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1 OF 1 SIGHT LINE PLAN		

<u>PERMITS &amp; APPROVALS</u>		
TYPE	APPROVAL NO.	DATE APPROVED
DEP ORDER OF CONDITIONS		
MCC ORDER OF CONDITIONS		

F:\Projects\NEX-2200136 - Methuen, MA - DHB Homes\CAD Files\2200136\_CVR.dwg COVER 9/26/24 2:09pm gpiccirillo

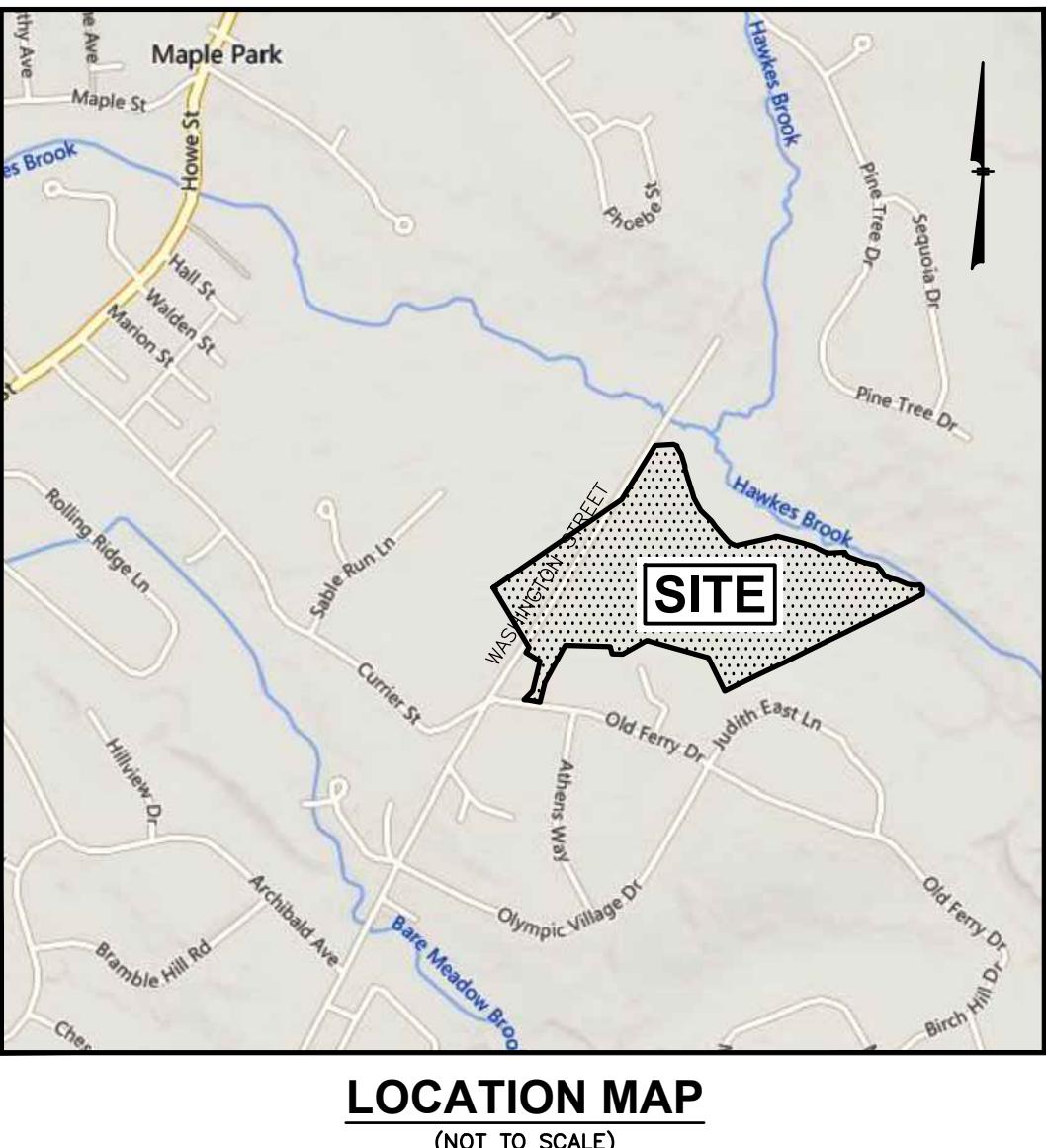
# DEFINITIVE SUBDIVISION PLANS

## BROOKVIEW HEIGHTS

### PARCEL 908-78E-67E, 908-78E-66D, 908-78E-66B, & 908-76-53C

### WASHINGTON STREET

### METHUEN, MASSACHUSETTS



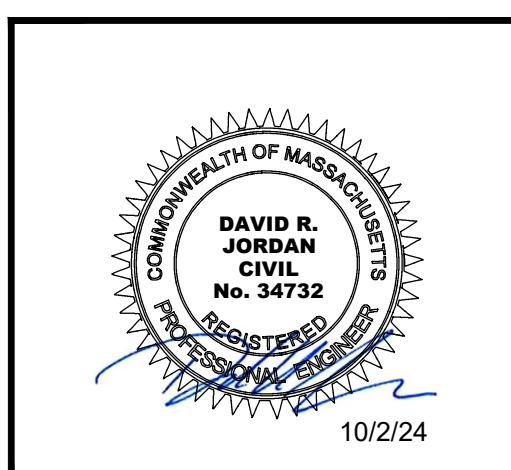
Prepared for:  
**DHB HOMES, LLC**  
**25 BUTTRICK ROAD, UNIT A1**  
**LONDONDERRY, NH 03053**

METHUEN COMMUNITY DEVELOPMENT BOARD	
DATE OF FILING	
DATE OF HEARING	
DATE OF APPROVAL	
SCALE:	AS SHOWN
PROJECT NO.	NEX-2200136
1 OF 32	

**GPI** Engineering  
Design  
Planning  
Construction Management  
603.893.0720 GPINET.COM  
Greeman-Pedersen, Inc.  
44 Stiles Road, Suite One  
Salem, NH 03079

PREPARED FOR  
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25 BUTTRICK ROAD, UNIT A1  
LONDONDERRY, NH 03053

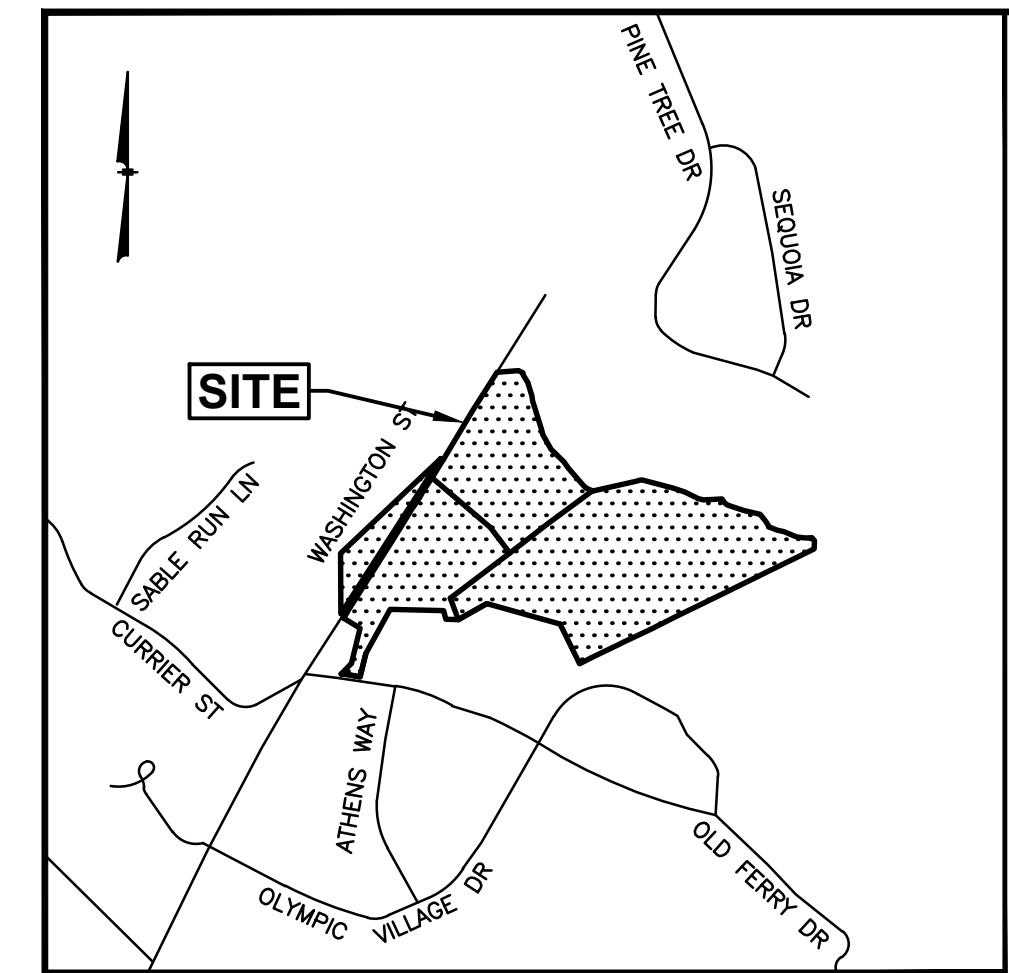
**BROOKVIEW HEIGHTS  
DEFINITIVE SUBDIVISION PLAN  
DHB HOMES, LLC  
LAND OFF WASHINGTON STREET  
METHUEN, MASSACHUSETTS**



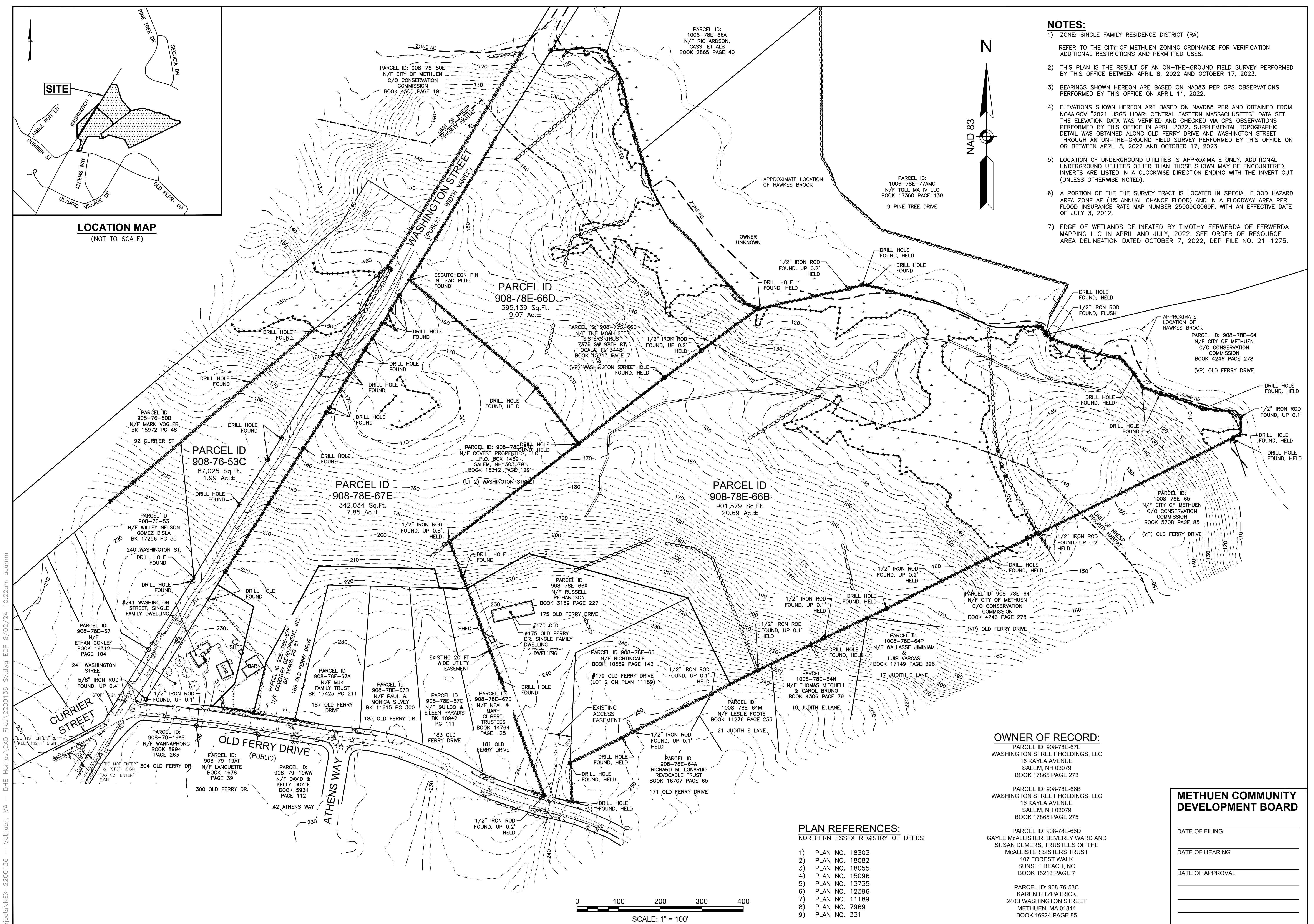
REVISIONS		
3	REV. 2, 4-6, 10-13, 16-18, 21-23, 26, 28 & ADD SIGHT LINE PLAN	9/26/24
2	REV. ALL SHEETS PER CITY COMMENTS	8/2/24
1	REV. SHEETS 12-15 & 17-20	4/3/24
NO.	REVISION	DATE
		MARCH 6, 2024
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TITLE SHEET	
DATE OF FILING	
DATE OF HEARING	
DATE OF APPROVAL	
SCALE:	AS SHOWN
PROJECT NO.	NEX-2200136
1 OF 32	





