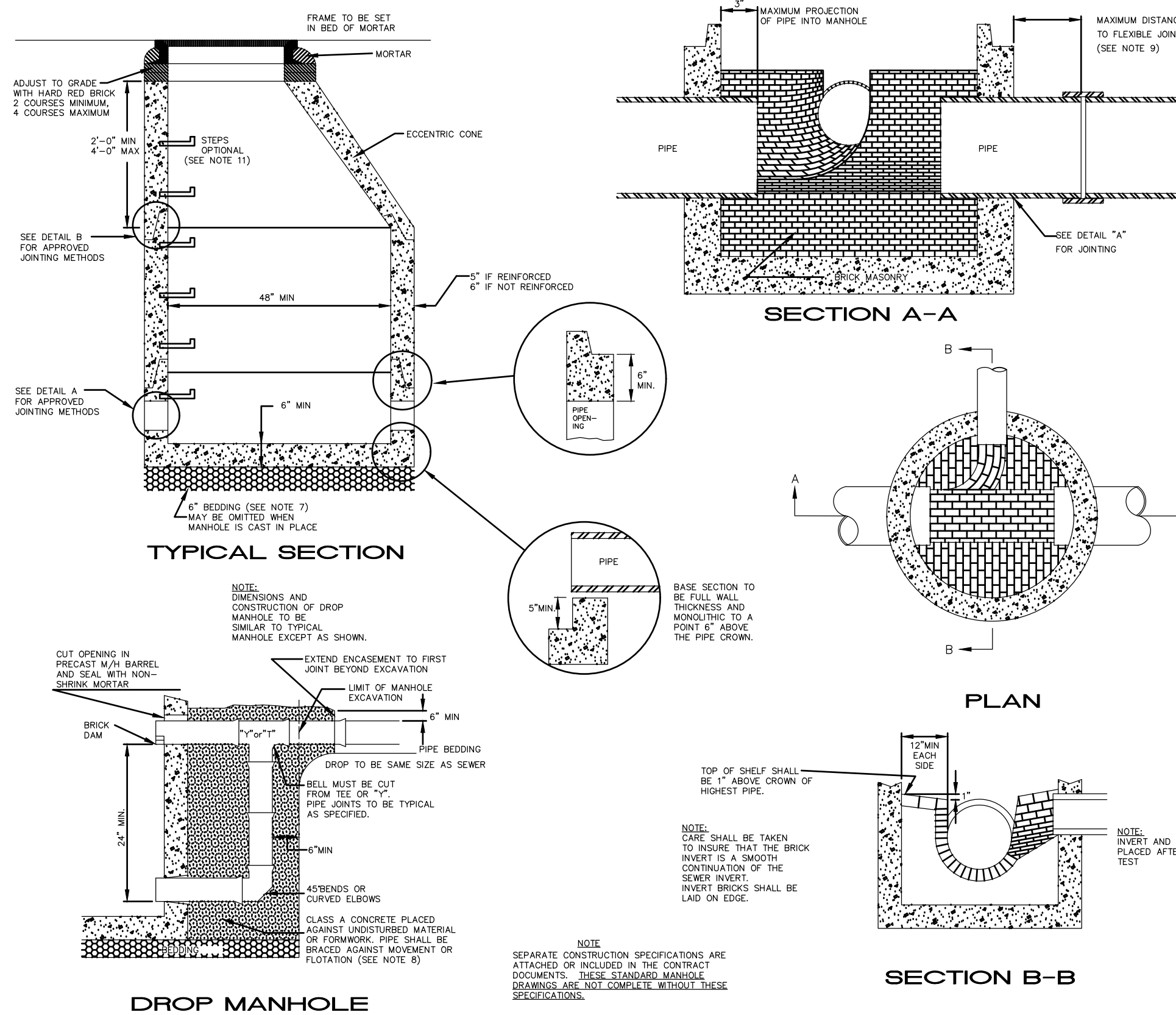


METHUEN COMMUNITY DEVELOPMENT BOARD	
DATE OF FILING	
DATE OF HEARING	
DATE OF APPROVAL	

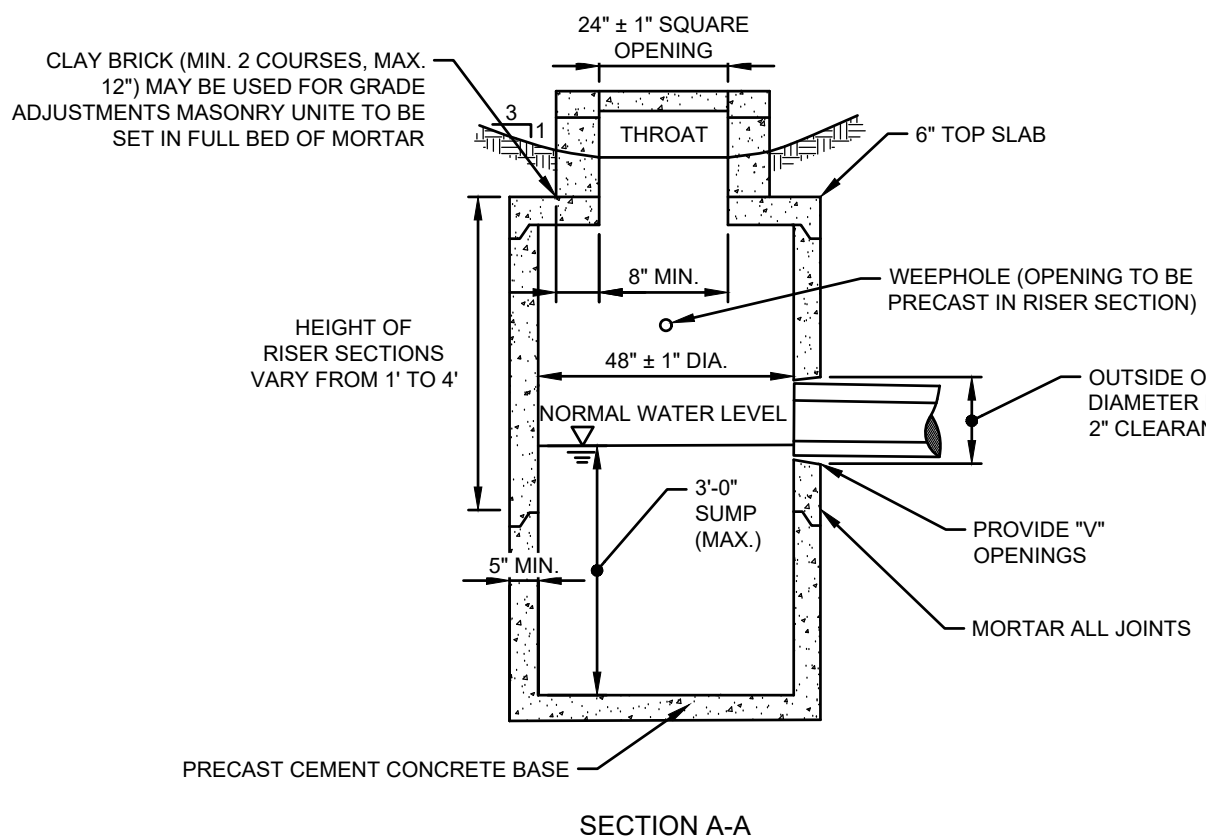
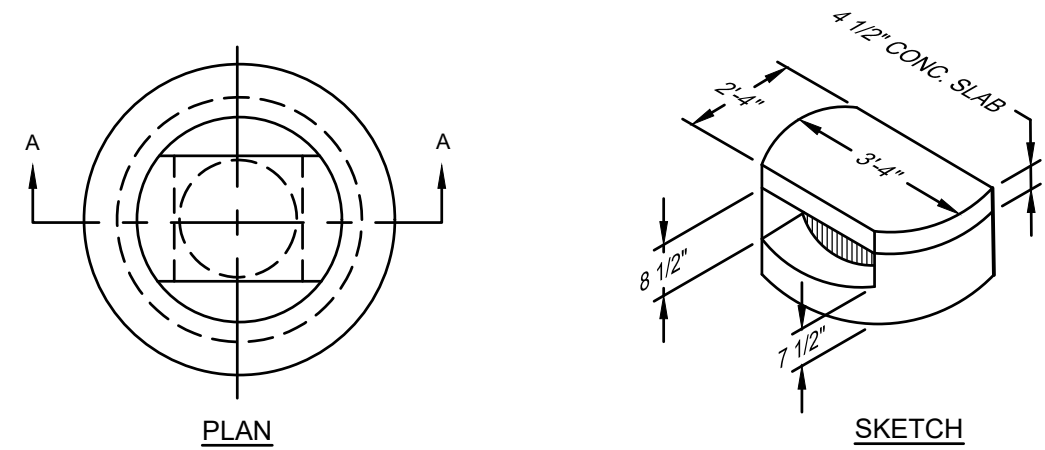


MARCH 6, 2024	
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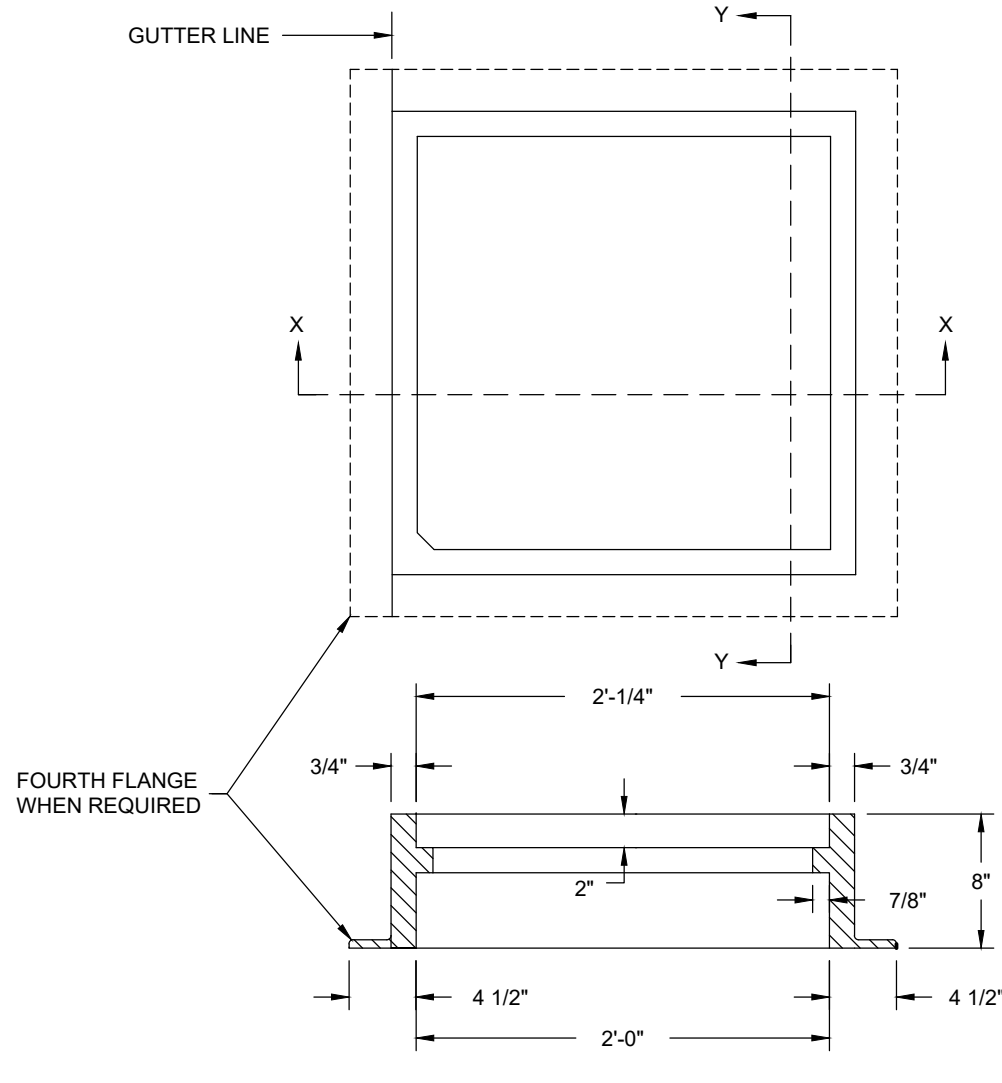
CONSTRUCTION DETAILS	
SCALE:	AS SHOWN
PROJECT NO.	NEX-2200136
26 OF 32	