**LOCATION MAP**  
(NOT TO SCALE)



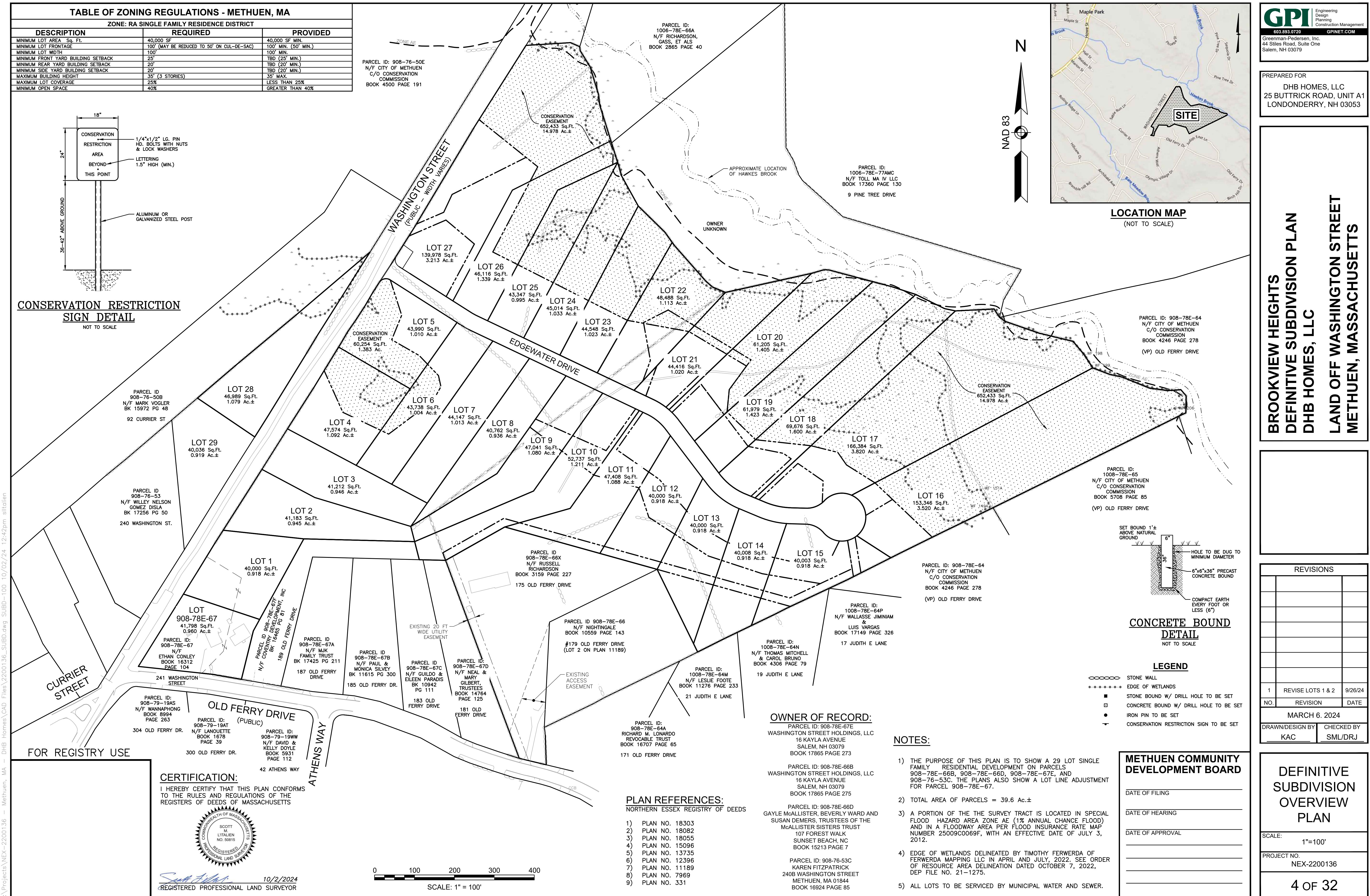
**BROOKVIEW HEIGHTS  
DEFINITIVE SUBDIVISION PLAN  
DHB HOMES, LLC  
LAND OFF WASHINGTON STREET  
METHUEN, MASSACHUSETTS**

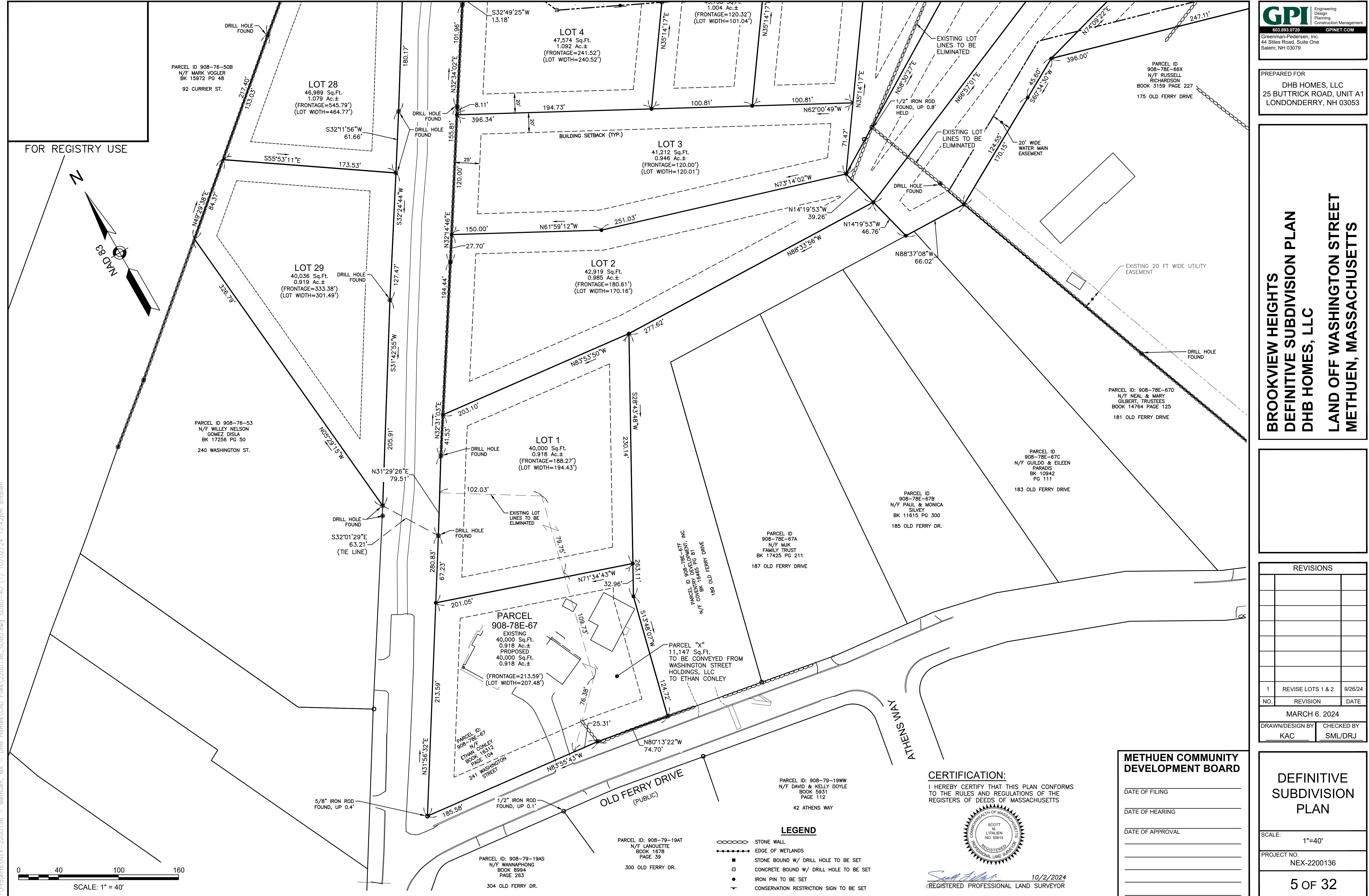


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NO.	REVISION	DATE	
	MARCH 6, 2024		

DRAWN/DESIGN BY  CHECKED BY

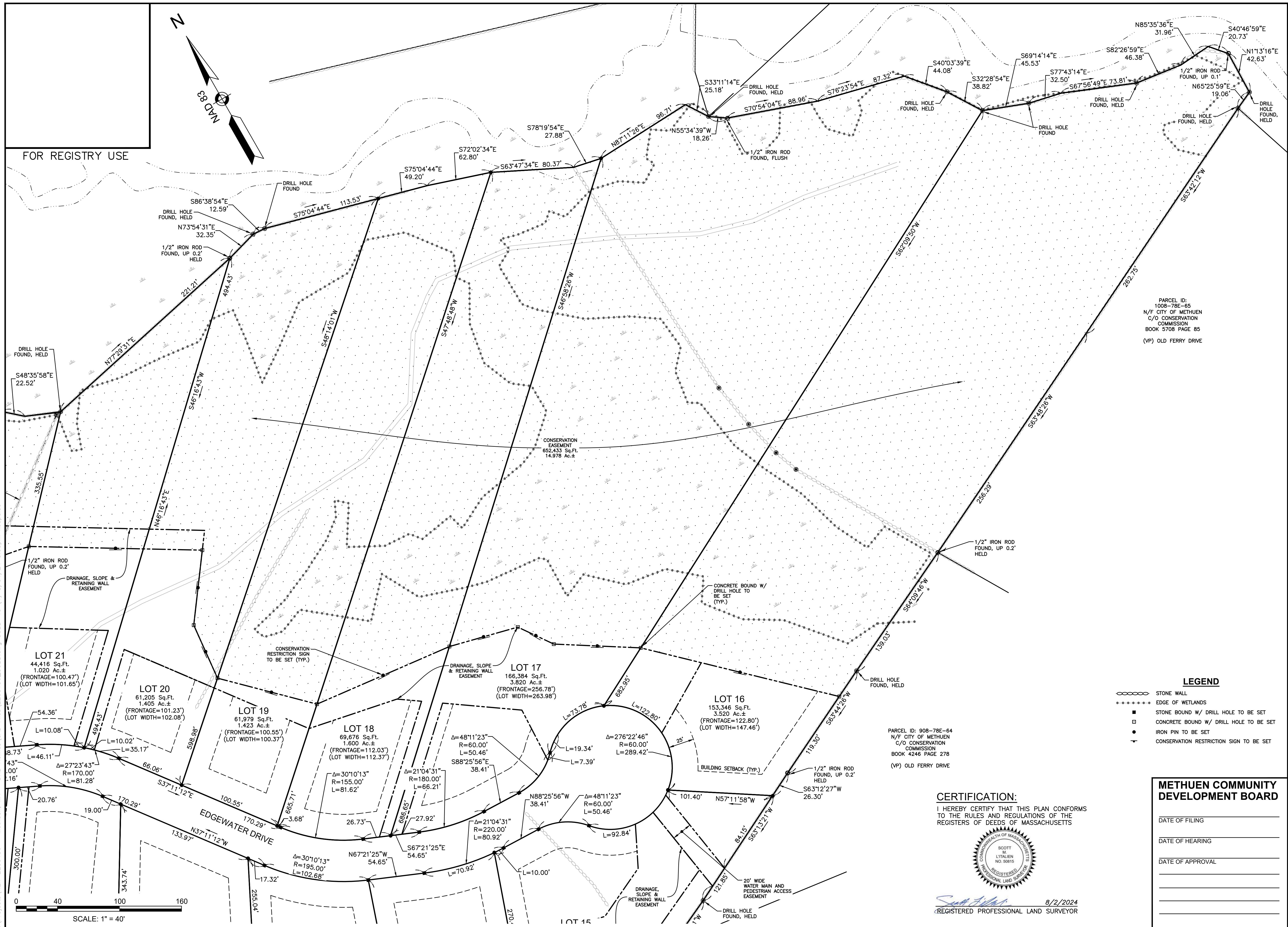
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DATE OF APPROVAL	<input type="text"/>
SCALE:	1"=100'
PROJECT NO.	NEX-2200136











**BROOKVIEW HEIGHTS  
DEFINITIVE SUBDIVISION PLAN  
DHB HOMES, LLC**

**LAND OFF WASHINGTON STREET  
METHUEN, MASSACHUSETTS**

REVISIONS		
1.	REVISED PER REVIEW COMMENTS	08/02/2024
NO.	REVISION	DATE
MARCH 6, 2024		
DRAWN/DESIGN BY KAC		CHECKED BY SMI/DRJ

# METHUEN COMMUNITY DEVELOPMENT BOARD

## CERTIFICATION:

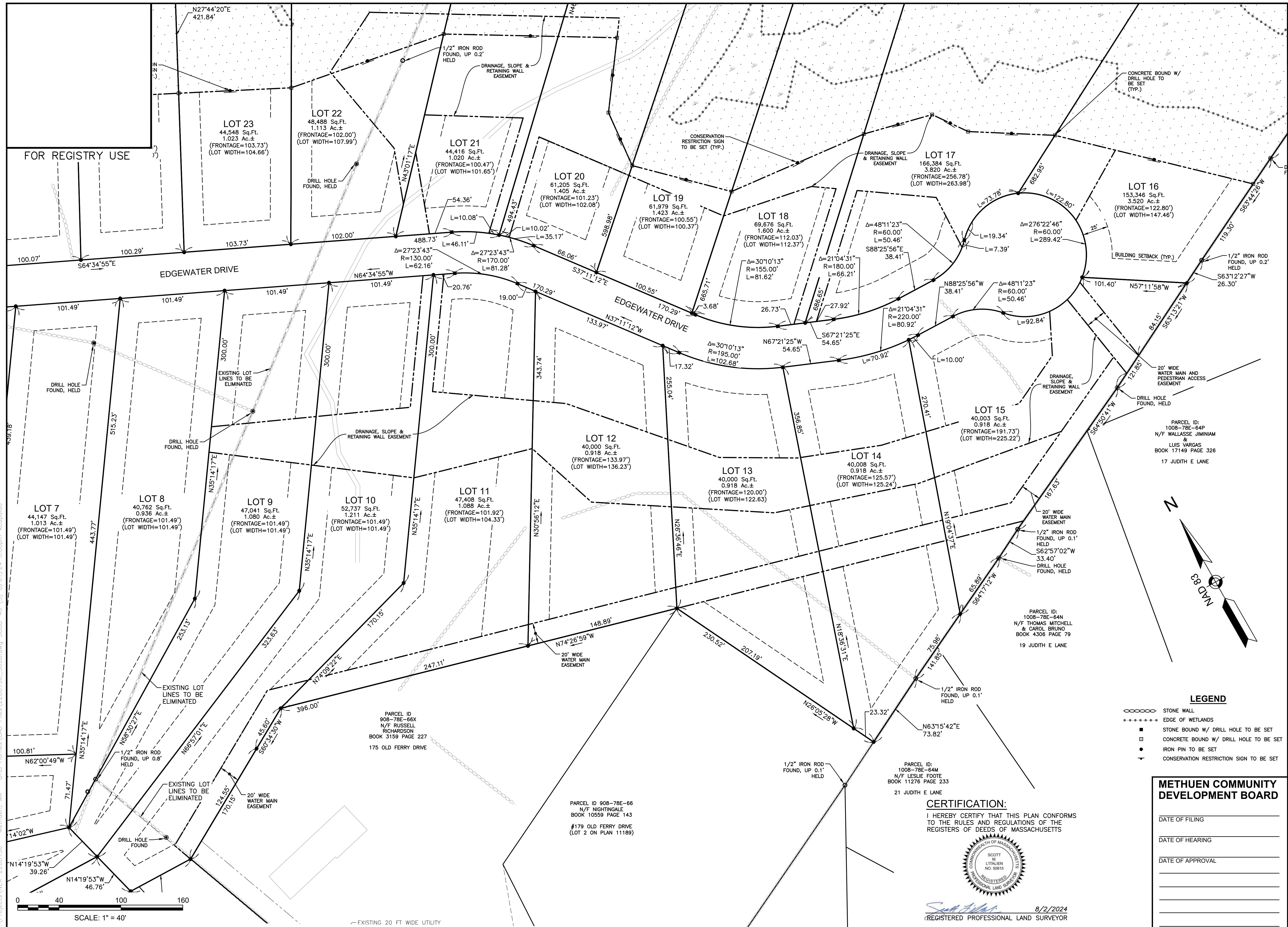


Scott L. Jolley 8/2/2023  
REGISTERED PROFESSIONAL LAND SURVEYOR

# DEFINITIVE SUBDIVISION PLAN

SCALE: 1"=40'  
PROJECT NO. NEX-2200136  
8 OF 32

**BROOKVIEW HEIGHTS  
DEFINITIVE SUBDIVISION PLAN  
DHB HOMES, LLC  
LAND OFF WASHINGTON STREET  
METHUEN, MASSACHUSETTS**

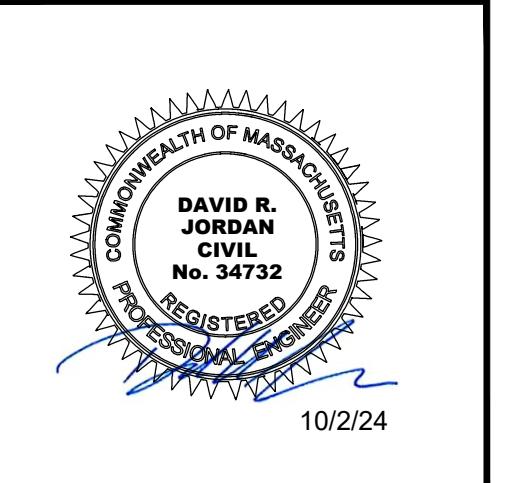


**DEFINITIVE  
SUBDIVISION  
PLAN**

SCALE: 1"=40'  
PROJECT NO.  
NEX-2200136

9 OF 32

**BROOKVIEW HEIGHTS  
DEFINITIVE SUBDIVISION PLAN  
DHB HOMES, LLC  
LAND OFF WASHINGTON STREET  
METHUEN, MASSACHUSETTS**



REVISIONS		
NO.	REVISION	DATE
2	REVISE PER CITY COMMENTS	9/26/24
1	REVISE PER CITY COMMENTS	8/2/24
DRAWN/DESIGN BY <b>GMP</b> CHECKED BY <b>DR J</b> MARCH 6. 2024		

# ETHUEN COMMUNITY DEVELOPMENT BOARD

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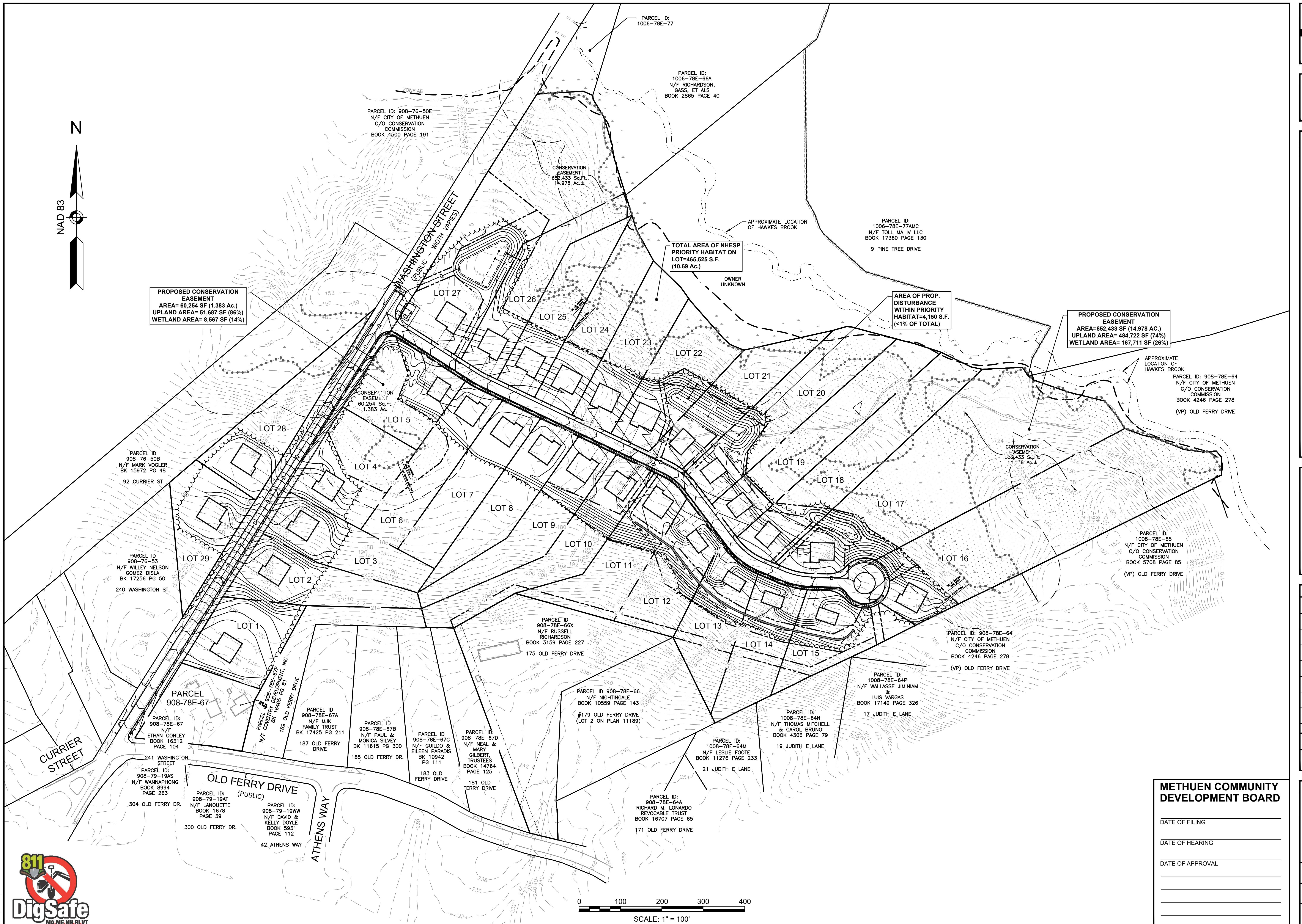
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**TYPE OF HEARING**

# SITE DEVELOPMENT OVERVIEW PLAN

SCALE:  
1"=100'

10 OF 32





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0 40  
SCALE:

The logo for Greenman-Pedersen, Inc. (GPI) features a large, bold, green serif font for the letters 'GPI'. To the right of the letters is a vertical line, followed by the company's services: 'Engineering', 'Design', 'Planning', and 'Construction Management' stacked vertically in a smaller, black sans-serif font.

PREPARED FOR  
DHB HOMES, LLC  
25 BUTTRICK ROAD, UNIT A1  
LONDONDERRY, NH 03053

**BROOKVIEW HEIGHTS  
DEFINITIVE SUBDIVISION PLAN  
DHB HOMES, LLC  
LAND OFF WASHINGTON STREET  
METHUEN, MASSACHUSETTS**



REVISIONS			
NO.	REVISION	DATE	
2	REVISE PER CITY COMMENTS	9/26/24	
1	REVISE PER CITY COMMENTS	8/2/24	

**MARCH 6. 2024**

DRAWN/DESIGN BY	CHECKED BY
GMP	DR J

# METHUEN COMMUNITY DEVELOPMENT BOARD

DATE OF FILING

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Page 10 of 10

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# GRADING & DRAINAGE PLAN

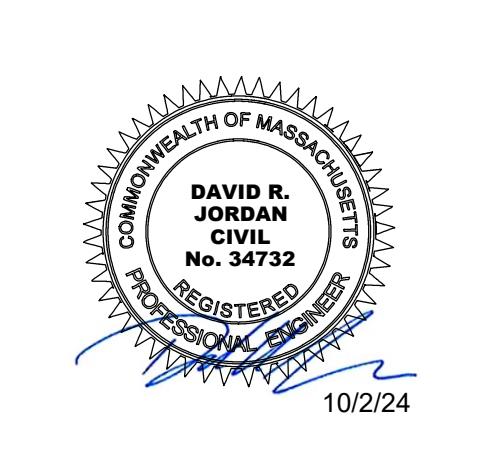
SCALE: 1"=40'

11 OF 32



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**LONDONDERRY, NH 03053**

**BROOKVIEW HEIGHTS  
DEFINITIVE SUBDIVISION PLAN  
DHB HOMES, LLC  
LAND OFF WASHINGTON STREET  
METHUEN, MASSACHUSETTS**



## REVISIONS

NO.	REVISION	DATE
3	REVISE PER CITY COMMENTS	9/26/24
2	REVISE PER CITY COMMENTS	8/2/24
1	ADD 100' WETLAND BUFFER	4/3/24
<b>MARCH 6, 2024</b>		
DRAWN/DESIGN BY		CHECKED BY
GMP		DRJ

# METHUEN COMMUNITY DEVELOPMENT BOARD

DATE OF FILING \_\_\_\_\_

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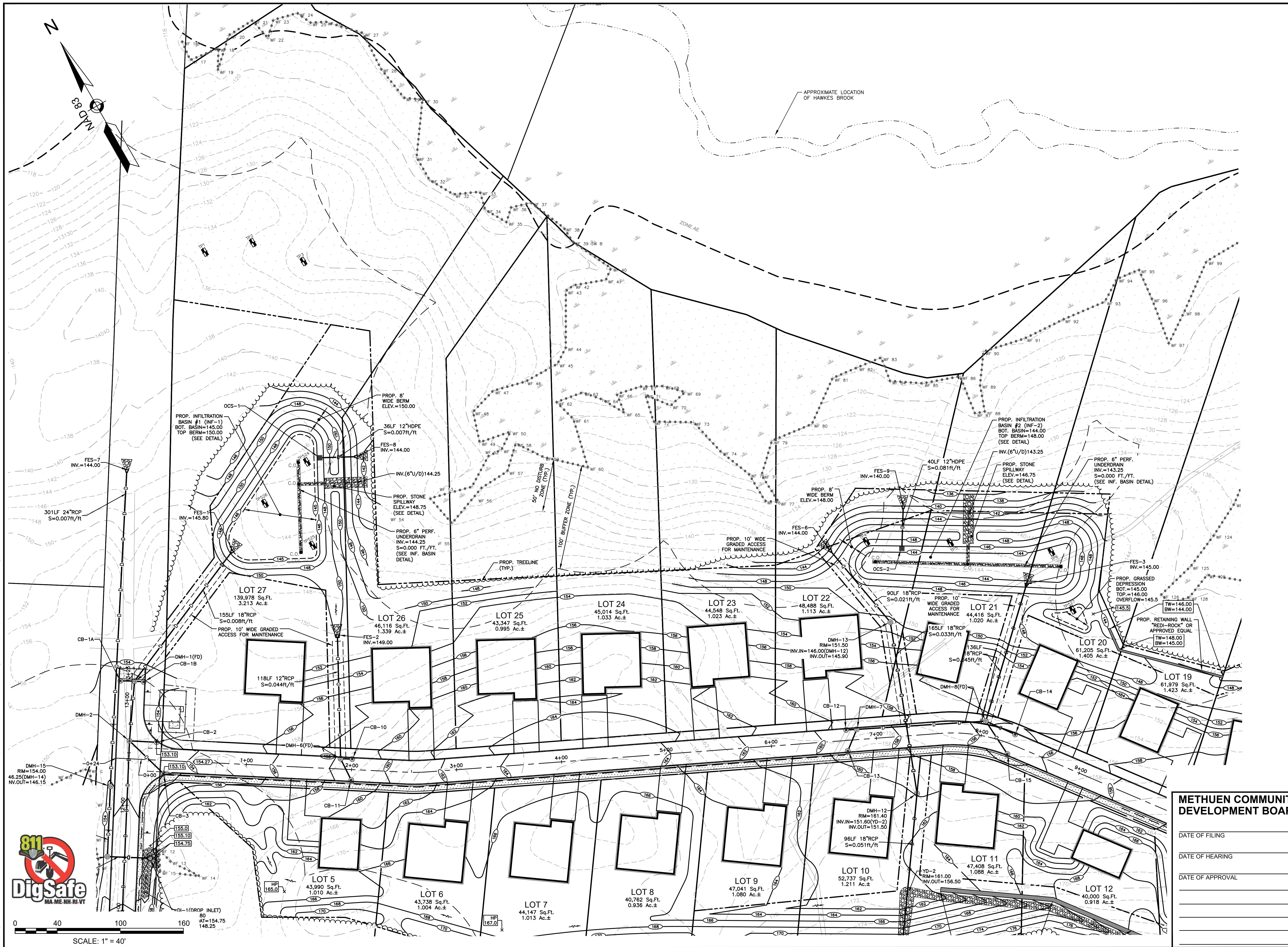
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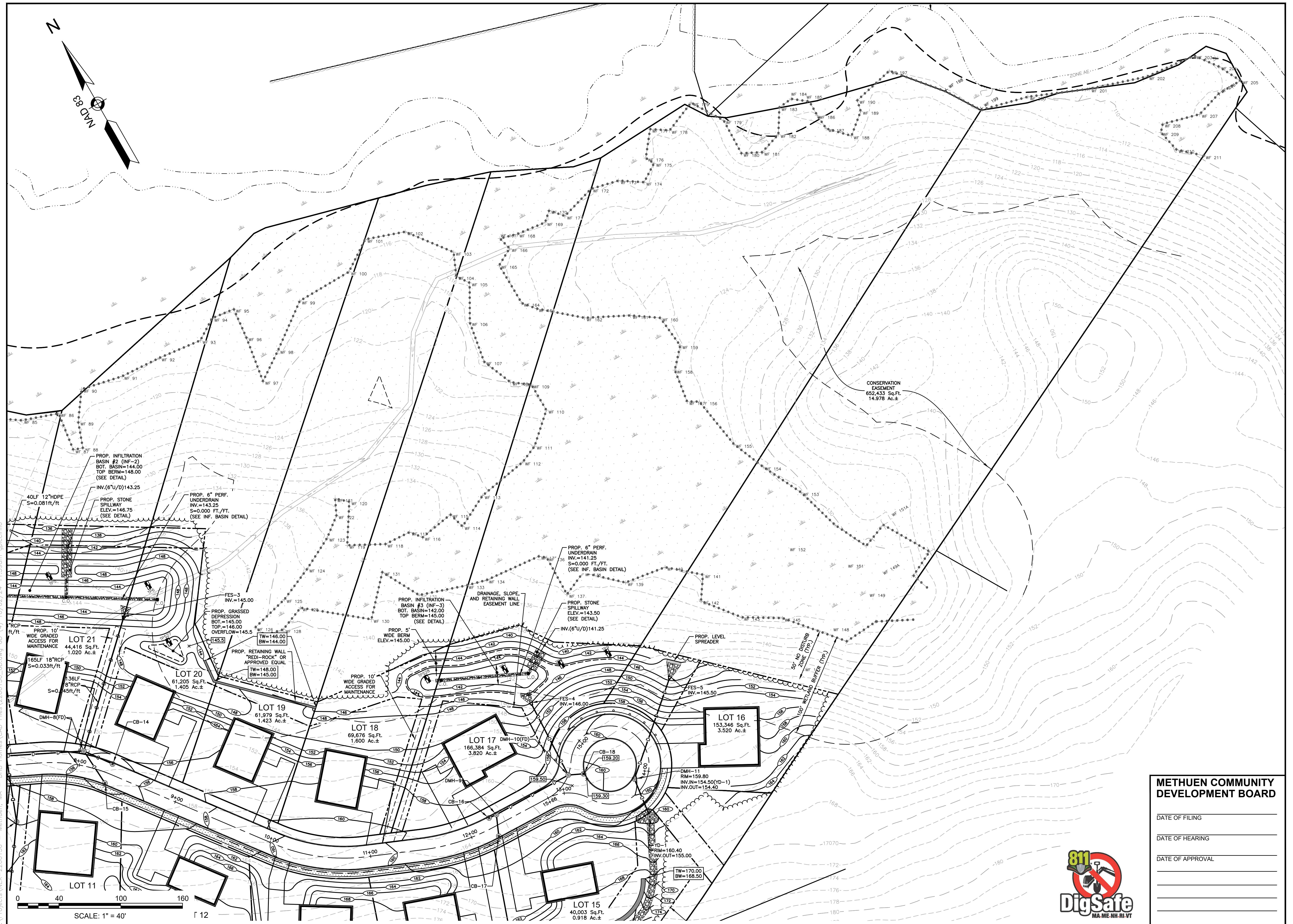
# GRADING & DRAINAGE PLAN