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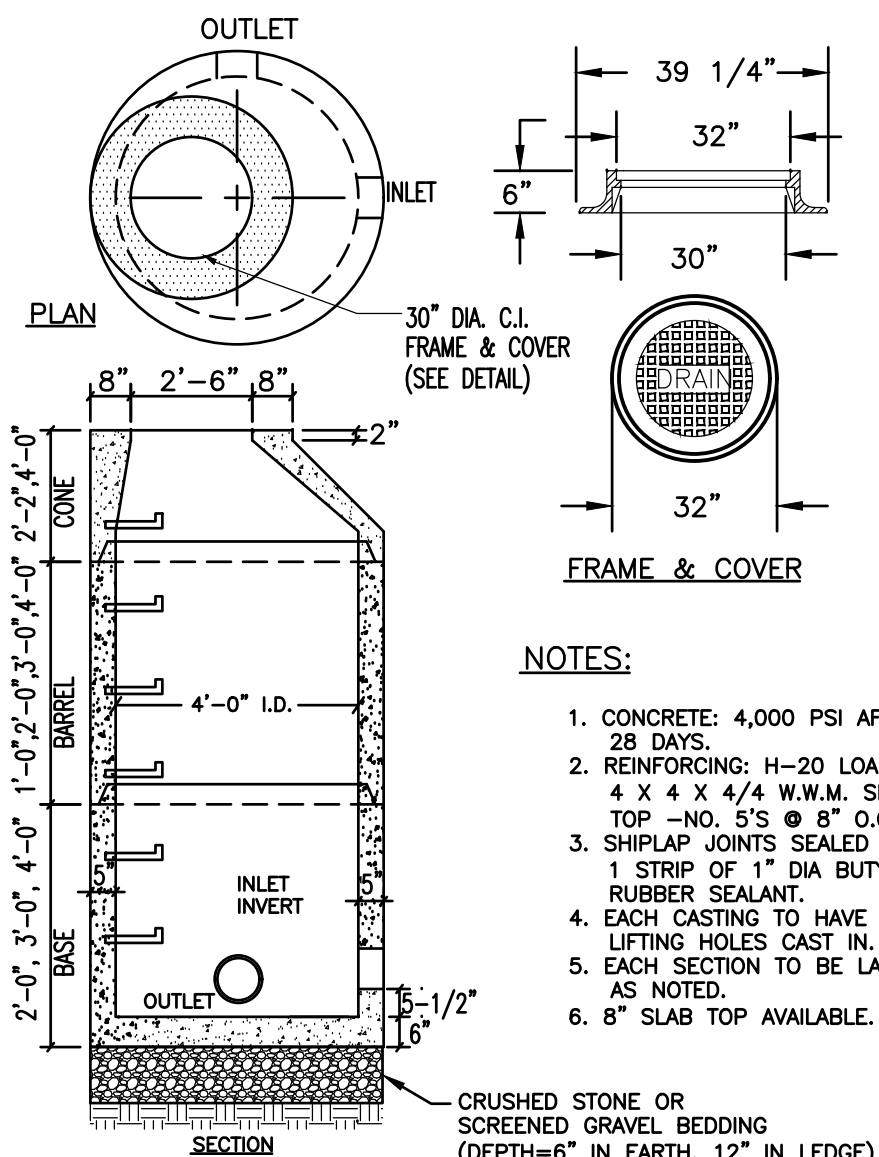


PRECAST CONCRETE DROP INLET
NOT TO SCALE



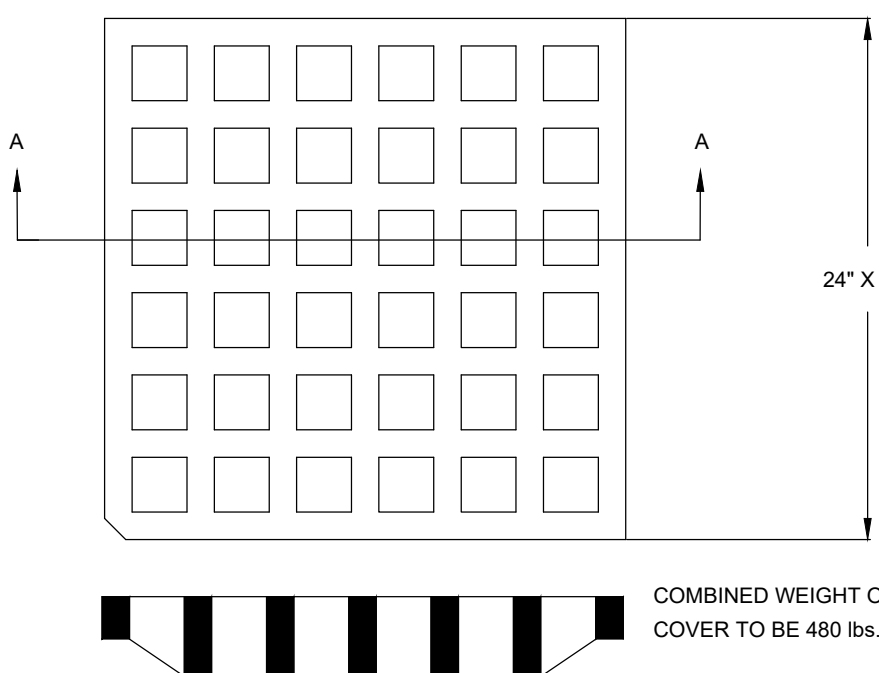
- NOTES:
1. MINIMUM FRAME WEIGHT:
4 FLANGE- 285 lbs.
3 FLANGE- 265 lbs.
 2. MATERIAL- CAST IRON. SEE SPECIFICATIONS.
 3. TO BE USED WITH STANDARD GRATES TYPE A-1, A-3 AND MASSACHUSETTS CASCADE GRATE.

CATCH BASIN FRAME
NOT TO SCALE

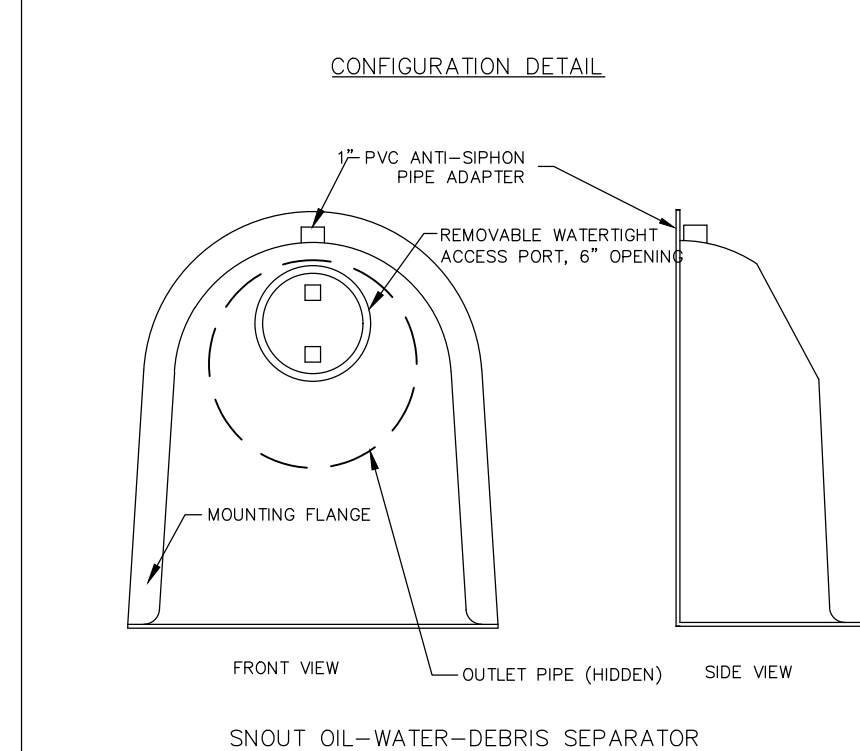


- NOTES:
1. CONCRETE: 4,000 PSI AFTER 28 DAYS.
 2. REINFORCING: H-20 LOADING, 4 X 4 X 4/4 W.W.M. SLAB TOP -NO. 5'S @ 8\"/>

DRAIN MANHOLE
NOT TO SCALE



CATCH BASIN GRATE
NOT TO SCALE

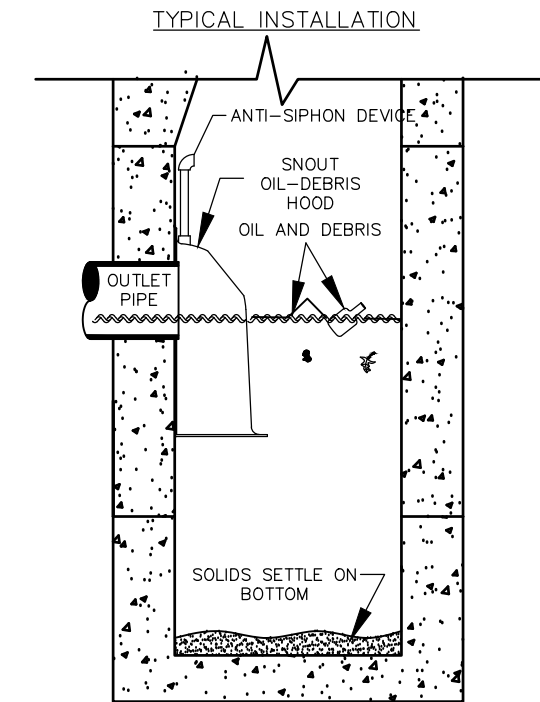


NOTES:

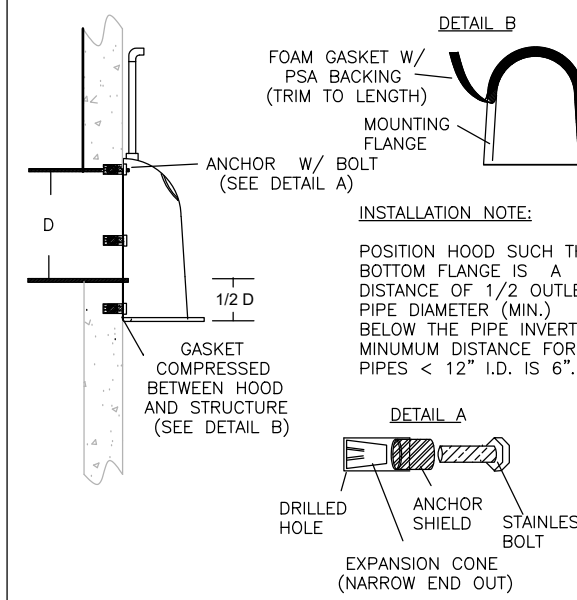
1. ALL HOODS AND TRAPS FOR CATCH BASINS AND WATER QUALITY STRUCTURES SHALL BE AS MANUFACTURED BY: BEST MANAGEMENT PRODUCTS, INC. 53 MT. ARCHER RD. LYME, CT 06371 (860) 434-0277, (860) 434-3195 FAX TOLL FREE: (800) 504-8008 OR (888) 354-7585 WEB SITE: www.bestmg.com
2. ALL HOODS SHALL BE CONSTRUCTED OF A GLASS REINFORCED RESIN COMPOSITE WITH ISO GEL COAT EXTERIOR FINISH WITH A MINIMUM 0.125\"/>
3. ALL HOODS SHALL BE EQUIPPED WITH A WATER TIGHT ACCESS PORT, A MOUNTING FLANGE, AND AN ANTI-SIPHON VENT AS DRAWN. (SEE CONFIGURATION DETAIL.)
4. THE SIZE AND POSITION OF THE HOOD SHALL BE DETERMINED BY OUTLET PIPE SIZE AS PER MANUFACTURER'S RECOMMENDATION.
5. THE BOTTOM OF THE HOOD SHALL EXTEND DOWNWARD A DISTANCE EQUAL TO 1/2 THE OUTLET PIPE DIAMETER WITH A MINIMUM DISTANCE OF 4\"/>
6. THE ANTI-SIPHON VENT SHALL EXTEND ABOVE HOOD BY MINIMUM OF 3\"/>
7. THE SURFACE OF THE STRUCTURE WHERE THE HOOD IS MOUNTED SHALL BE FINISHED SMOOTH AND FREE OF LOOSE MATERIAL.
8. THE HOOD SHALL BE SECURELY ATTACHED TO STRUCTURE WALL WITH 3/8\"/>
9. INSTALLATION INSTRUCTIONS SHALL BE FURNISHED WITH MANUFACTURER SUPPLIED INSTALLATION KIT. INSTALLATION KIT SHALL INCLUDE:
A. INSTALLATION INSTRUCTIONS
B. PVC ANTI-SIPHON VENT PIPE AND ADAPTER
C. OIL-RESISTANT CRUSHED CELL FOAM GASKET WITH PSA BACKING
D. 3/8\"/>

US Patent # 6126817

SNOUT OIL-DEBRIS HOOD
NOT TO SCALE

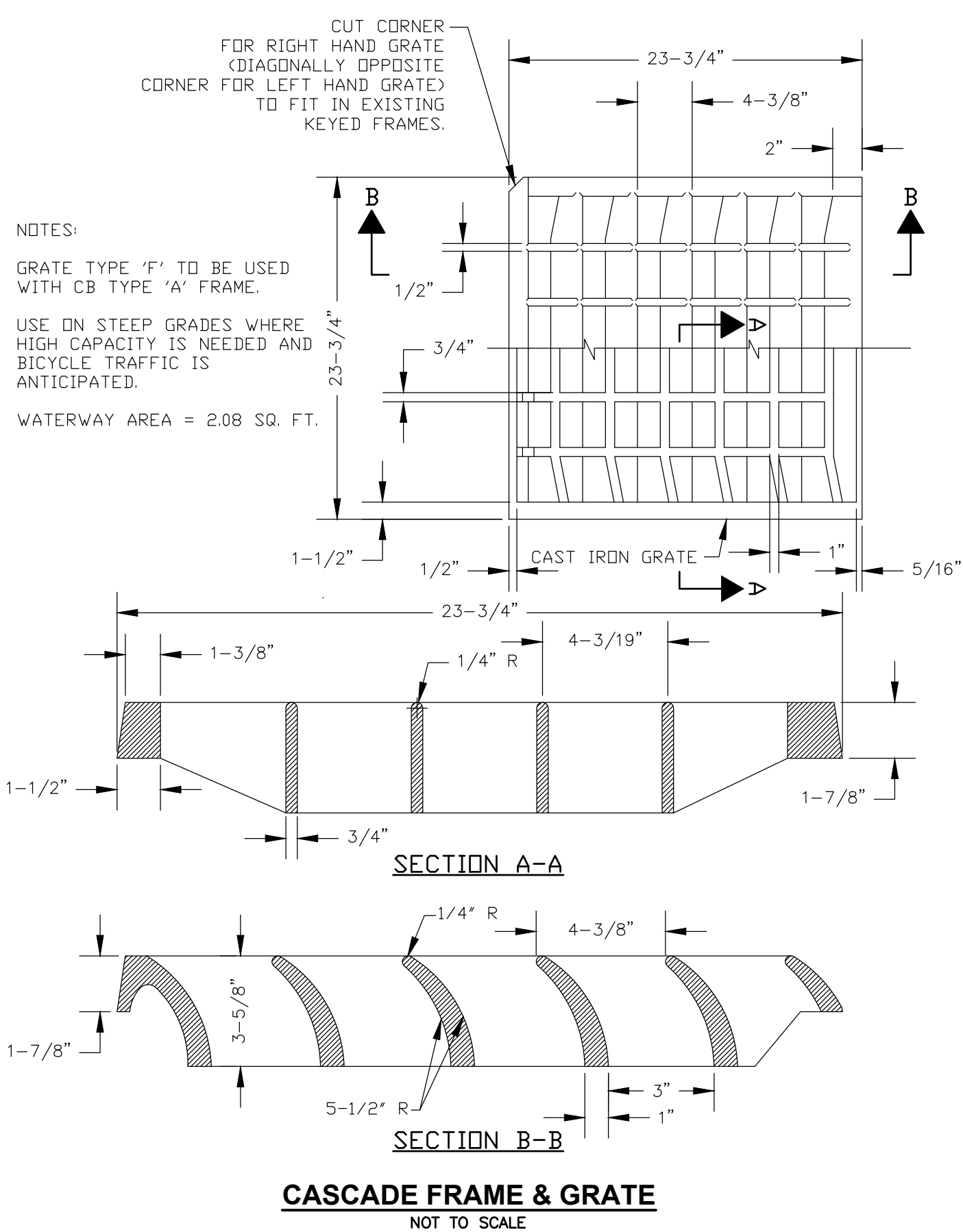


INSTALLATION DETAIL

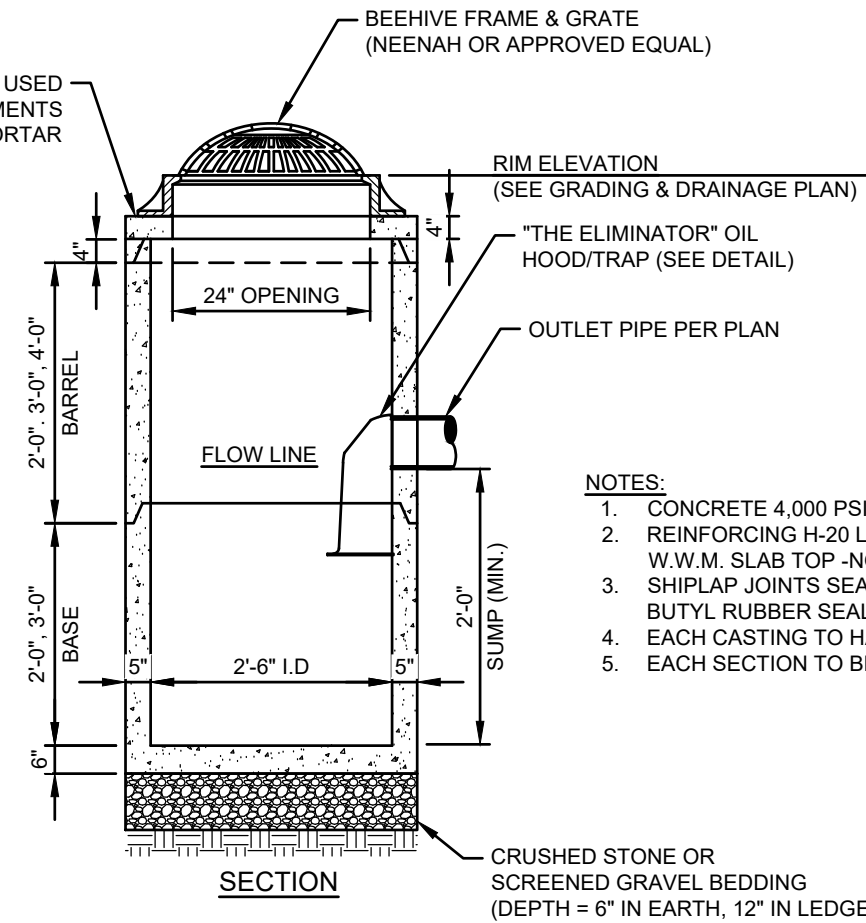


HOOD SPECIFICATION FOR CATCH BASINS AND WATER QUALITY STRUCTURES

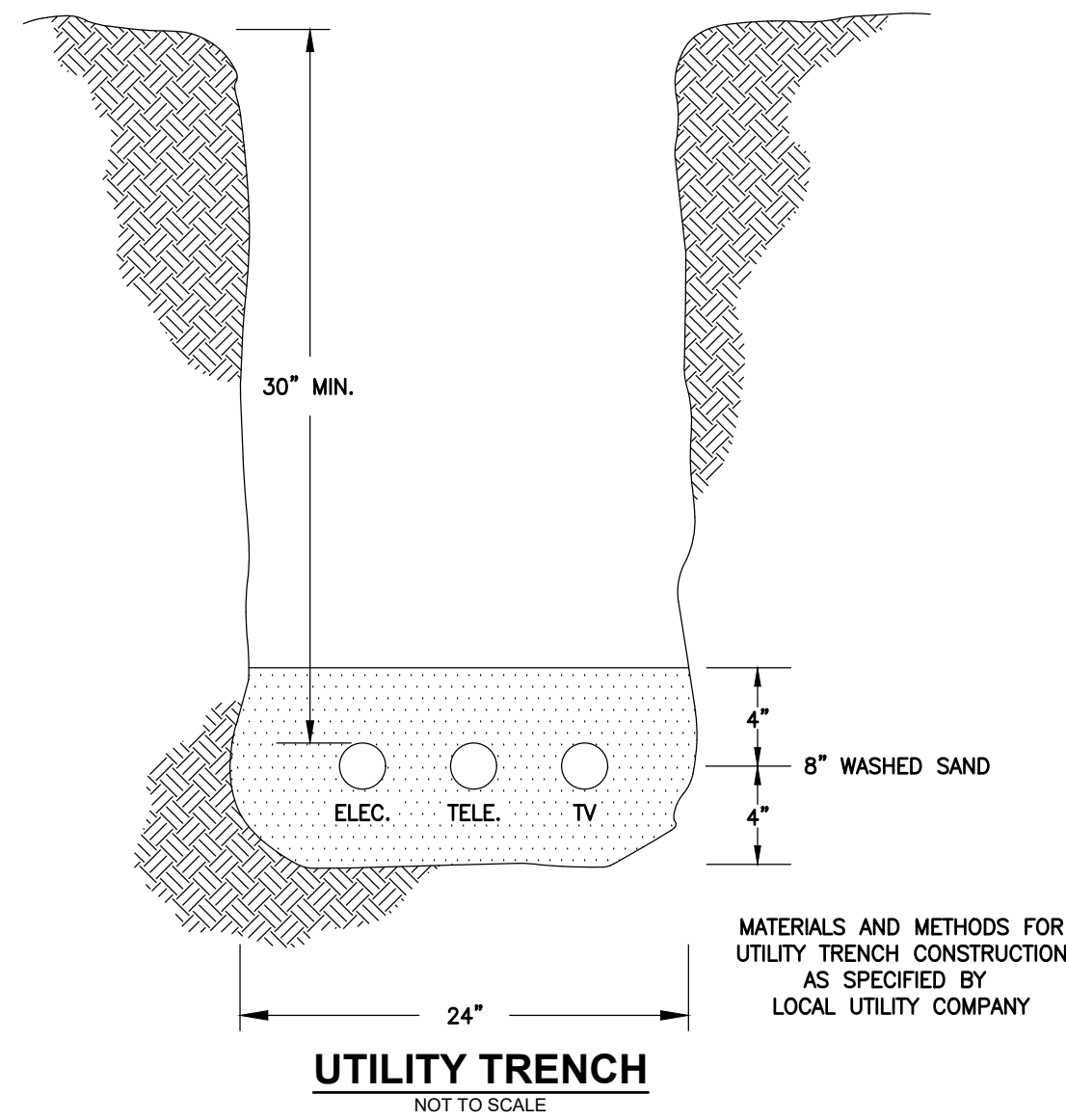
DESCRIPTION	DATE	SCALE
OIL- DEBRIS HOOD SPECIFICATION AND INSTALLATION (TYPICAL)	09/08/00	NONE
DRAWING NUMBER	SP-SN	