2020-2021

1"=40'

13 OF 32





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**BROOKVIEW HEIGHTS  
DEFINITIVE SUBDIVISION PLAN  
DHB HOMES, LLC  
LAND OFF WASHINGTON STREET  
METHUEN, MASSACHUSETTS**



REVISIONS			
NO.	REVISION	DATE	
2	REVISE PER CITY COMMENTS	8/2/24	
1	ADD 100' WETLAND BUFFER	4/3/24	

**MARCH 6. 2024**

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GMP	DRJ

# NETHUEEN COMMUNITY DEVELOPMENT BOARD

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# GRADING & DRAINAGE PLAN

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1"=40'

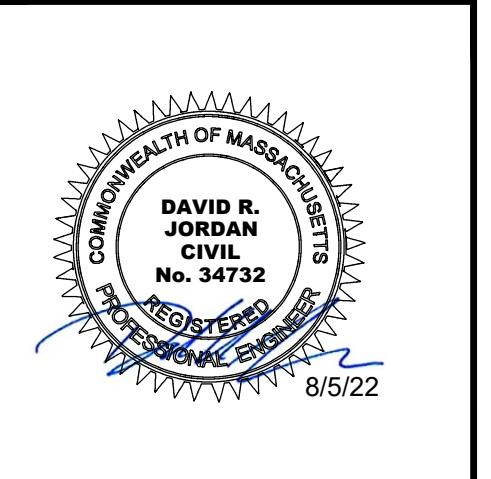
14 OF 32



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**BROOKVIEW HEIGHTS  
DEFINITIVE SUBDIVISION PLAN  
DHB HOMES, LLC**

**LAND OFF WASHINGTON STREET  
METHUEN, MASSACHUSETTS**



REVISIONS		
2	REVISE PER CITY COMMENTS	8/2/24
1	ADD 100' WETLAND BUFFER	4/3/24
O.	REVISION	DATE
MARCH 6, 2024		
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## NETHUN COMMUNITY DEVELOPMENT BOARD

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**TYPE OF HEARING**

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**TYPE OF APPROVAL**

# GRADING & DRAINAGE PLAN

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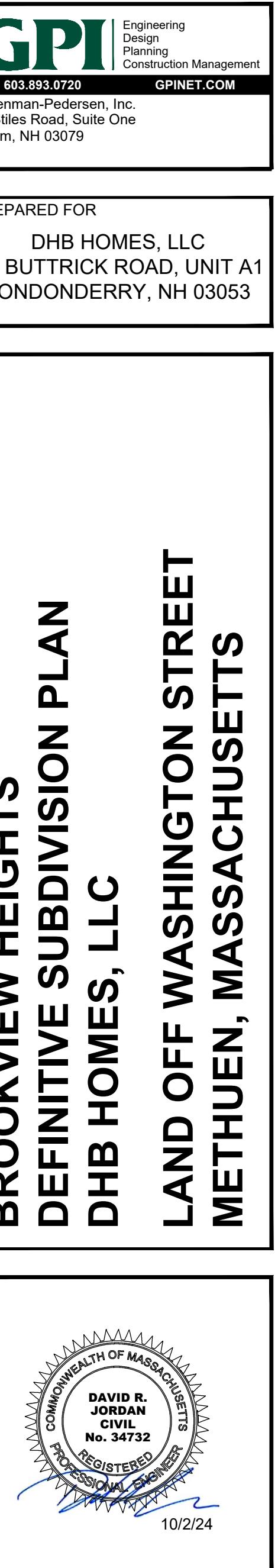
1"=40'



**GPI** Engineering Design Planning Construction Management  
603.893.0720 GPI.NET.COM  
Greiman-Pedersen, Inc.  
44 Stiles Road, Suite One  
Salem, NH 03073

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DHB HOMES, LLC  
25 BUTTRICK ROAD, UNIT A1  
LONDONDERRY, NH 03053

DAVID R. JORDAN, CIVIL  
No. 34732  
REGISTERED PROFESSIONAL ENGINEER  
10/2/24



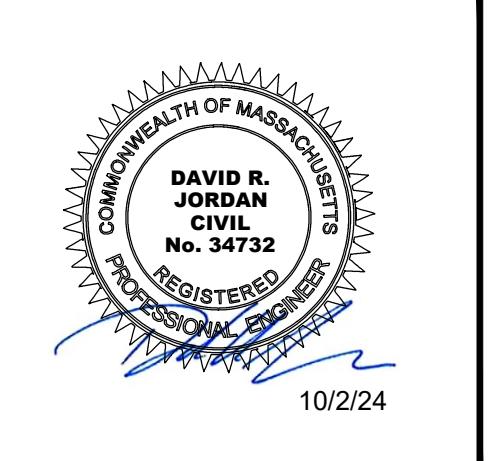
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1	ADD 100' WETLAND BUFFER	4/3/24
NO.	REVISION	DATE
	MARCH 6, 2024	
DRAWN/DESIGN BY	GMP	CHECKED BY
		DRJ

EROSION & SEDIMENT CONTROL PLAN

SCALE: 1"=40'  
PROJECT NO. NEX-2200136

17 OF 32

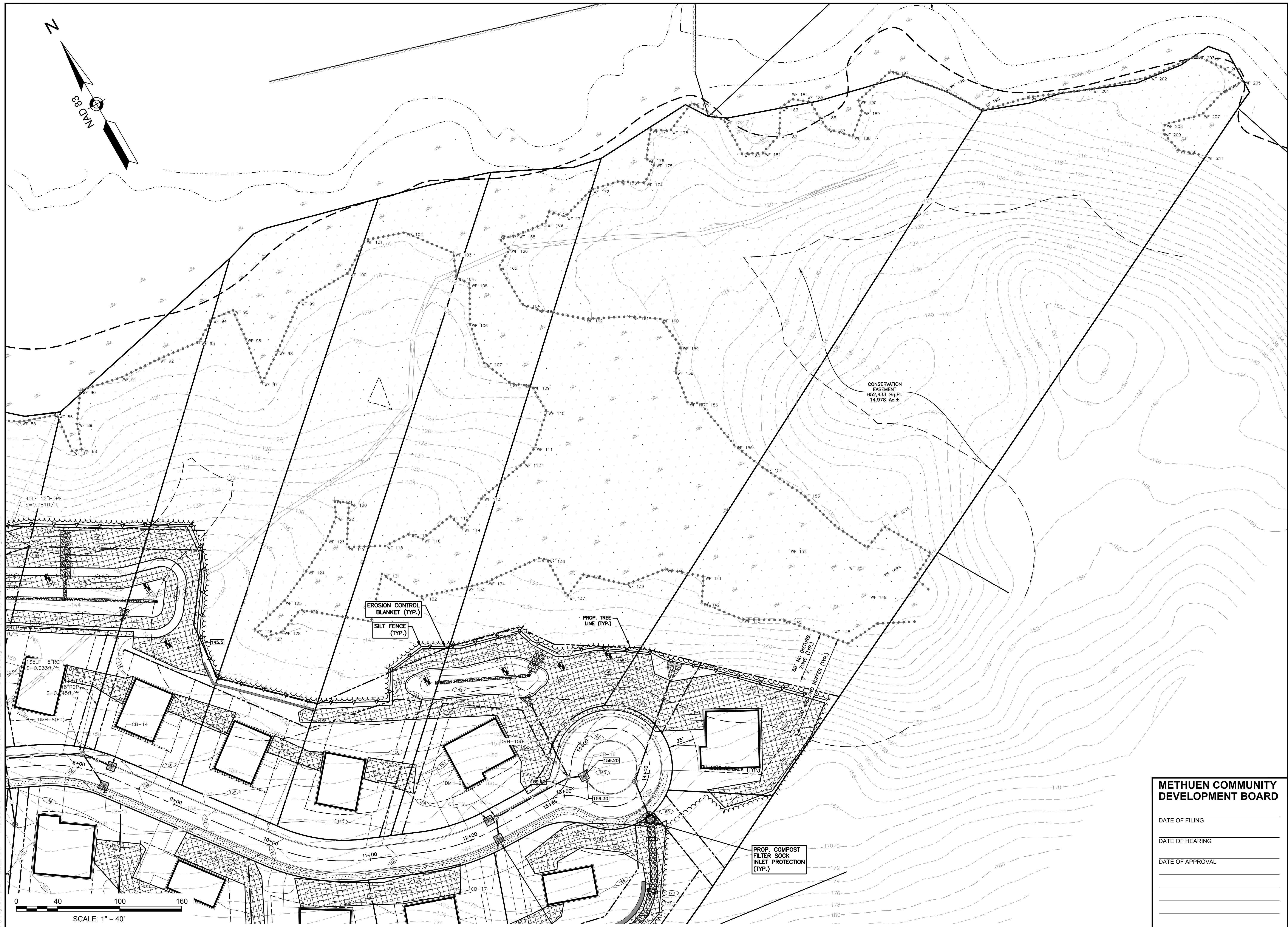
**BROOKVIEW HEIGHTS  
DEFINITIVE SUBDIVISION PLAN  
DHB HOMES, LLC  
LAND OFF WASHINGTON STREET  
METHUEN, MASSACHUSETTS**



REVISIONS	
3	REVISE PER CITY COMMENTS 9/26/24
2	REVISE PER CITY COMMENTS 8/2/24
1	ADD 100' WETLAND BUFFER 4/3/24
NO.	REVISION DATE
MARCH 6, 2024	
DRAWN/DESIGN BY	CHECKED BY
GMP	DRJ

EROSION & SEDIMENT CONTROL PLAN	
DATE OF FILING	
DATE OF HEARING	
DATE OF APPROVAL	
SCALE:	1"=40'
PROJECT NO.	NEX-2200136





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**BROOKVIEW HEIGHTS  
DEFINITIVE SUBDIVISION PLAN  
DHB HOMES, LLC  
LAND OFF WASHINGTON STREET  
METHUEN, MASSACHUSETTS**



REVISIONS			
NO.	REVISION	DATE	
2	REVISE PER CITY COMMENTS	8/2/24	
1	ADD 100' WETLAND BUFFER	4/3/24	

**MARCH 6. 2024**

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GMP	DRJ

# METHUEN COMMUNITY DEVELOPMENT BOARD

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DATE OF FILING \_\_\_\_\_

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# EROSION & SEDIMENT CONTROL PLAN

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1'=40'

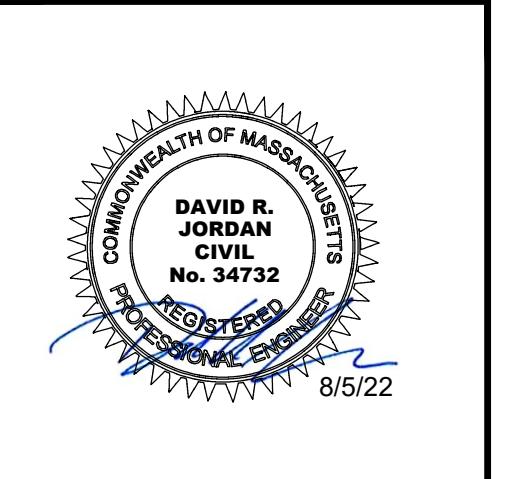


The image shows the GPI logo in a large, bold, green serif font. To the right of the logo is a vertical line, followed by the text "Engineering", "Design", "Planning", and "Construction Management" stacked vertically. Below the logo is a black horizontal bar containing the phone number "603.893.0720" on the left and the website "GPINET.COM" on the right. At the bottom of the image is a white horizontal bar with the company address: "Greenman-Pedersen, Inc.", "4 Stiles Road, Suite One", and "Salem, NH 03079".