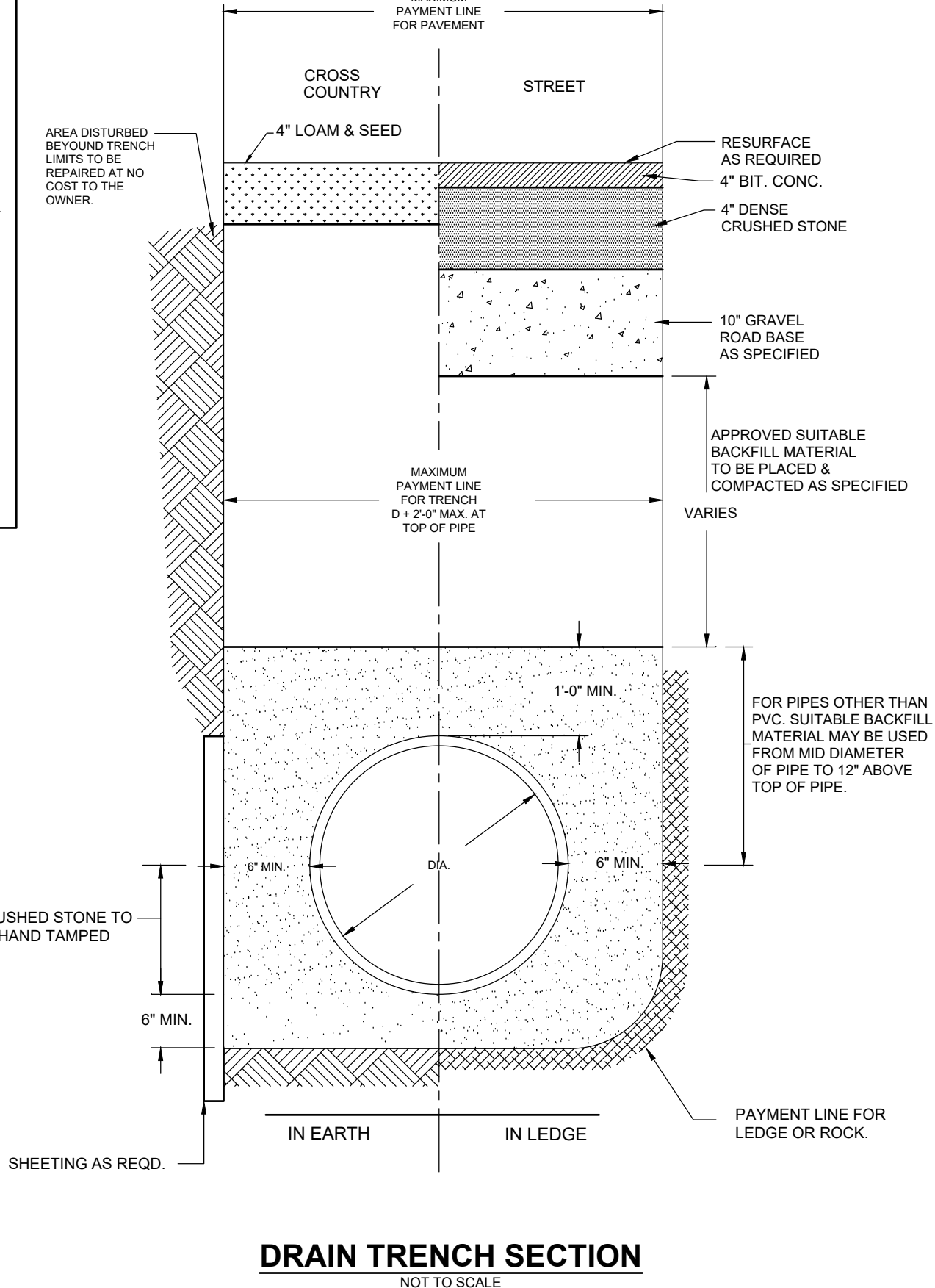
CASCADE FRAME & GRATE
NOT TO SCALE



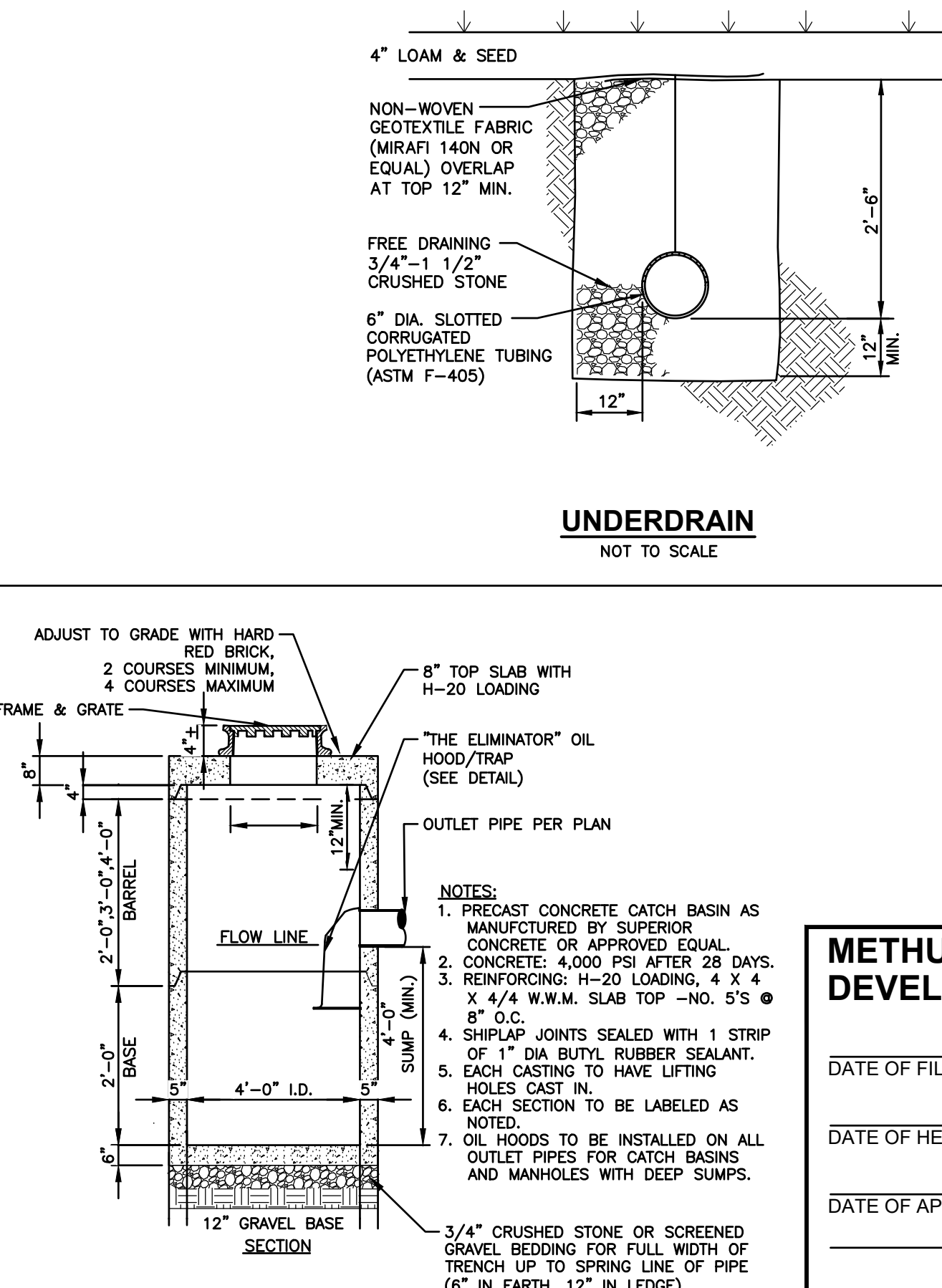
YARD DRAIN
NOT TO SCALE



UTILITY TRENCH
NOT TO SCALE



DRAIN TRENCH SECTION
NOT TO SCALE



PRECAST CONCRETE CATCH BASIN WITH HOOD
NOT TO SCALE

METHUEN COMMUNITY DEVELOPMENT BOARD

DATE OF FILING _____
DATE OF HEARING _____
DATE OF APPROVAL _____

PREPARED FOR
DHB HOMES, LLC
25 BUTTRICK ROAD, UNIT A1
LONDONDERRY, NH 03053

**BROOKVIEW HEIGHTS
DEFINITIVE SUBDIVISION PLAN
DHB HOMES, LLC
LAND OFF WASHINGTON STREET
METHUEN, MASSACHUSETTS**



10/2/24

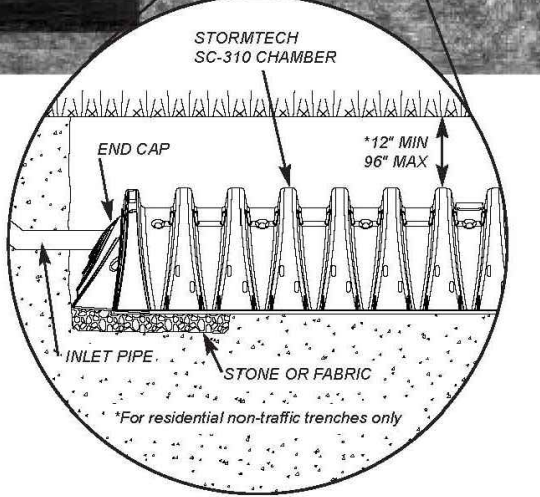
REVISIONS			
NO.	REVISION	DATE	
2	REVISE PER CITY COMMENTS	9/26/24	
1	MISC. REVS PER REVIEW COMMENTS	8/1/24	

MARCH 6, 2024
DRAWN/DESIGN BY: GMP
CHECKED BY: DRJ

CONSTRUCTION DETAILS

SCALE: AS SHOWN
PROJECT NO. NEX-2200136

during heavy rain storms with StormTech chambers. The chambers can store water from roofs or other problem areas underground, eliminating water logged or slippery frozen water conditions. Constructed of polypropylene plastic, StormTech chambers are lightweight and inherently resistant to environmental stress cracking and chemicals typically found in stormwater runoff.



StormTech offers two chamber sizes to manage water from downspouts or ponded areas. Residential gutters gather rainwater and deliver it to the chambers via the downspout or other inlet pipe. To prevent soil erosion, either a small amount of stone or filter fabric along the bottom of the trench is needed.

Installation. StormTech chambers can easily be hand-carried into position and installed without the use of heavy construction equipment. StormTech chambers require an excavated area, piping material and filter fabric.

Safety. Because the chambers are underground, they eliminate erosion ditches and potential hazards caused by conventional roof drains and ice buildup in the winter.

Versatility. StormTech chambers are ideal for storage from residential rooftops, driveways, tennis courts or ponded areas in the yard.

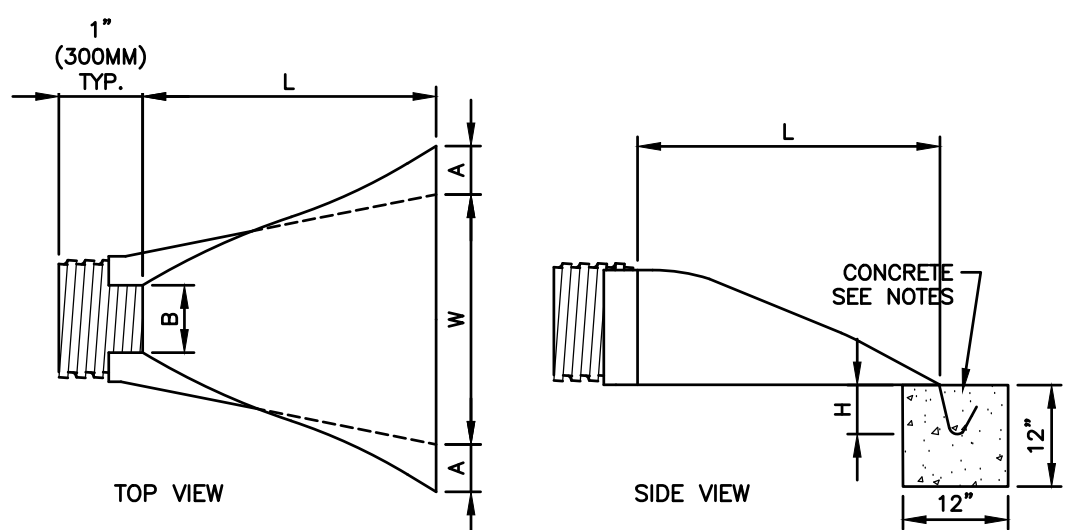
NOTE: 1) PROVIDE ONE STORMTECH SC-310 CHAMBER FOR EVERY 220 SF OF ROOF AREA

2) THE INSTALLATION AND MAINTENANCE OF THE ROOF INFILTRATION UNITS IS A REQUIREMENT PURSUANT TO THE ALTERATION OF TERRAIN PERMIT.

3) EACH ROW OF CHAMBERS SHALL BE SET ON A 6 INCH STONE BASE WITH 12 INCHES OF STONE ON ALL SIDES AND 6 INCHES OF STONE OVER THE TOP OF THE CHAMBERS.

4) THE BASE STONE SHALL BE INSTALLED ABOVE THE SEASONAL HIGH WATER TABLE.

NOT TO SCALE



DIMENSIONS, INCHES (mm)						
PIPE DIAMETER	PART NO.	A, ±1 (25)	B MAX	H, ±1 (25)	L, ±1/2 (13)	W, ±2 (50)
12", 15" (300,375) 18" (450) 24" (600) 30" (750) 36" (900)	1210 NP	6.5 (165)	10 (254)	6.5 (165)	25 (635)	29 (736)
	1810 NP	7.5 (190)	15 (380)	6.5 (168)	32 (812)	35 (890)
	2410 NP	7.5 (190)	18 (450)	6.5 (168)	36 (900)	45 (1140)
	3010 NP	10.5 (266)	NA	7.0 (178)	53 (1346)	68 (1725)
	3610 NP	10.5 (266)	NA	7.0 (178)	53 (1346)	68 (1725)

PREPARE BEDDING:

BACKFILL MATERIAL AROUND THE END SECTION MAY BE THE SAME AS THE MATERIAL AROUND THE PIPE, PLACE A FEW INCHES OF BACKFILL MATERIAL IN THE TRENCH OR DITCH WHERE THE END SECTION WILL BE PLACED. COMPACT AND CONTOUR THIS BEDDING MATERIAL TO GENERALLY MATCH THE END SECTION, EXCAVATE AN AREA IN THE BEDDING WHERE THE TROUGH WILL SEAT SO THAT THE END SECTION WILL BE LEVEL WITH THE BOTTOM OF THE TRENCH OR DITCH IN THE FINISHED INSTALLATION.

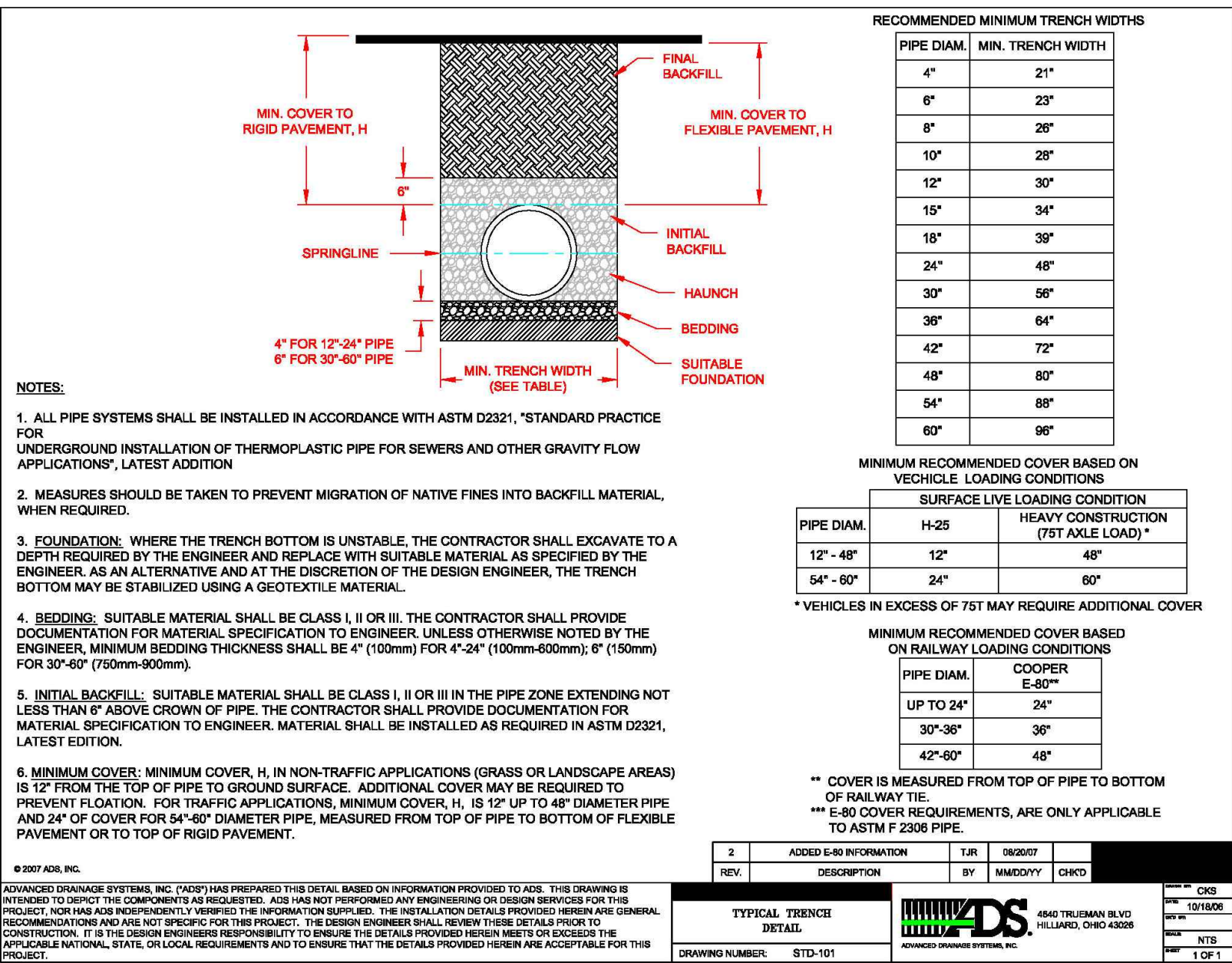
OPEN THE END SECTION COLLAR AND SEAT IT OVER THE TWO PIPE CONNECTIONS. ONCE THE END SECTION IS POSITIONED, CHECK TO MAKE SURE THAT THE INVERT OF THE END SECTION MATCHES THE INVERT OF THE PIPE AND THAT THE END SECTION IS LEVEL WITH THE TRENCH OR DITCH BOTTOM.

SLIP THE STAINLESS STEEL ROD THROUGH THE PRE-DRILLED HOLES AT THE TOP OF THE COLLAR. THE ROD SHOULD BE BETWEEN THE CROWNS OF THE TWO PIPE CONNECTIONS. PLACE A WASHER ON EITHER END OF THE ROD. PLACE A NUT ON EITHER END OF THE ROD AND TIGHTEN WITH A WRENCH.

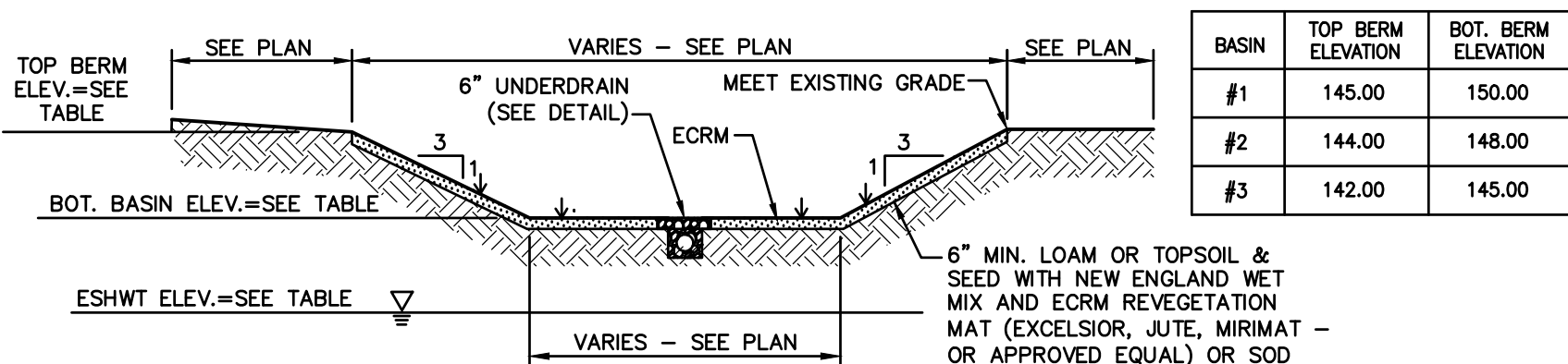
TO PREVENT WASHOUTS FROM HIGH VELOCITY FLOW, IT IS RECOMMENDED THAT THE TROUGH BE SECURED WITH CONCRETE. POUR CONCRETE IN THE TROUGH UP TO THE LEVEL OF THE TRENCH OR DITCH BOTTOM AND ALONG THE ENTIRE LENGTH OF THE TROUGH.

SHOVEL BACKFILL AROUND THE END SECTION IN 6 TO 9 INCH LAYERS EQUALLY ON BOTH SIDES, KNIFING IT TO ELIMINATE VOIDS. TAMP WITH A SMALL-FACED COMPACTOR OR OTHER EQUIPMENT SUITABLE FOR SMALL AREAS. CONTINUE PLACING, KNIFING, AND COMPACTING BACKFILL LAYERS TO THE TOP OF THE END SECTION TO SEAT IT WELL INTO THE BACKFILL.

NOT TO SCALE

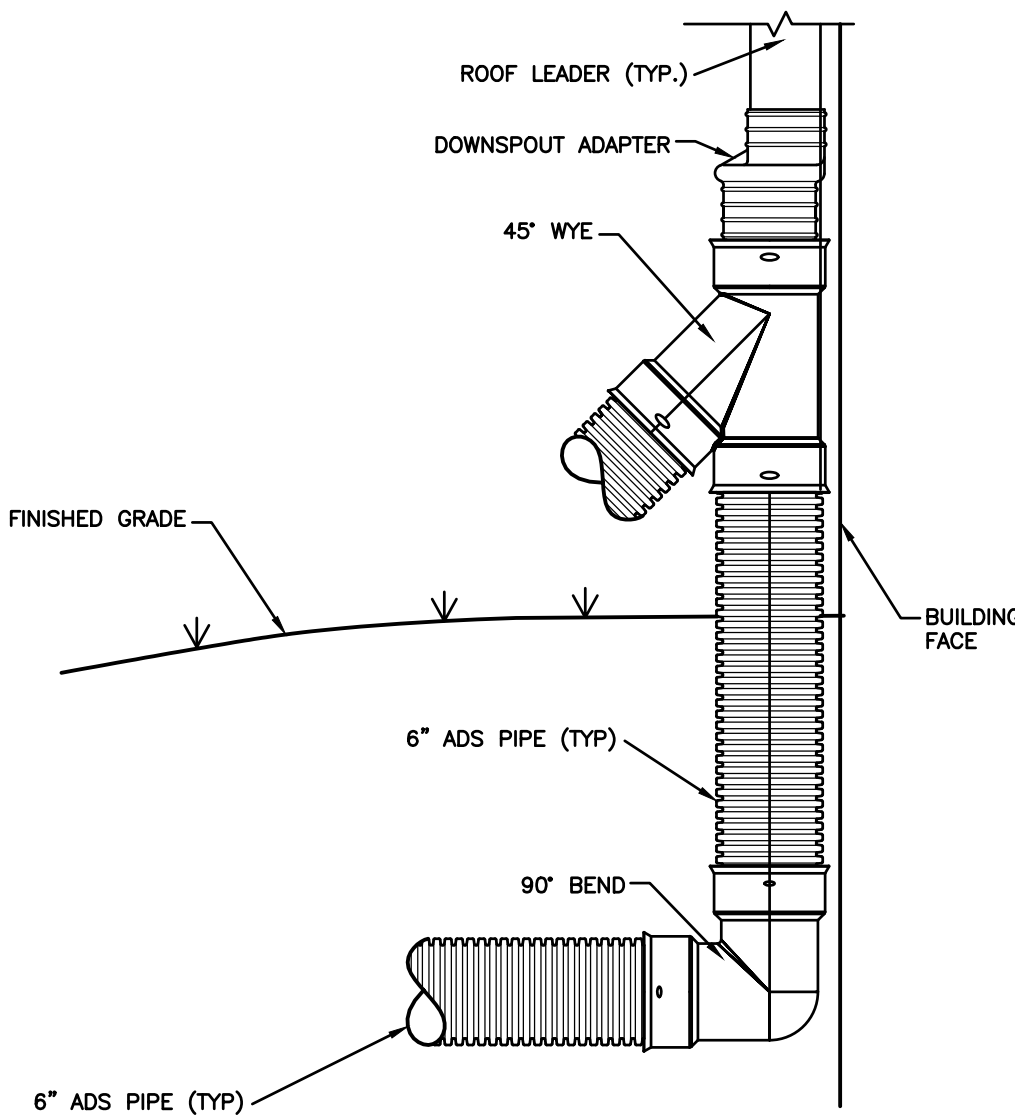


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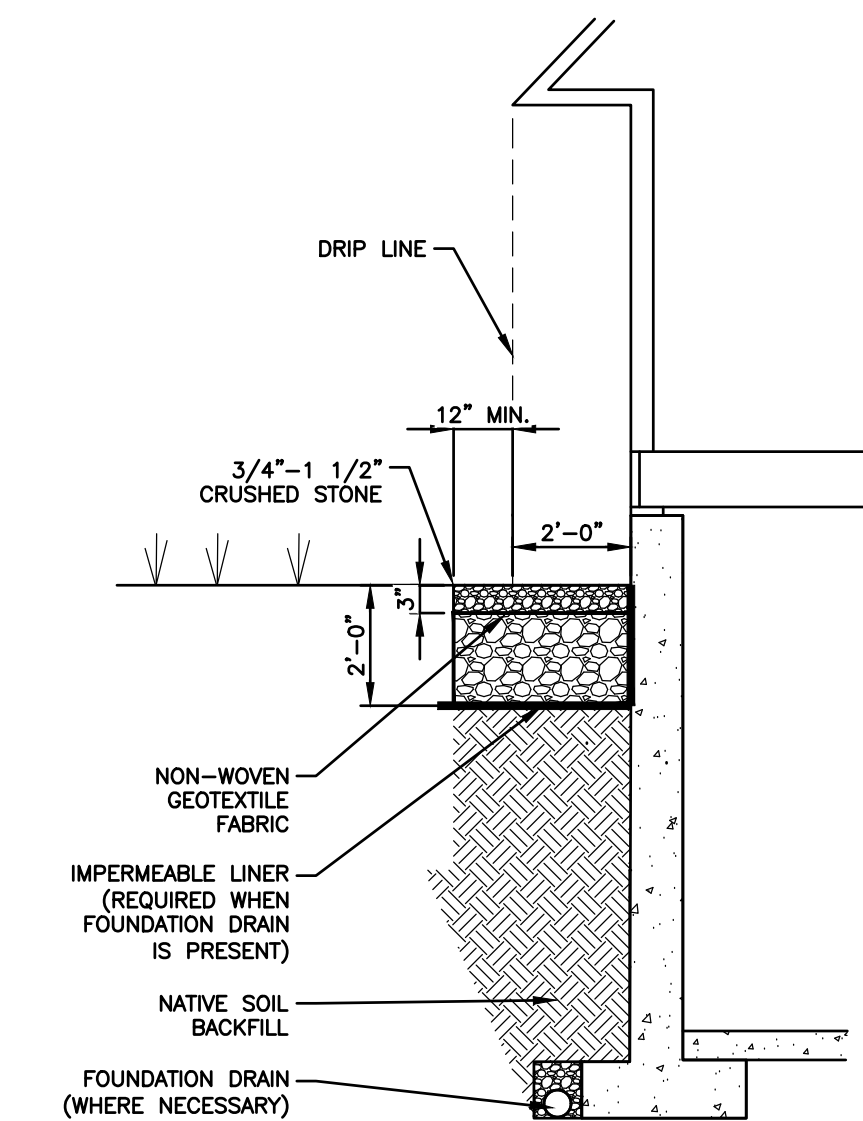


- 1) DO NOT TRAFFIC EXPOSED SOIL SURFACE WITH CONSTRUCTION EQUIPMENT, IF FEASIBLE, PERFORM EXCAVATIONS WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE INFILTRATION SYSTEM.
- 2) AFTER THE INFILTRATION SYSTEM AREA IS EXCAVATED TO THE FINAL DESIGN ELEVATION, THE FLOOR SHOULD BE DEEPLY TILLED WITH A ROTARY TILLER OR DISC HARROW TO RESTORE INFILTRATION RATES, FOLLOWED BY A PASS WITH A LEVELING DRAG.
- 3) DO NOT PLACE INFILTRATION SYSTEMS INTO SERVICE UNTIL THE CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.

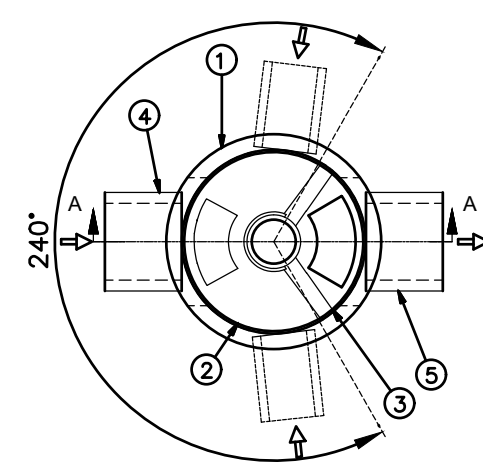
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NOT TO SCALE



NOT TO SCALE



anywhere
240° arc.

Parts List		
ITEM	SIZE (in)	DESCRIPTION
1	72	I.D. PRECAST MANHOLE
2		LEDGER SUPPORT
3		SEPARATION MODULE
4	30	INLET PIPE (BY OTHERS)
5	30	OUTLET PIPE (BY OTHERS)
6	30	FRAME AND COVER (OR GRATE) (ROUND

GENERAL NOTES

- GENERAL NOTES:
1. GENERAL ARRANGEMENT DRAWINGS ONLY. CONTACT HYDRO INTERNATIONAL FOR SITE SPECIFIC FABRICATION DRAWINGS.
2. THE DIAMETER OF THE INLET & OUTLET PIPES MAY BE NO MORE THAN 24".
3. MULTIPLE INLET PIPES POSSIBLE (REFER TO PROJECT PLANS).
4. INLET/OUTLET PIPE ANGLE CAN VARY TO ALIGN WITH DRAINAGE NETWORK (REFER TO PROJECT PLANS).
5. PEAK FLOW RATE AND MINIMUM HEIGHT LIMITED BY AVAILABLE COVER AND PUMP POWER.
6. LARGER SEDIMENT STORAGE CAPACITY MAY BE PROVIDED WITH A DEEPER SUMP DEPTH.