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LONDONDERRY, NH 03053

**BROOKVIEW HEIGHTS  
DEFINITIVE SUBDIVISION PLAN  
DHB HOMES, LLC**

**LAND OFF WASHINGTON STREET  
METHUEN, MASSACHUSETTS**



REVISIONS			
NO.	REVISION	DATE	
2	REVISE PER CITY COMMENTS	8/2/24	
1	ADD 100' WETLAND BUFFER	4/3/24	
DRAWN/DESIGN BY <b>GMP</b> CHECKED BY <b>DRJ</b> MARCH 6, 2024			

# ETHUEN COMMUNITY DEVELOPMENT BOARD

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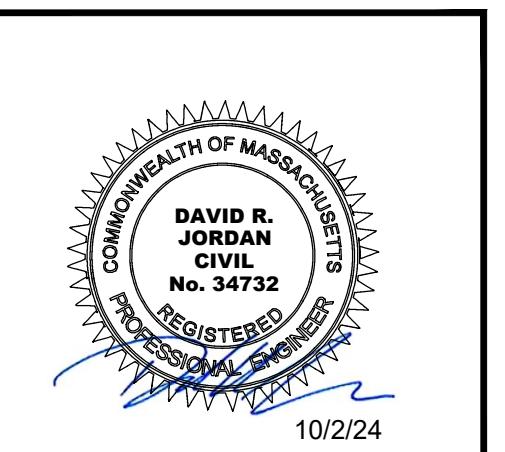
# EROSION & SEDIMENT CONTROL PLAN

SCALE: 1"=40'

20 OF 32

**BROOKVIEW HEIGHTS  
DEFINITIVE SUBDIVISION PLAN  
DHB HOMES, LLC**

**LAND OFF WASHINGTON STREET  
METHUEN, MASSACHUSETTS**



REVISIONS		
NO.	REVISION	DATE
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1	REVISE PER CITY COMMENTS	8/2/24

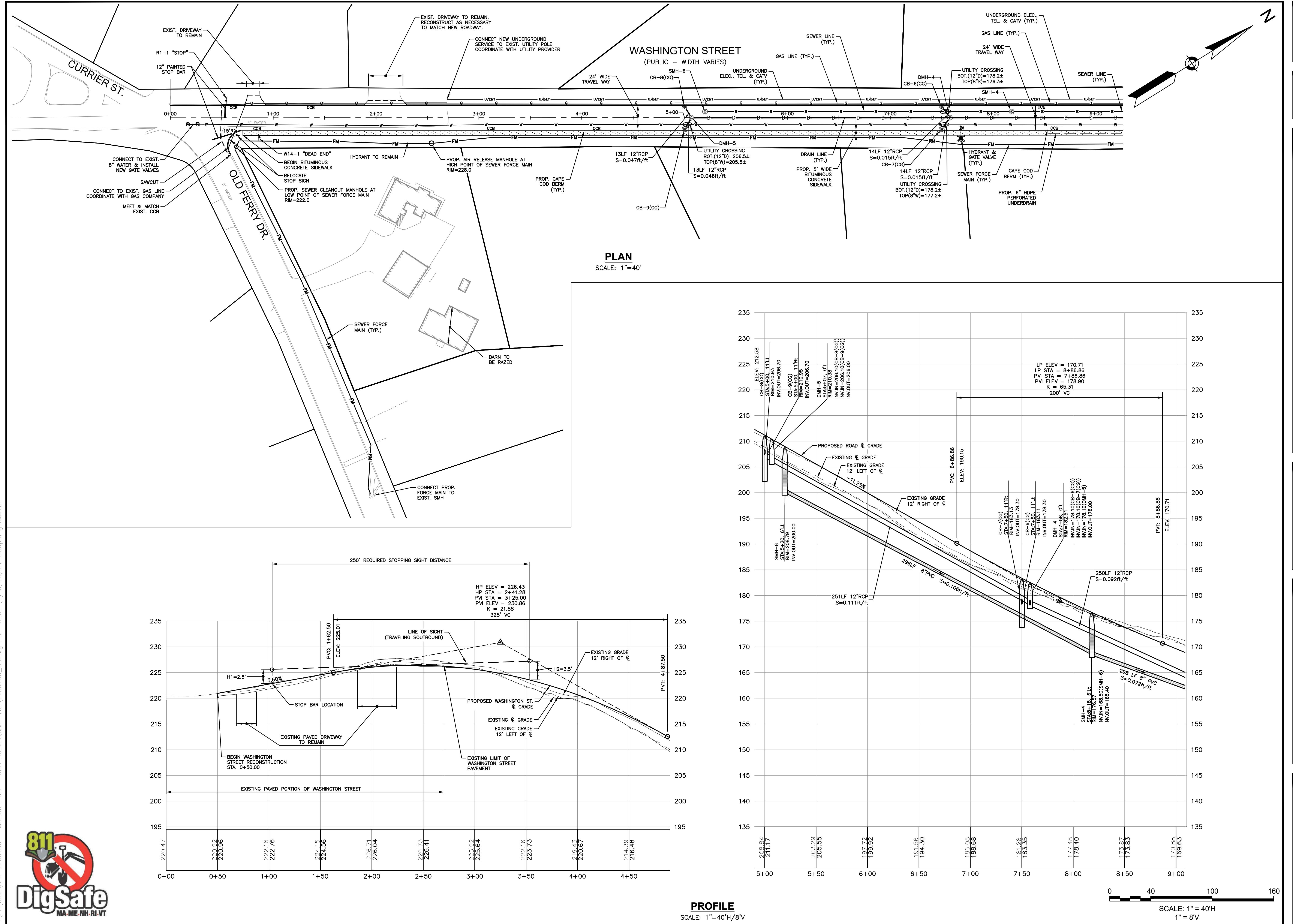
**MARCH 6. 2024**

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GMP	DRJ

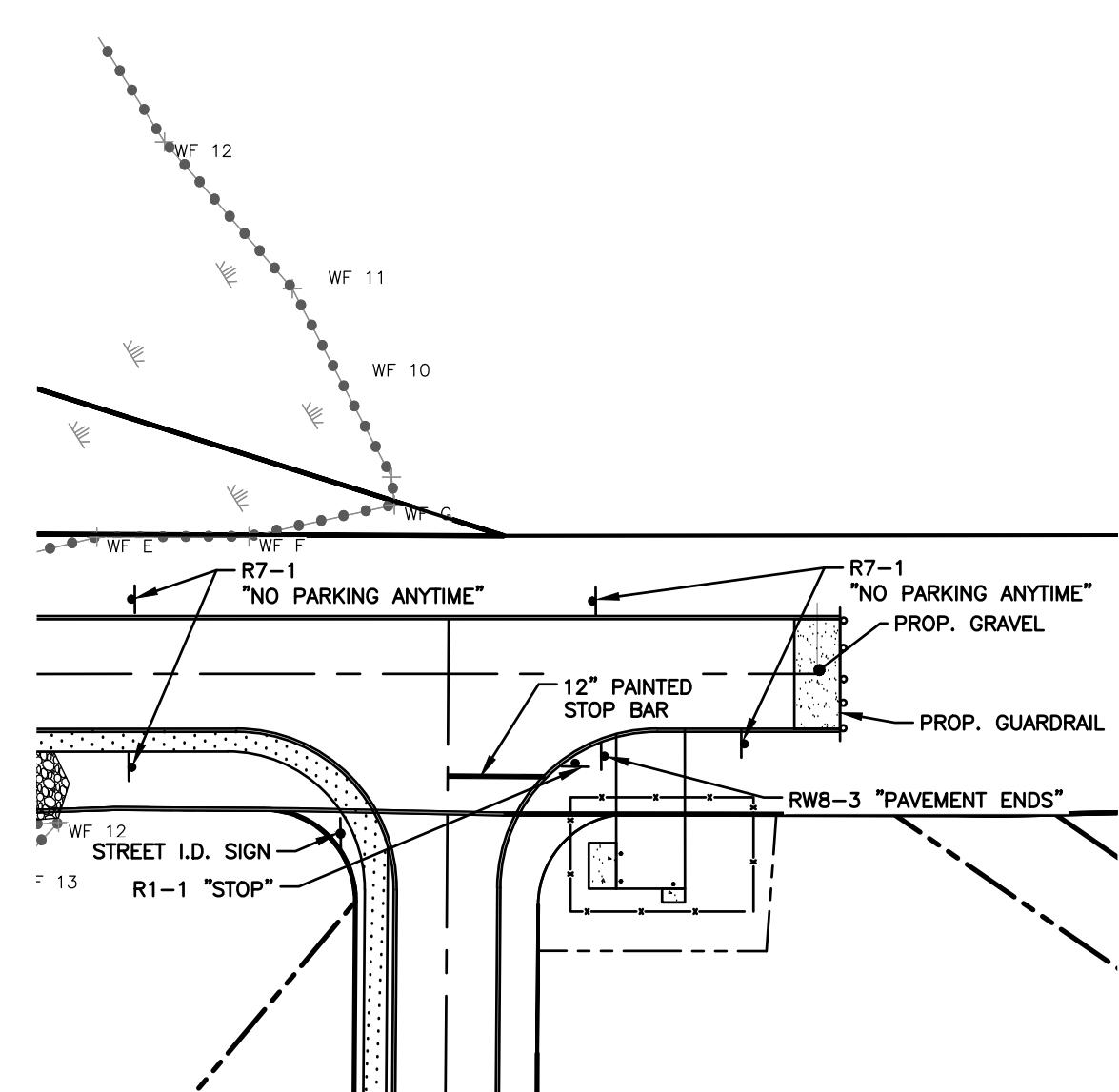
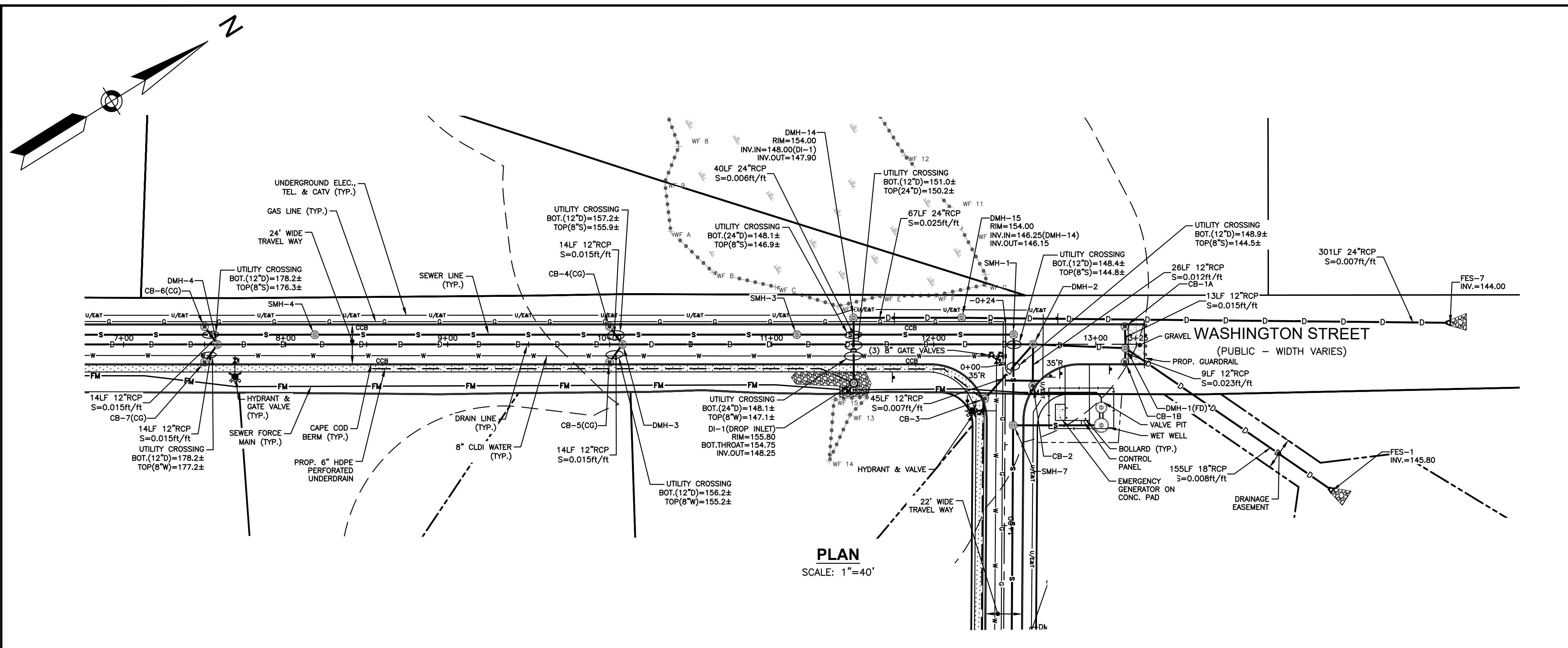
# WASHINGTON STREET PLAN & PROFILE

CALE: 1"=40' HORIZ.  
1"=8' VERT.