PRODUCT SPECIFICATIONS:

- A. THE TREATMENT SYSTEM SHALL USE AN INDUCED VORTICE TO SEPARATE POLLUTANTS FROM STORMWATER RUNOFF.
- B. THE TREATMENT SYSTEM SHALL FIT WITHIN THE LIMITS OF EXCAVATION AREA AND DEPTH AS SHOWN ON THE PLANS AND WILL NOT EXCEED THE DIMENSIONS FOR THE DESIGN FLOW RATES SPECIFIED HEREIN.
- C. THE TREATMENT SYSTEM SHALL REMOVE GREATER THAN OR EQUAL TO 90% OF THE TSS BASED ON THE TSS 230 MICRONS AT 0.7 CFS AND 1.2 CFS, RESPECTIVELY.
- D. THE TREATMENT SYSTEM SHALL CONVEY THE PEAK ONE-ONE FLOW RATES OF UP TO 18 CFS WITHOUT CAUSING UPSTREAM SURCHARGE CONDITIONS. FULL-SCALE INDEPENDENT LABORATORY SLOUGH TESTING SHALL DEMONSTRATE EFFLUENT CONCENTRATIONS LESS THAN OR EQUAL TO 5 MG/L FOR ALL FLOWS UP TO 200% OF MTRF-106.
- E. THE TREATMENT SYSTEM SHALL BE CAPABLE OF CAPTURING AND RETAINING FINE PARTICLES AND SIZES DOWN TO 10 MICRONS. FULL-SCALE FIELD INSTALLATIONS SHALL DEMONSTRATE PARTICLE SIZES

(OR APPROVED EQUAL)

NOTE: CONTRACTOR SHOULD CONFIRM SYSTEM PARTS AND OBTAIN SHOP DRAWINGS FROM MANUFACTURER PRIOR TO CONSTRUCTION.

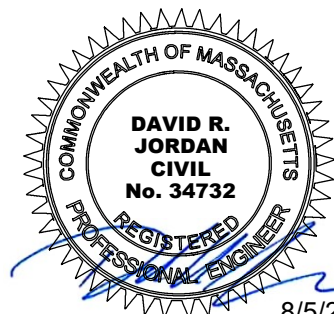
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LONDONDERRY, NH 03053

**BROOKVIEW HEIGHTS
DEFINITIVE SUBDIVISION PLAN
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LAND OFF WASHINGTON STREET
METHUEN, MASSACHUSETTS**



1	REVISE PER CITY COMMENTS	8/2/24	
NO.	REVISION	DATE	
MARCH 3, 2024			
DRAWN/DESIGN BY GMP		CHECKED BY DRJ	

DATE OF FILING

DATE OF HEARING

DATE OF APPROVAL _____

SCALE: AS SHOWN

PROJECT NO.
NEX-2200136

29 OF 32

**BROOKVIEW HEIGHTS
DEFINITIVE SUBDIVISION PLAN
DHB HOMES, LLC
LAND OFF WASHINGTON STREET
METHUEN, MASSACHUSETTS**



MARCH 6. 2024

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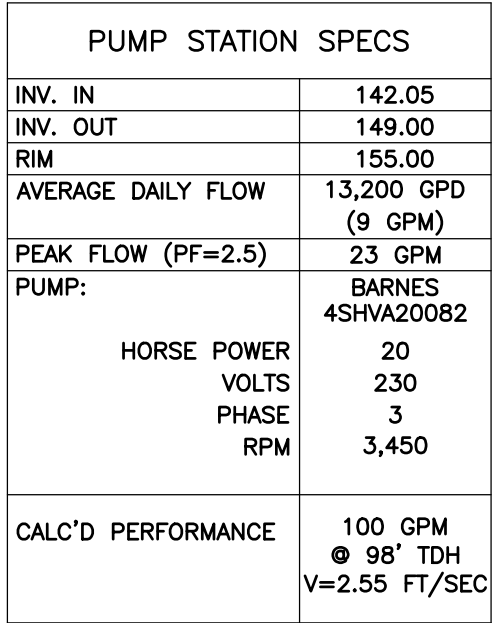
1. ANY DISCREPANCIES OR UNUSUAL CONDITIONS SHALL BE REPORTED TO THE DESIGNER BEFORE CONTINUING WITH THE INSTALLATION.
2. DO NOT SCALE FROM DRAWING. IF A REQUIRED DIMENSION IS NOT GIVEN, CONSULT THE ENGINEER.
3. FORCE MAIN TO BE DUCTILE IRON (D.I.).
4. PUMP STATION TO BE 8'Ø MANHOLE WITH PRECAST COVER PLACED AT FINISH GRADE TO ACCEPT DOOR.
5. PUMP STATION AND ALL JOINTS TO BE SEALED AGAINST GROUND WATER INFILTRATION.
6. EMERGENCY GENERATOR TO BE PROVIDED. CONTRACTOR TO COORDINATE SPECIFICATIONS WITH ENGINEER.

30 4-BEDROOM DWELLINGS (110GPD/BEDROOM) = 13,200 GPD

1. USE PUMP MANUFACTURER'S RECOMMENDED FLOAT SWITCHED AND CONTROLS TO CONTROL DUPLEX PUMP OPERATION AS FOLLOWS:
 - 1) PUMP OFF
 - 2) LEAD PUMP ON
 - 3) ALARM ON
 - 4) LAG PUMP ON

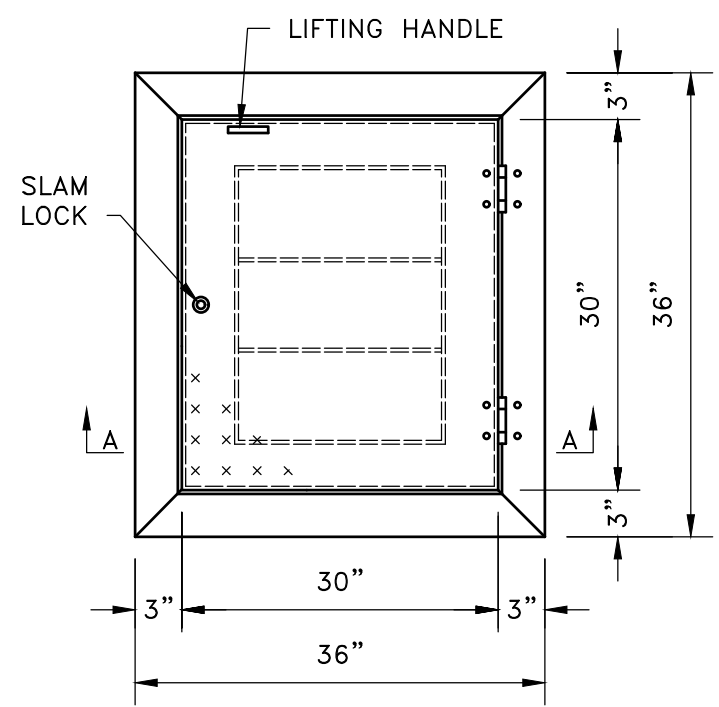
THE LEAD/LAG PUMPS SHALL AUTOMATICALLY SWITCH OPERATION. AUDIO AND VISUAL ALARM TO BE INSTALLED AT CONTROL PANEL. CONTROLS AND DUPLEX PANEL SHALL BE RATED AS NEMA 4.
2. PUMP STATION POWER, CONTROLS, ALARM & VENT LOCATIONS TO BE COORDINATED WITH THE ENGINEER.
3. POWER FOR THE PUMPS AND ALARMS IS TO BE PROVIDED ON SEPARATE CIRCUITS.
4. CONTRACTOR TO FURNISH OWNER WITH TWO (2) OPERATION AND MAINTENANCE MANUALS PER PUMP MANUFACTURERS SPECIFICATIONS.

1. CONTRACTOR TO VERIFY INVERT OF INFLUENT SEWER LINE PRIOR TO CONSTRUCTION.
2. OSHA CONFINED SPACE REGULATIONS TO BE ADHERED TO PRIOR TO ENTERING PUMP STATION.
3. STAINLESS STEEL GUIDE RAIL SYSTEM TO HAVE INTERMEDIATE SUPPORTS LOCATED APPROXIMATELY 6' O.C. OR AS RECOMMENDED BY PUMP MANUFACTURER TO MAINTAIN STRAIGHT & RIGID ALIGNMENT.
4. PRECAST CONCRETE WET WELL AND VALVE PIT TO MEET OR EXCEED:
 - A. REQUIREMENTS OF ASTM C-478 AND H520-44 LOADING
 - B. CONCRETE COMPRESSIVE STRENGTH (+4,000PSI @ 28 DAYS
 - C. JOINTS SEALED WITH BUTYL RUBBER.
 - D. OUTSIDE SURFACE TO BE BITUMINOUS COATED.
 - E. STRUCTURE TO BE PLACED ON 12" MINIMUM COMPACTED LAYER OF 3/4" CRUSHED STONE OR GRAVEL (MIN 95% MODIFIED PROCTOR)
 - F. SUBGRADE MATERIAL TO BE FIRM AND FREE OF ORGANIC AND OTHER DELETERIOUS MATERIAL.
5. CHECK VALVES TO BE SWING-FLEX VALVE WITH DUCTILE IRON BODY AS MANUFACTURED BY VALMATIC OR APPROVED ALIKE. SWING CHECK TO HAVE TOP MOUNTED ACCESS PORT FOR MAINTENANCE PURPOSES. PLUG VALVES TO BE CAST IRON ECCENTRIC PLUG VALVES CONFORMING TO AWWA 5509 AS MANUFACTURED BY VALMATIC OR APPROVED ALIKE. BOTH CHECK VALVE AND PLUG VALVE TO BE FLANGED IN ACCORDANCE WITH ANSI B16.1 CLASS 125 AS ULMF APPROVED.
6. ALL PIPE CONNECTIONS TO PRECAST CONCRETE STRUCTURE TO BE KOR-N-SEAL FLEXIBLE BOOTS OR EQUAL AS APPROVED BY ENGINEER.
7. PIPE SUPPORTS IN VALVE PIT TO BE SADDLE TYPE (MODEL CS92) SUPPORTS WITH NEOPRENE LINER TO ENSURE TIGHT FIT AS MANUFACTURED BY MATERIAL RESOURCES INC. OF HILLSBORO, OREGON OR APPROVED EQUAL.
8. USE NON-SHRINK GROUT BETWEEN BOOTH AND 4" D.I. DRAIN AT WET WELL AND VALVE PIT LOCATIONS.
9. A NATURAL GAS FIRED EMERGENCY GENERATOR WITH AN AUTOMATIC TRANSFER SWITCH SHALL BE PROVIDED.
10. RUN TIME METERS SHALL BE INSTALLED ON THE MOTOR CONTROL OF EACH PUMP.
11. ALL ELECTRICAL EQUIPMENT IN THE WETWELL SHALL BE EXPLOSION PROOF AND CORROSION RESISTANT.



NOT TO SCALE

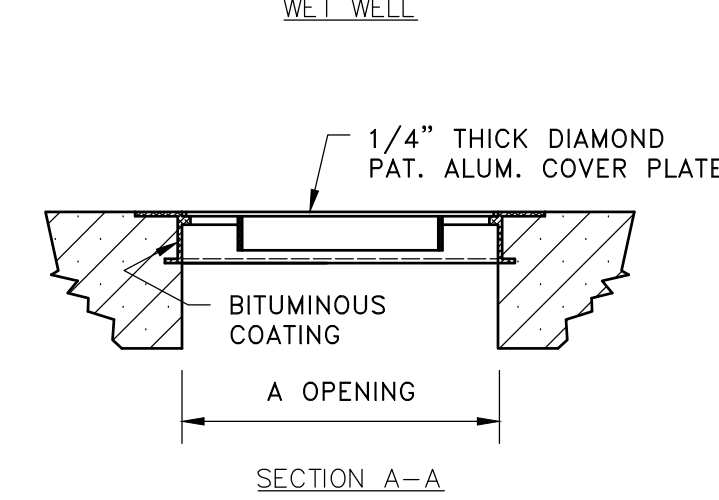
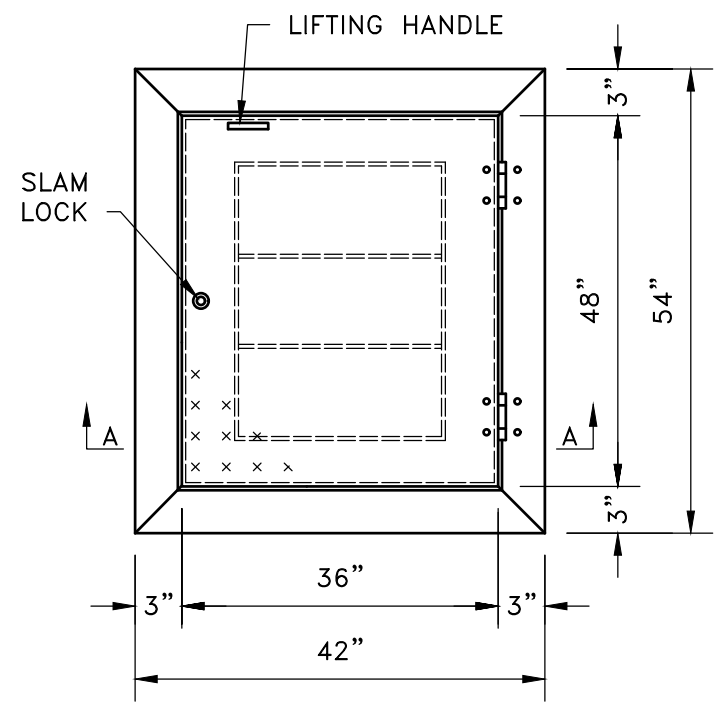
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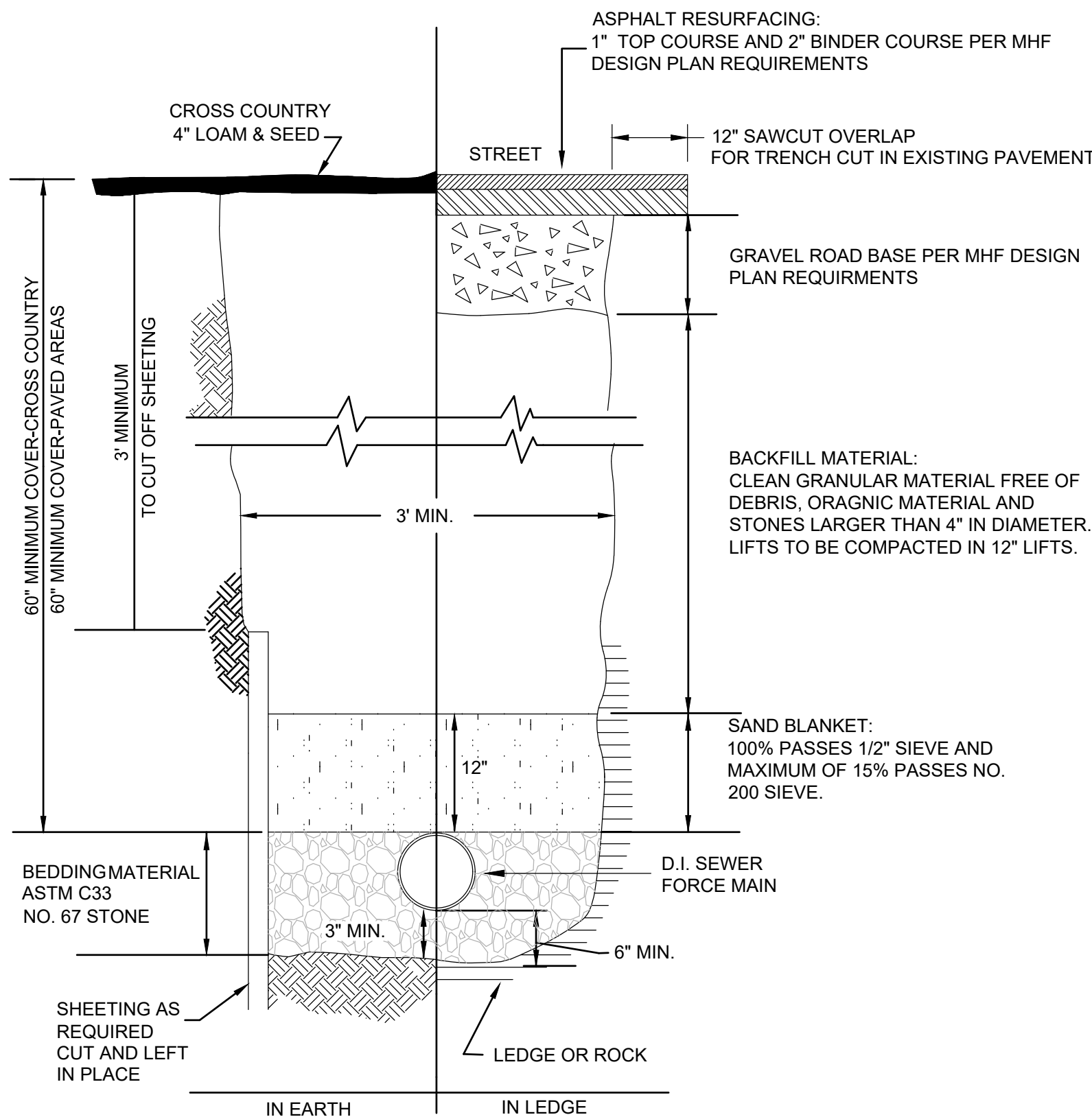
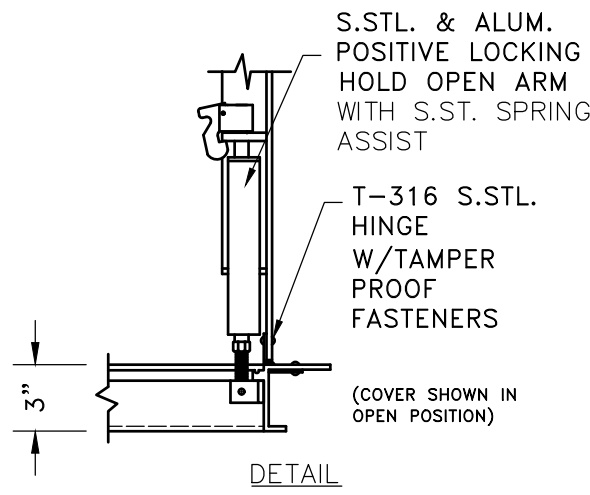
**WET WELL: MODEL S1S3648
VALVE PIT: MODEL S1S3648
SERIES S1S ACCESS DOOR**

- STANDARD FEATURES:**
1. AUTO-LOCK T-316 STAINLESS STEEL HOLD OPEN ARM WITH RELEASE HANDLE
 2. T-316 STAINLESS STEEL HINGES AND ATTACHING HARDWARE
 3. T-316 STAINLESS STEEL SLAM LOCK W/REMOVABLE KEY
 4. STAINLESS STEEL COMPRESSION SPRING ASSIST
 5. BUILT-IN NEOPRENE CUSHION/GASKET
 6. NON-OZONE DEPLETING BITUMINOUS COATING
 7. SINGLE LEAF CONSTRUCTION
 8. 300 LBS. PER SQ. FT. LOAD RATING
 9. EXTRUDED ALUMINUM FRAME
 10. RECESSED LIFTING HANDLE

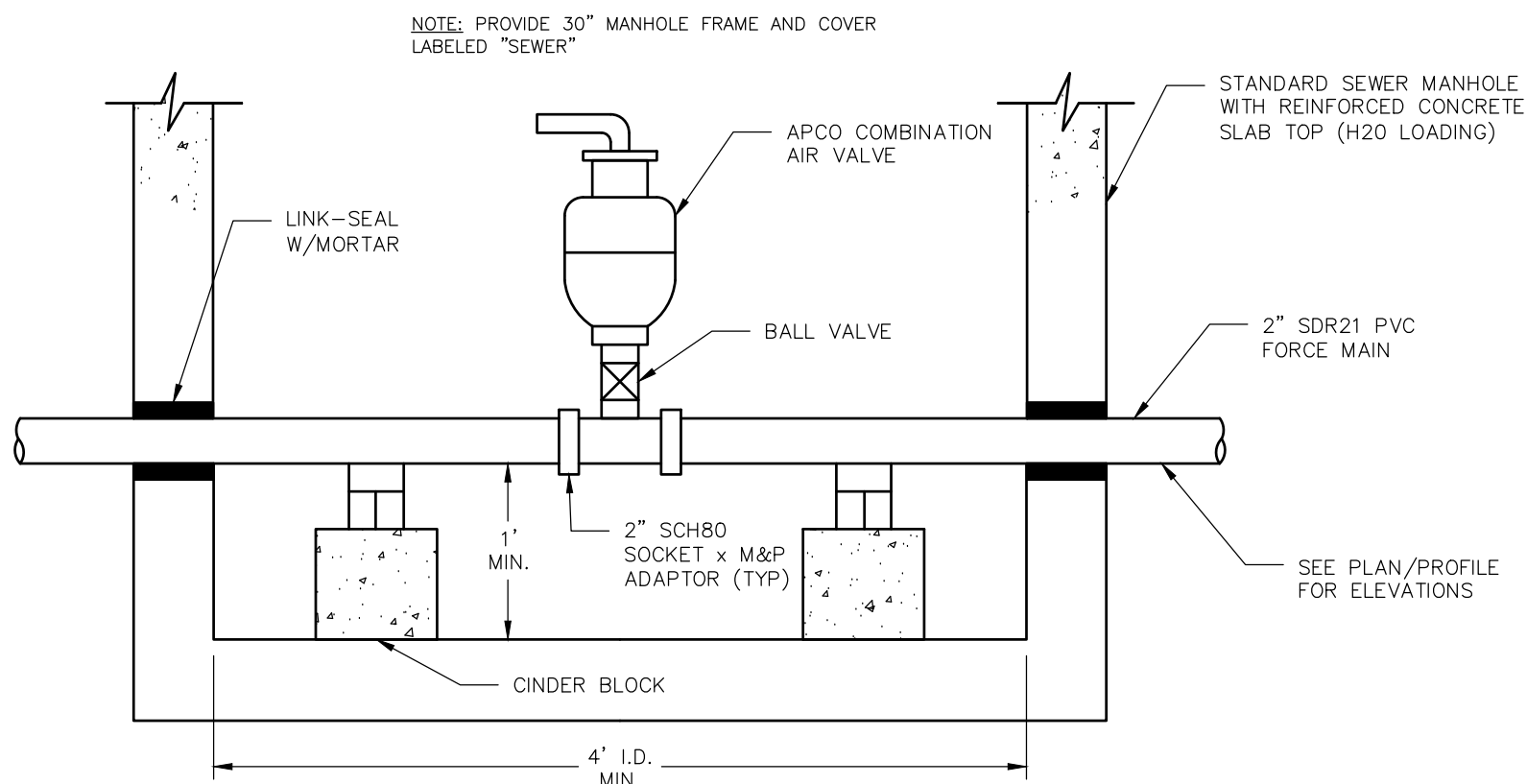
NOTE:
ACCESS HATCH TO BE SUPPLIED BY:
HALLIDAY PRODUCTS
6401 EDGEWATER DRIVE
ORLANDO, FLORIDA 32810
(OR APPROVED EQUAL)