21 OF 32

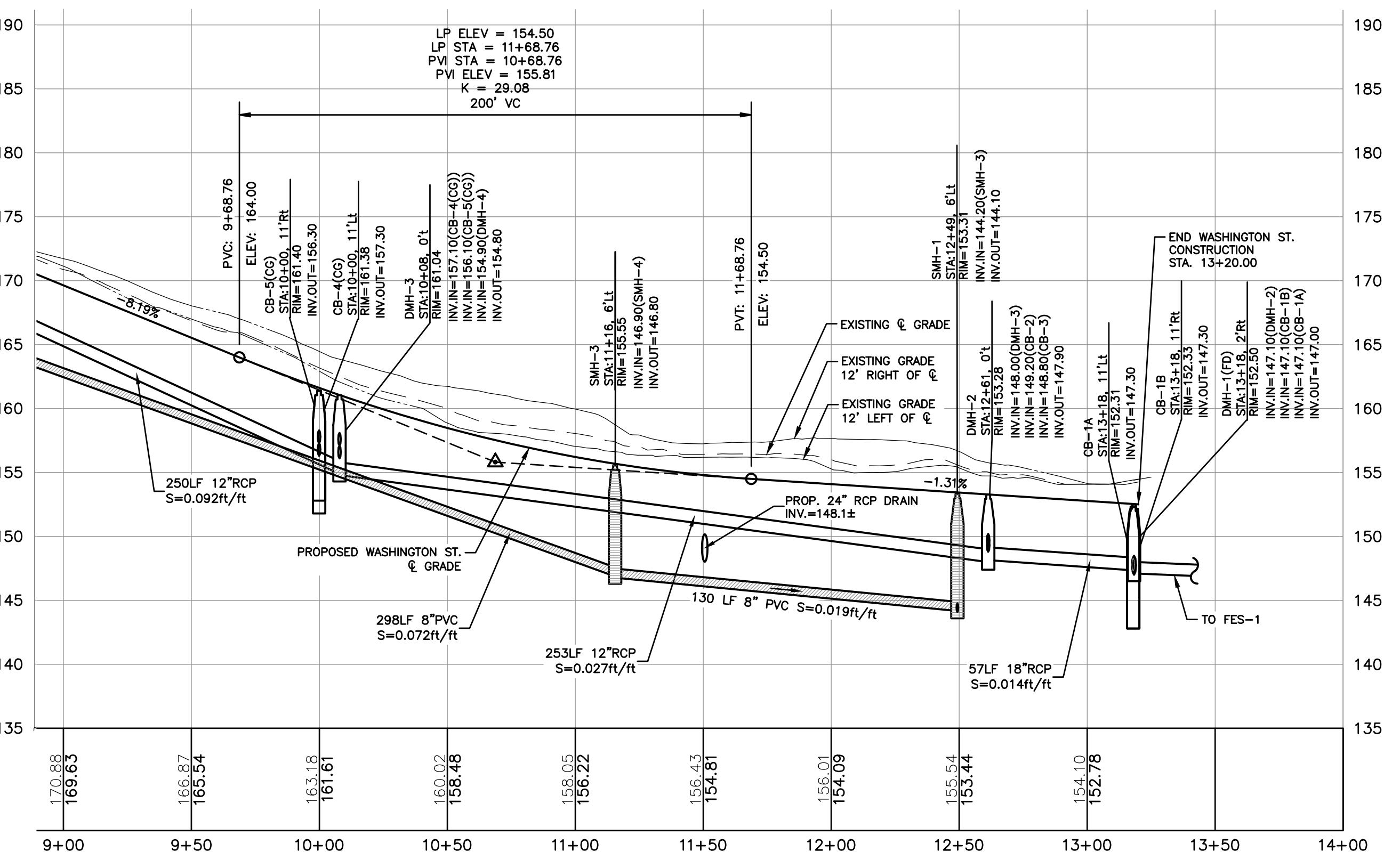


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**LONDONDERRY, NH 03053**



# **SIGNAGE, & STRIPING PLAN**

SCALE: 1"=40'

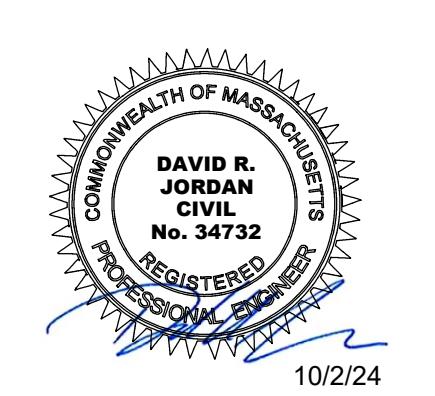


# PROFILE



**BROOKVIEW HEIGHTS  
DEFINITIVE SUBDIVISION PLAN  
DHB HOMES, LLC**

**LAND OFF WASHINGTON STREET  
METHIEN, MASSACHUSETTS**



REVISIONS			
NO.	REVISION	DATE	REVIEWED BY
2	REVISE PER CITY COMMENTS	9/26/2024	
1	REVISE PER CITY COMMENTS	8/2/2024	

**MARCH 6. 2024**

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GMP	DRJ

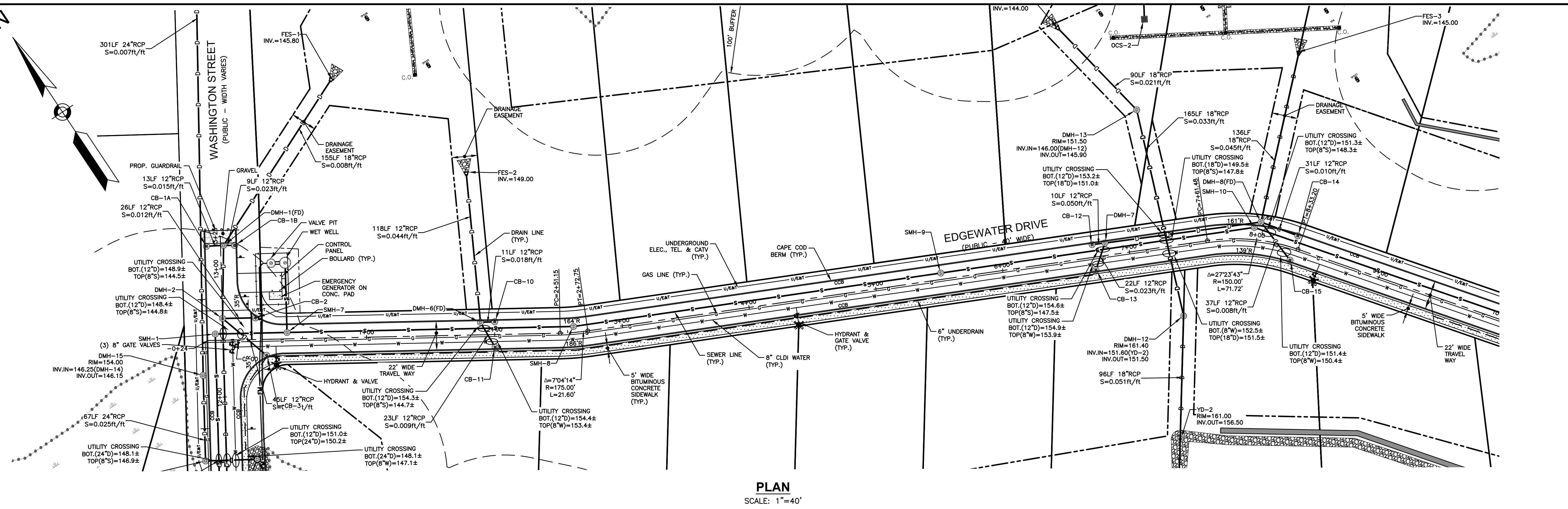
# WASHINGTON STREET PLAN & PROFILE

SCALE: 1"=40' HORIZ.  
1"=8' VERT.  
PROJECT NO.  
NEX-2200136

22 OF 32



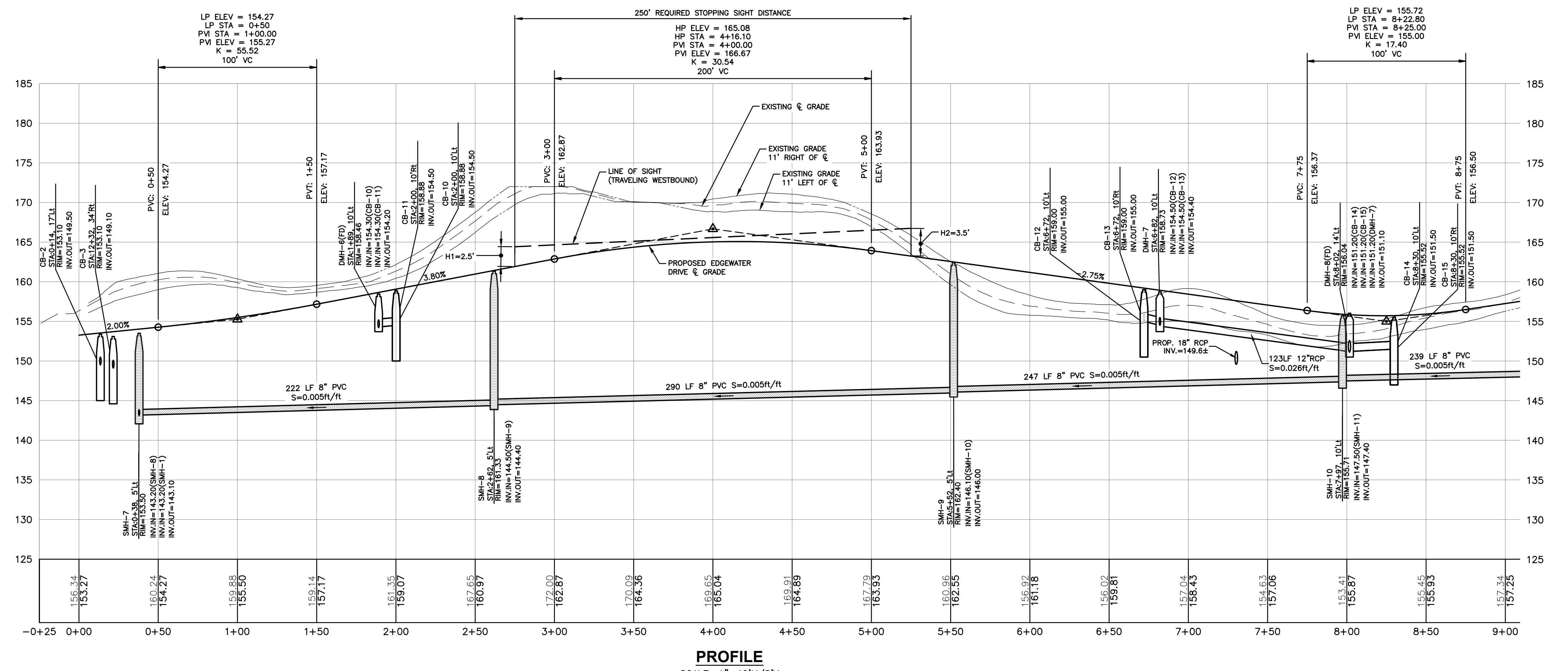
The logo for DigSafe features the word "DigSafe" in a large, bold, black sans-serif font. Below the word, the state abbreviations "MA", "ME", "NH", "RI", and "VT" are listed in a smaller, bold, black sans-serif font, separated by small black dots.



**BROOKVIEW HEIGHTS  
DEFINITIVE SUBDIVISION PLAN  
DHB HOMES, LLC  
LAND OFF WASHINGTON STREET  
METHUEN, MASSACHUSETTS**

The image shows the GPI logo in a large, bold, green serif font. To the right of the logo is a vertical line, followed by the text 'Engineering', 'Design', 'Planning', and 'Construction Management' stacked vertically. Below the logo is the phone number '603.893.0720' in a bold black font. To the right of the phone number is the website 'GPINET.COM' in a bold black font. At the bottom, there is an address: 'Greenman-Pedersen, Inc.', '44 Stiles Road, Suite One', and 'Salem, NH 03079'.

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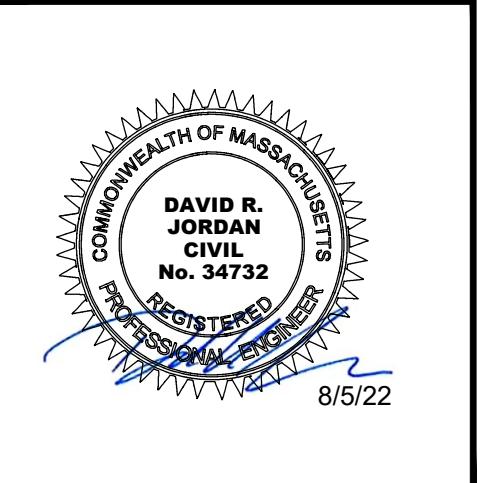
# EDGEWATER DRIVE PLAN & PROFILE

SCALE: 1"=40' HORIZ.  
1"=8' VERT.  
PROJECT NO.  
NEX-2200136

REARED FOR  
DHB HOMES, LLC  
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**BROOKVIEW HEIGHTS  
DEFINITIVE SUBDIVISION PLAN  
DHB HOMES, LLC**