ALUMINUM HATCH DETAILS
NOT TO SCALE

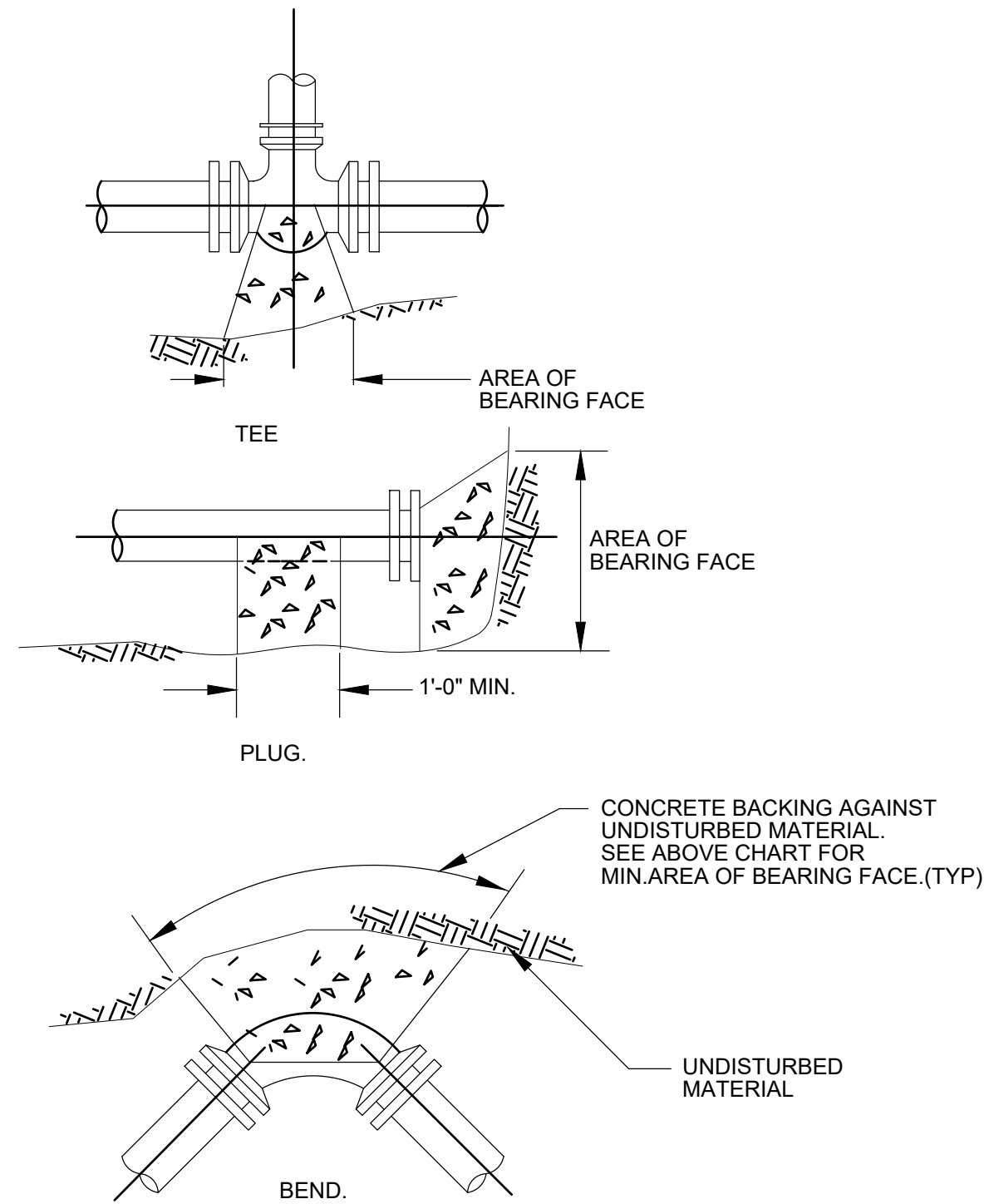


FORCE MAIN TRENCH SECTION
NOT TO SCALE

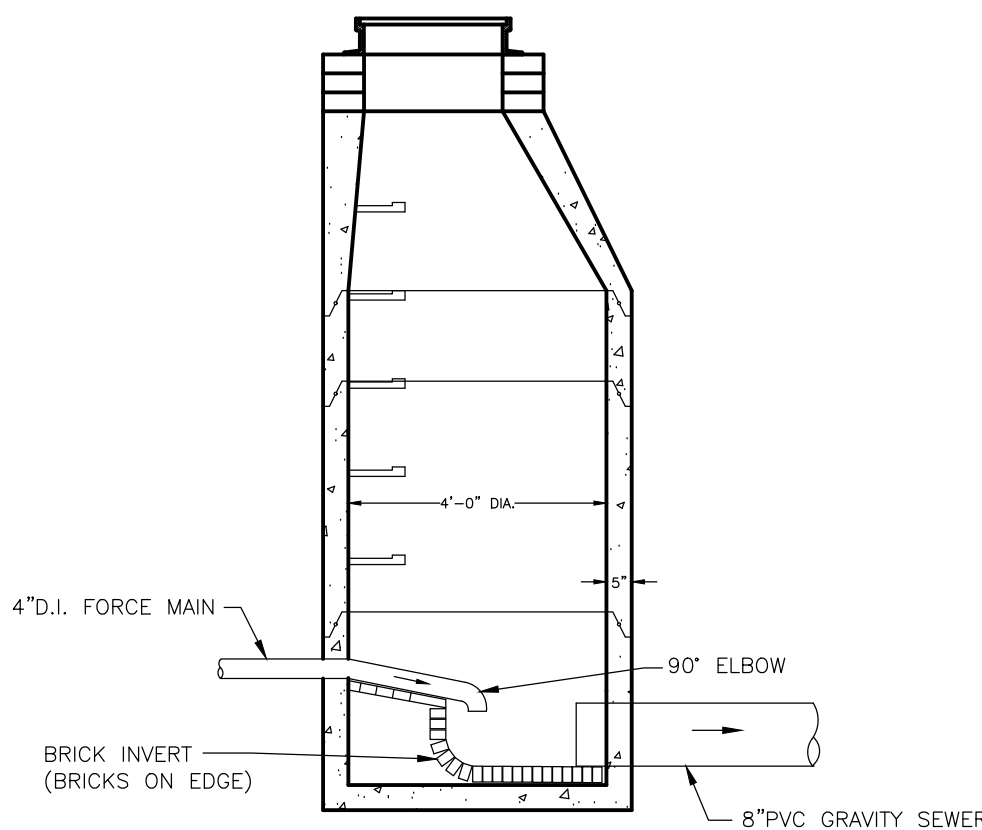


TYPICAL AIR RELEASE MANHOLE
NOT TO SCALE

AREA OF BEARING FACE OF CONCRETE THRUST BLOCKS IN SQUARE FEET BASED ON 450 P.S.I. & TON/S.F. ALLOWABLE SOIL BEARING CAPACITY			
PIPE SIZE IN.	1/4 BEND	1/8 BEND	PLUS & TEE
4, 6, 8	8	4	6
10	13	7	9
12	18	9	13
16	32	16	23



TYPICAL CONCRETE BACKING
NOT TO SCALE



**FORCE MAIN CONNECTION
TO GRAVITY SEWER**
NOT TO SCALE

**METHUEN COMMUNITY
DEVELOPMENT BOARD**

DATE OF FILING _____

DATE OF HEARING _____

DATE OF APPROVAL _____

GPI Engineering
Design
Planning
Construction Management
603.893.0720
Greenman-Pedersen, Inc.
44 Stiles Road, Suite One
Salem, NH 03079
GPINET.COM

PREPARED FOR
DHB HOMES, LLC
25 BUTTRICK ROAD, UNIT A1
LONDONDERRY, NH 03053

**BROOKVIEW HEIGHTS
DEFINITIVE SUBDIVISION PLAN
DHB HOMES, LLC
LAND OFF WASHINGTON STREET
METHUEN, MASSACHUSETTS**

DAVID R. JORDAN
CIVIL
No. 34732
REGISTERED
8/5/22

REVISIONS		
1	REVISE PER CITY COMMENTS	8/2/24
NO.	REVISION	DATE

MARCH 6, 2024

DRAWN/DESIGN BY	CHECKED BY
GMP	DRJ

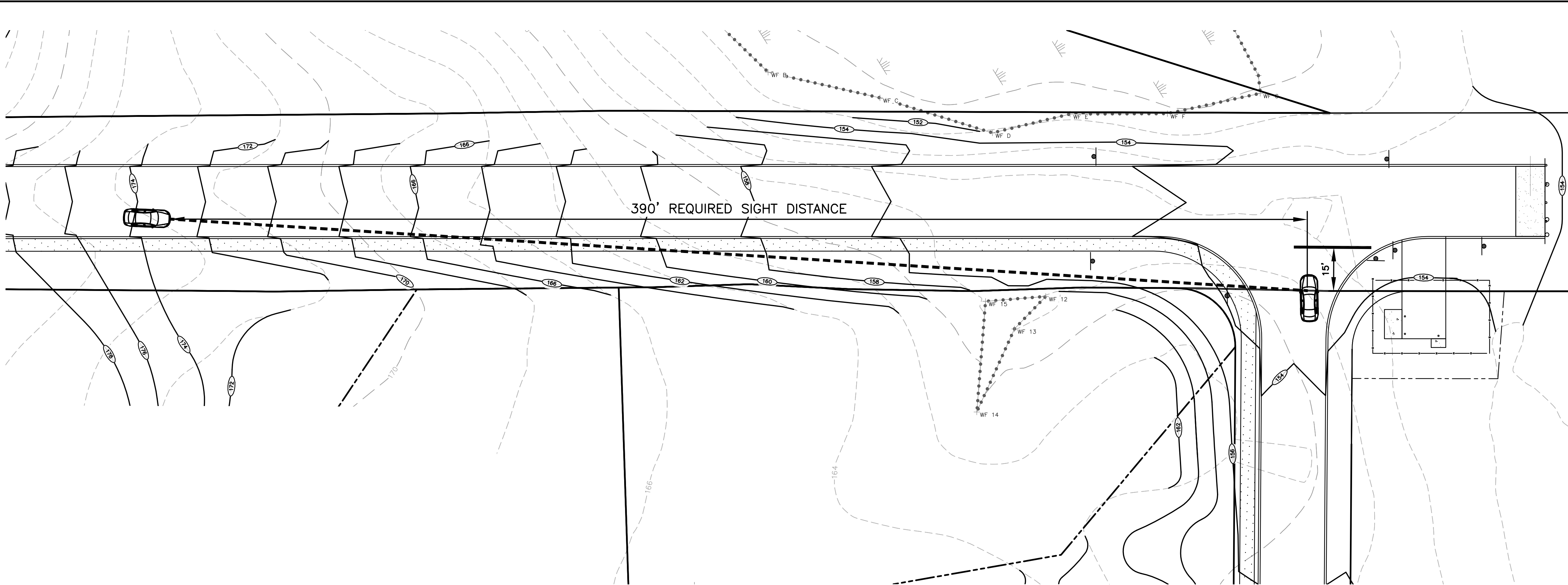
**PUMP STATION
DETAILS**

SCALE: AS SHOWN

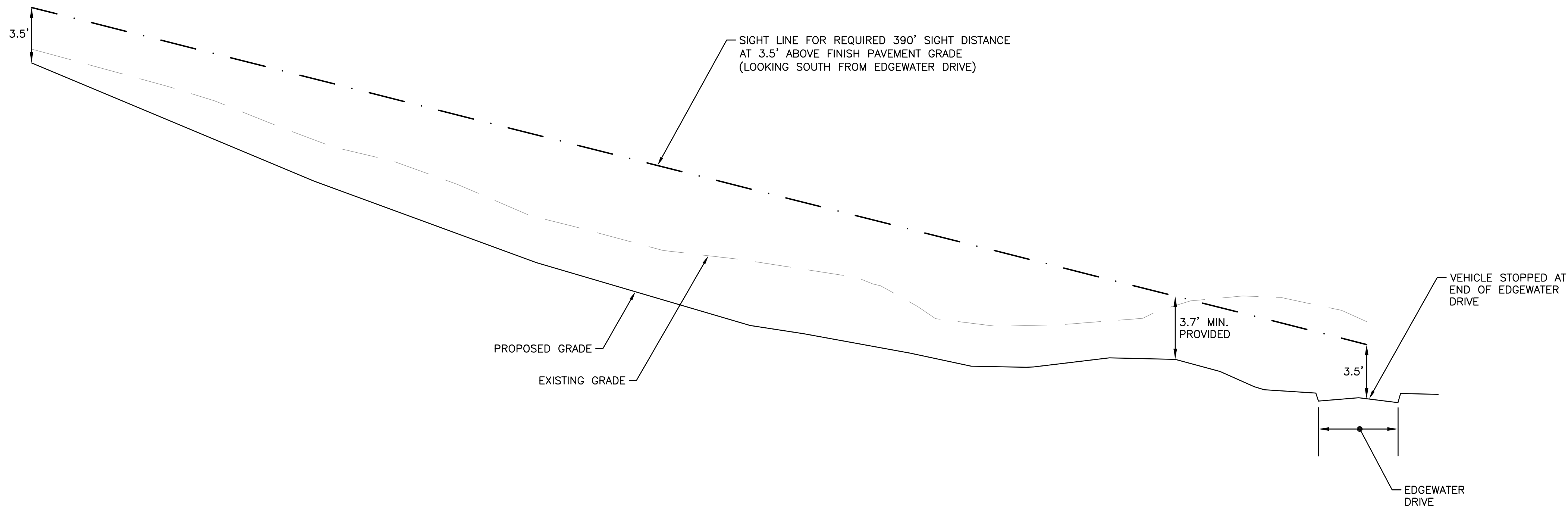
PROJECT NO. NEX-2200136

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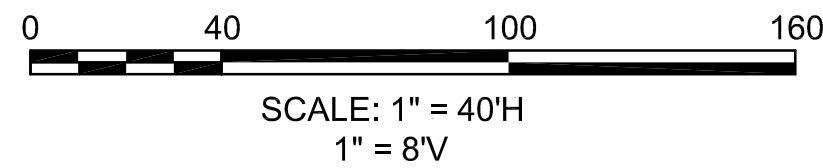
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PLAN
SCALE: 1"=40'



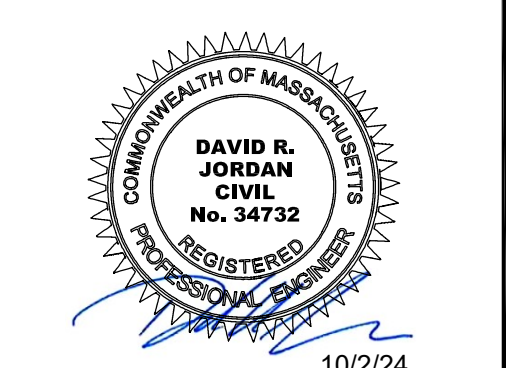
PROFILE
SCALE: 1"=40'H/8'V



NOTES:

- 1) SIGNS, LANDSCAPING, AND OTHER FEATURES LOCATED WITHIN SIGHT TRIANGLE AREAS (SEE SHEET 33) SHALL BE DESIGNED, INSTALLED, AND MAINTAINED SO AS NOT TO EXCEED 2.5 FEET IN HEIGHT. SNOW WINDROWS LOCATED WITHIN SIGHT TRIANGLE AREAS THAT EXCEED 3.5 FEET IN HEIGHT OR THAT WOULD OTHERWISE INHIBIT SIGHT LINES SHALL BE PROMPTLY REMOVED.

**BROOKVIEW HEIGHTS
DEFINITIVE SUBDIVISION PLAN
DHB HOMES, LLC
LAND OFF WASHINGTON STREET
METHUEN, MASSACHUSETTS**



REVISIONS		
1	ADD SHEET	9/26/24
NO.	REVISION	DATE
MARCH 6, 2024		
DRAWN/DESIGN BY		CHECKED BY
GMP		DRJ