**LAND OFF WASHINGTON STREET  
METHUEN, MASSACHUSETTS**

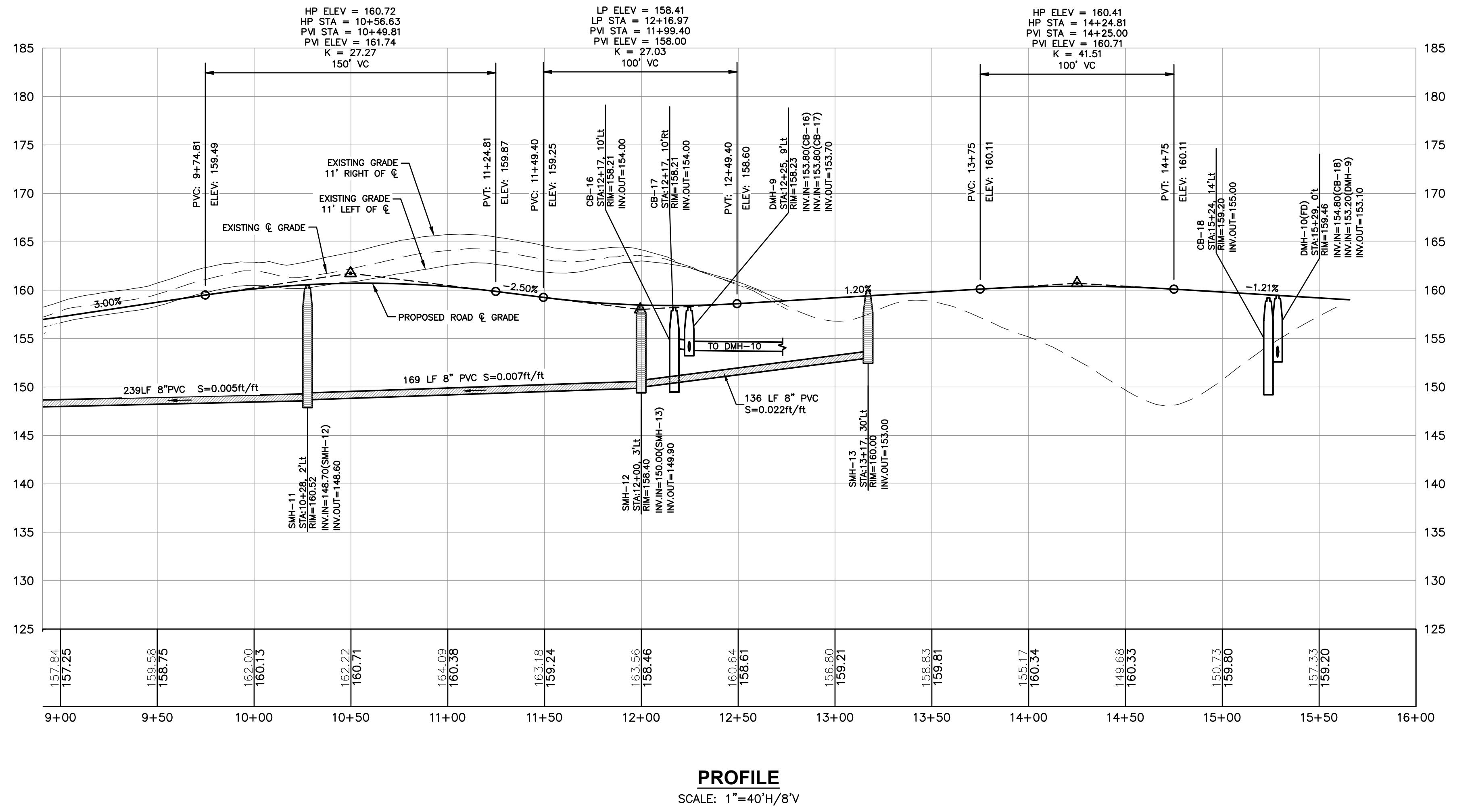
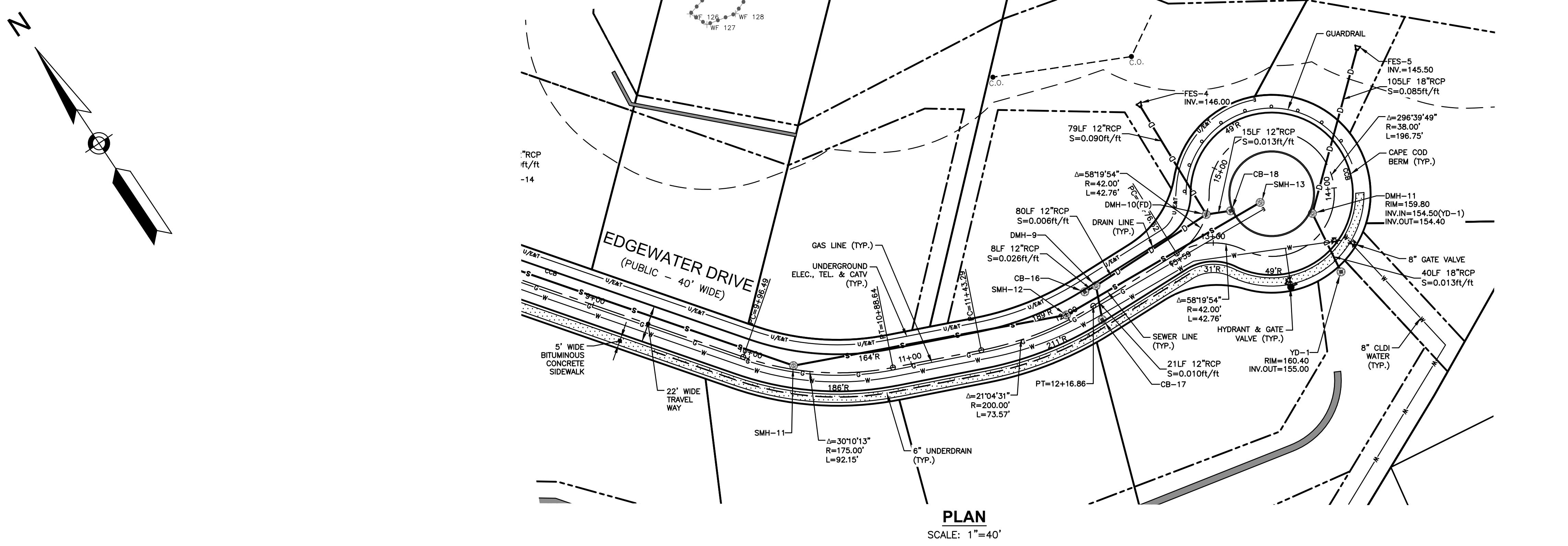


REVISIONS		
1	REVISE PER CITY COMMENTS	8/2/24
O.	REVISION	DATE
MARCH 6, 2024		
DRAWN/DESIGN BY GMP		CHECKED BY DR I

# EDGEWATER DRIVE PLAN & PROFILE

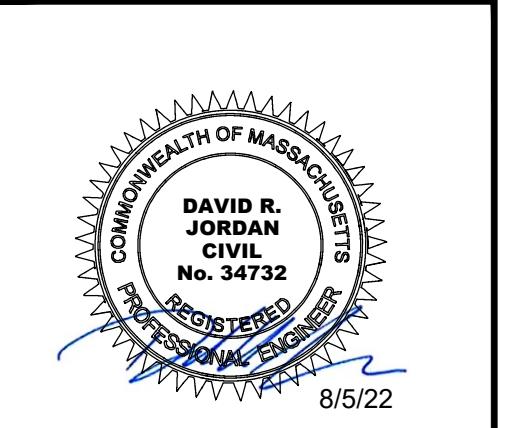
SCALE: 1"=40'  
PROJECT NO. NEX-2200136

24 OF 32



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**BROOKVIEW HEIGHTS  
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REVISIONS		
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MARCH 6, 2024		
DRAWN/DESIGN BY		CHECKED BY
GMP		DR. J

# CROSS COUNTRY WATER MAIN PLAN

SCALE:  
1"=40'

PROJECT NO.  
NEX-2200136

25 OF 32



0 40 100 160

SCALE: 1" = 40'

This site plan illustrates the layout of Lots 9 through 15, showing property boundaries, utility lines, and easements. The plan includes a north arrow, property labels, and elevation contours.

**Properties and Labels:**

- LOT 9:** 47,041 Sq.Ft., 1.080 Ac.±
- LOT 10:** 52,737 Sq.Ft., 1.211 Ac.±
- LOT 11:** 47,408 Sq.Ft., 1.088 Ac.±
- LOT 12:** 40,000 Sq.Ft., 0.918 Ac.±
- LOT 13:** 40,000 Sq.Ft., 0.918 Ac.±
- LOT 14:** 40,008 Sq.Ft., 0.918 Ac.±
- LOT 15:** 40,003 Sq.Ft., 0.918 Ac.±

**Utilities and Easements:**

- Water Main Easements:** 20' WIDE WATER MAIN EASEMENT (multiple locations)
- Drainage, Sloping Retaining Wall Easement:** Located between Lots 10 and 13.
- Utility Lines:** CB-12, DMH-7, CB-13, CB-15, CB-16, CB-17, SMH-9, SMH-11, SMH-12, SMH-15, SMH-16, SMH-17, U/E&T, GAS LINE (TYP.), UNDERGROUND ELEC., TEL. & CATV (TYP.), 8" CLDI WATER (TYP.), 8" GATE/VALVE (TYP.), DRAIN LINE (TYP.).
- Utility Crossings:** BOT.(12"D)=154.6±, TOP(8"S)=147.5±; BOT.(12"D)=154.9±, TOP(8"W)=153.9±; BOT.(12"D)=154.5±, TOP(8"W)=151.5±; BOT.(12"D)=153.8±, TOP(8"S)=151.3±; BOT.(12"D)=139.9±, TOP(8"W)=138.9±.
- Other:** 6" UNDERDRAIN (TYP.), 96LF 18"RCP, S=0.051ft/ft, YD-2, RIM=161.00, INV.OUT=156.50.

**PARCEL ID:**  
1008-78E-64N  
N/F THOMAS MITCHELL  
& CAROL BRUNO  
BOOK 4306 PAGE 79  
19 JUDITH E LANE

**PARCEL ID:**  
908-78E-66X  
N/F RUSSELL  
RICHARDSON  
BOOK 3159 PAGE 227

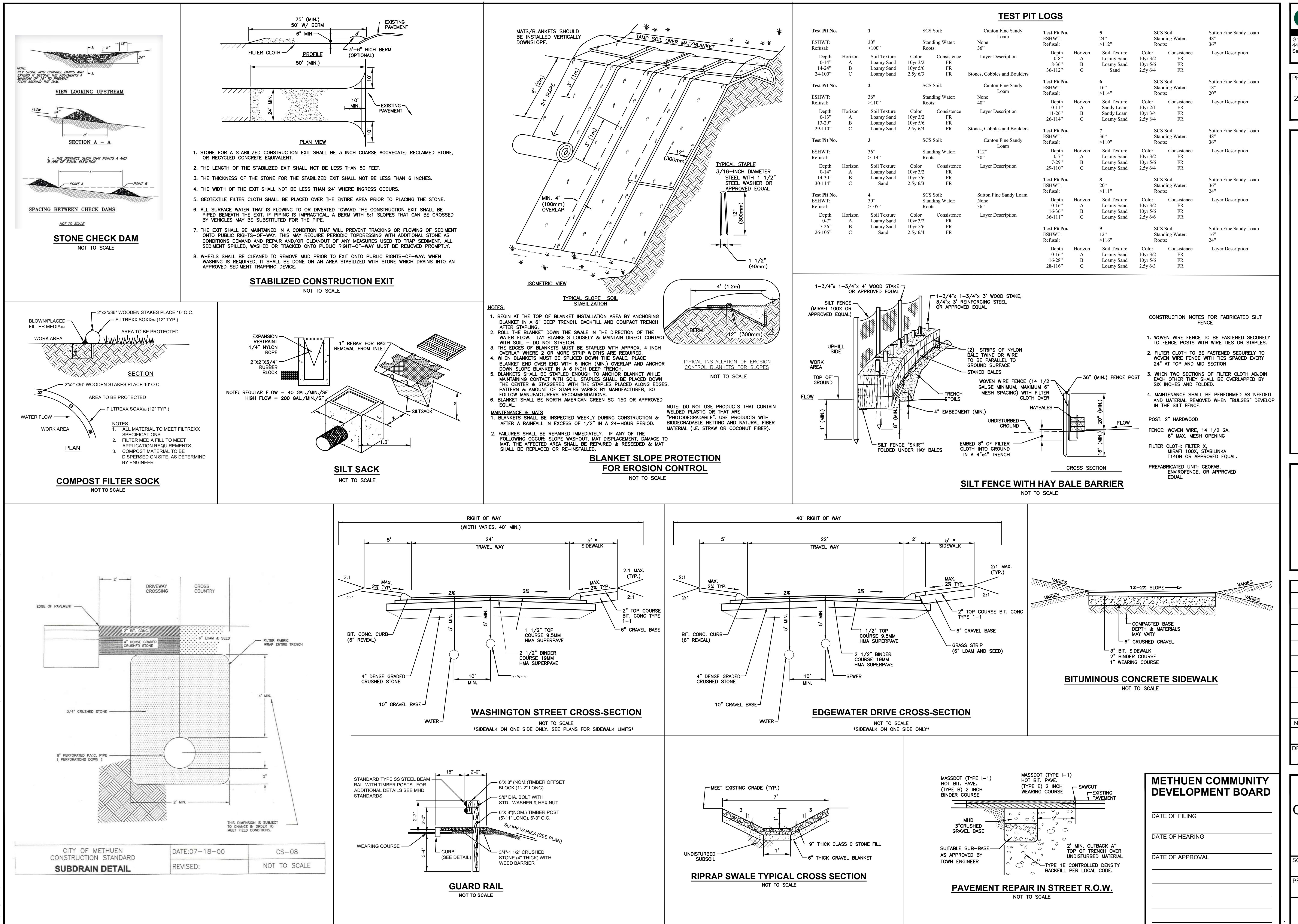
**PARCEL ID:**  
1008-78E-64M  
N/F LESLIE FOOTE

**EXISTING UTILITY EA/**

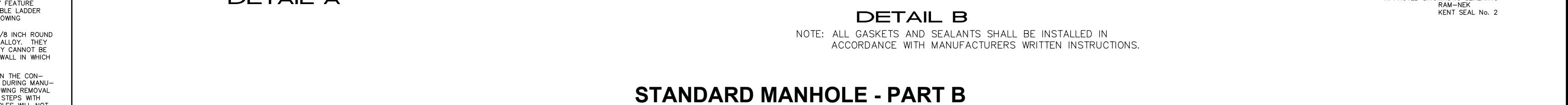
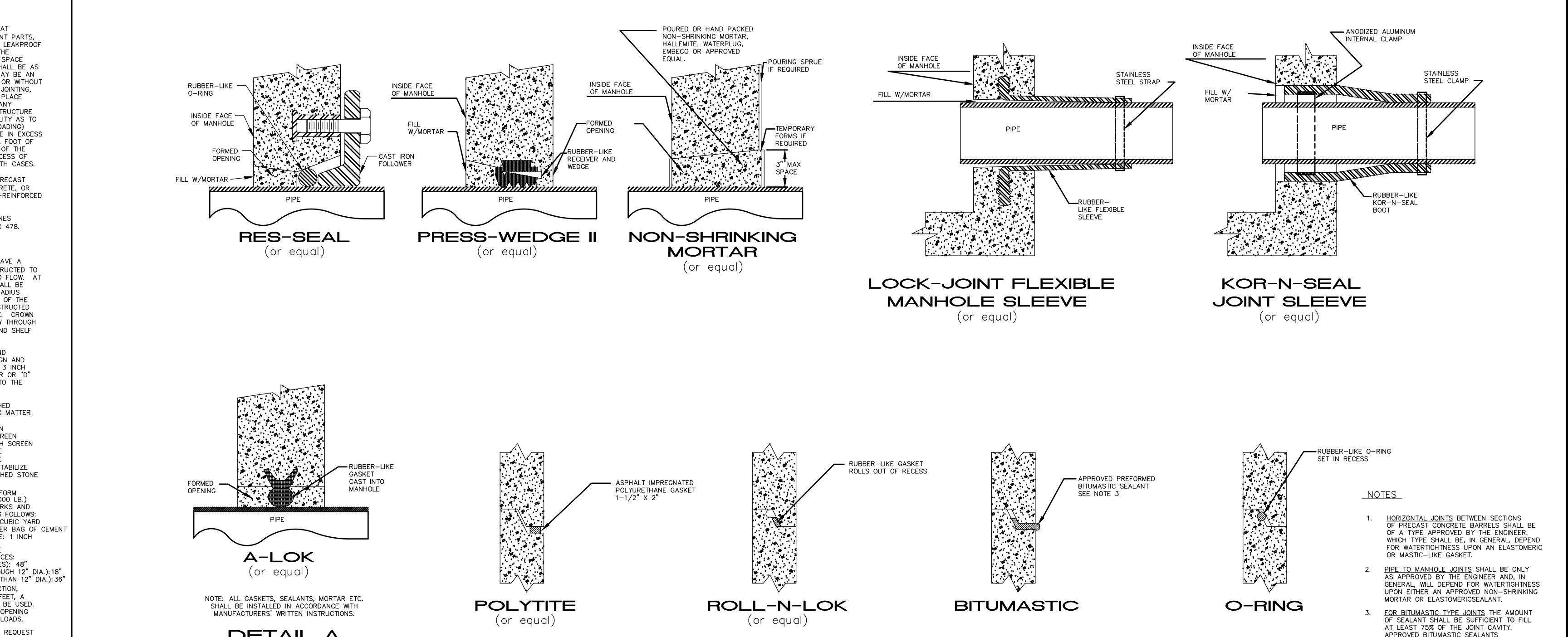
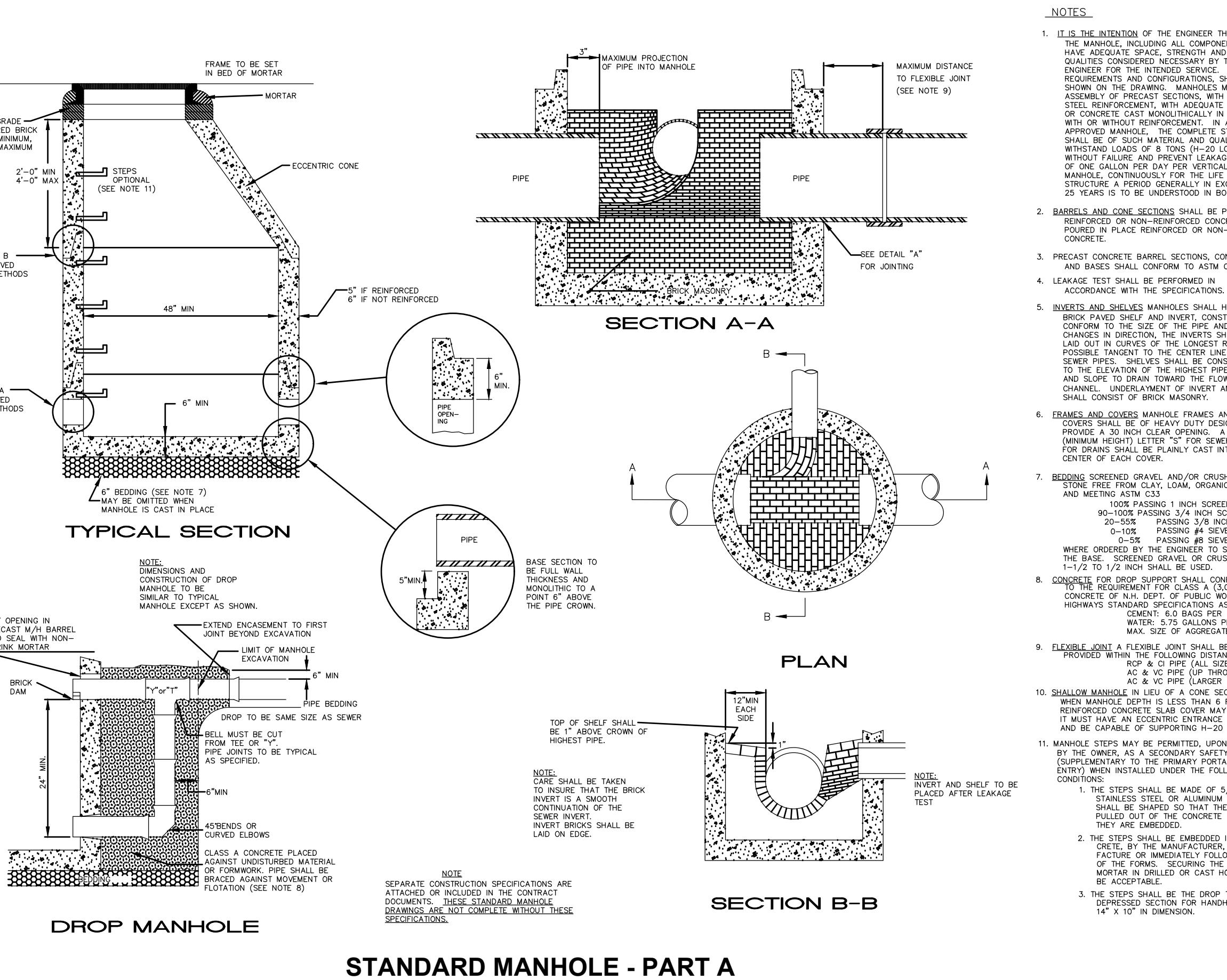
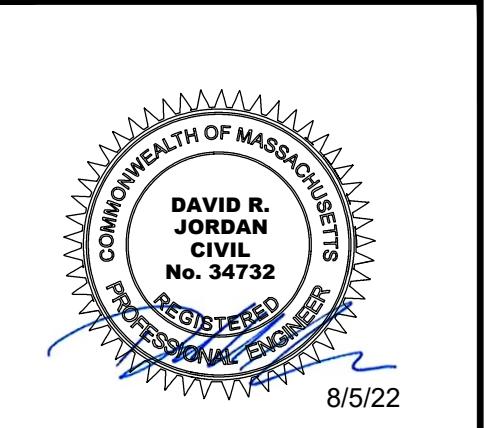
This site plan illustrates the property boundaries and easements for Old Ferry Drive. The plan shows several parcels, each with its own unique property lines and easements. Key features include:

- Utilities:** Existing utility easements and proposed 8" x 8" T.S. and 3-8" gate valves.
- Parcel Information:**
  - Parcel ID: 908-78E-66X, N/F RUSSELL RICHARDSON, Book 3159 Page 227
  - Parcel ID: 908-78E-64A, RICHARD M. LONARDO REVOCABLE TRUST, Book 16707 Page 65, 171 OLD FERRY DRIVE
  - Parcel ID: 908-78E-67D, N/F NEAL & MARY GILBERT, TRUSTEES, Book 14764 Page 125, 181 OLD FERRY DRIVE
  - Parcel ID: 908-78E-67C, N/F GUILDO & EILEEN PARADIS, BK 10942 PG 111, 183 OLD FERRY DRIVE
  - Parcel ID: 908-78E-67B, N/F PAUL & MONICA SILVEY, BK 11615 PG 300, 185 OLD FERRY DR.
- Topography:** Contour lines indicating elevation levels.
- Old Ferry Drive:** A major road running through the area.

**BROOKVIEW HEIGHTS  
DEFINITIVE SUBDIVISION PLAN  
DHB HOMES, LLC  
LAND OFF WASHINGTON STREET  
METHUEN, MASSACHUSETTS**

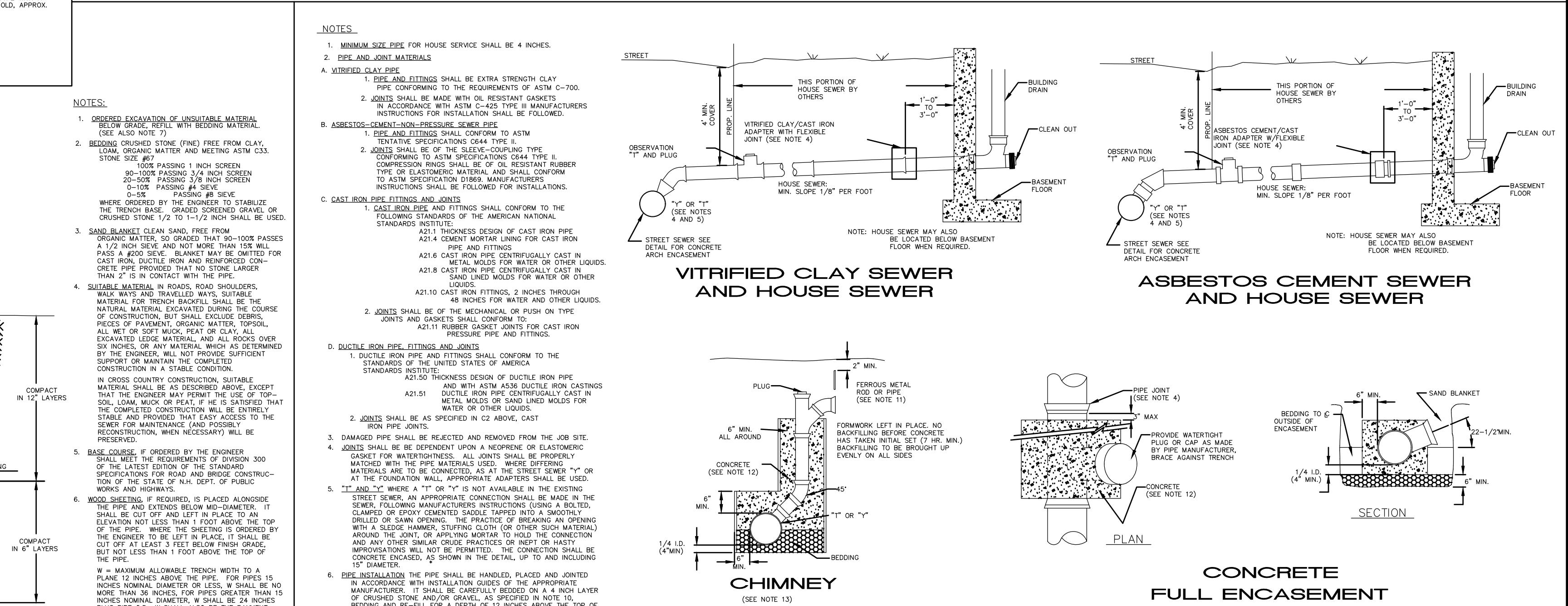
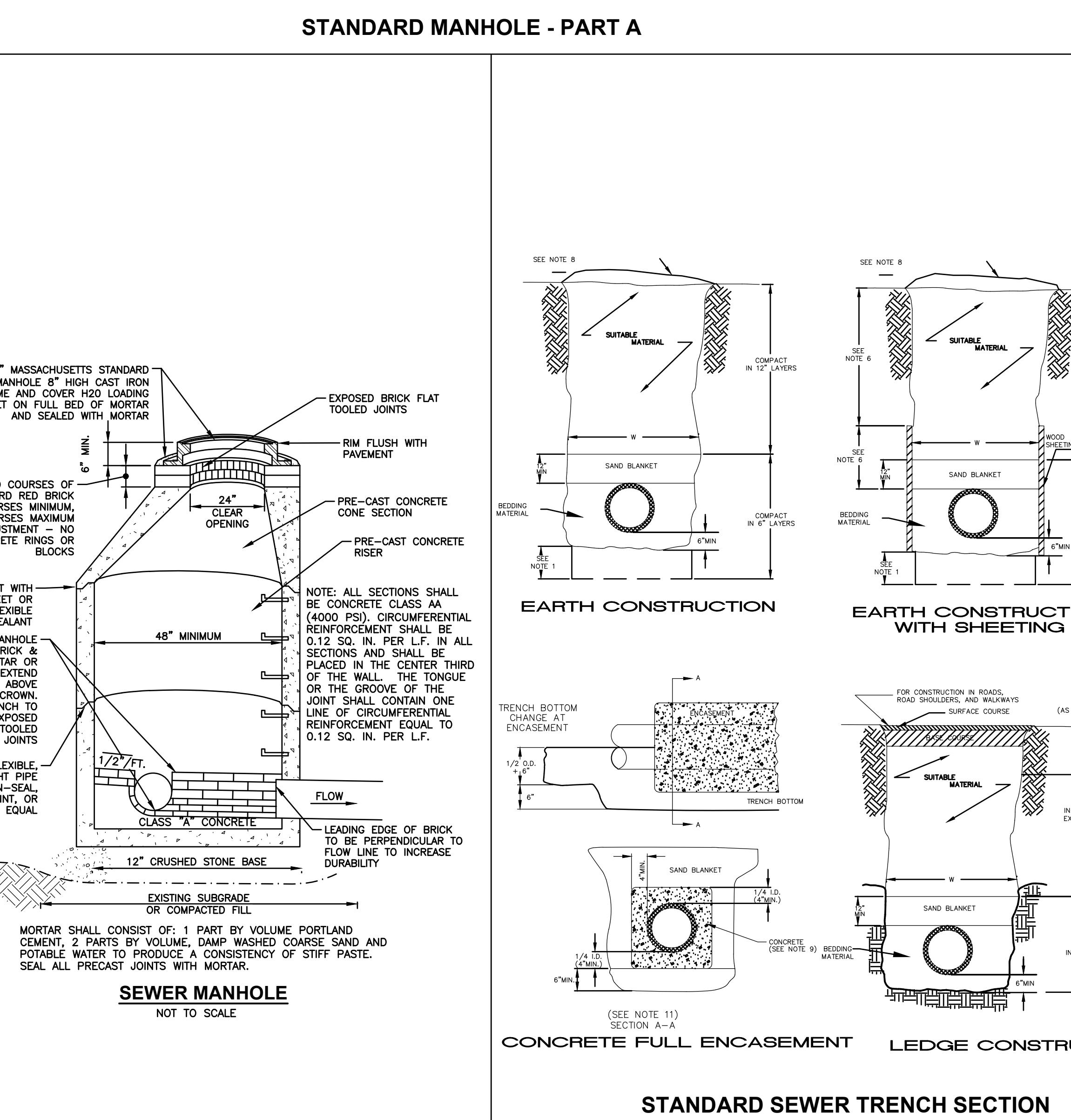


**BROOKVIEW HEIGHTS  
DEFINITIVE SUBDIVISION PLAN  
DHB HOMES, LLC  
LAND OFF WASHINGTON STREET  
METHUEN, MASSACHUSETTS**



**STANDARD MANHOLE - PART B**

NOTE: ALL GASKETS AND SEALANTS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS WRITTEN INSTRUCTIONS.



**METHUEN COMMUNITY  
DEVELOPMENT BOARD**

DATE OF FILING

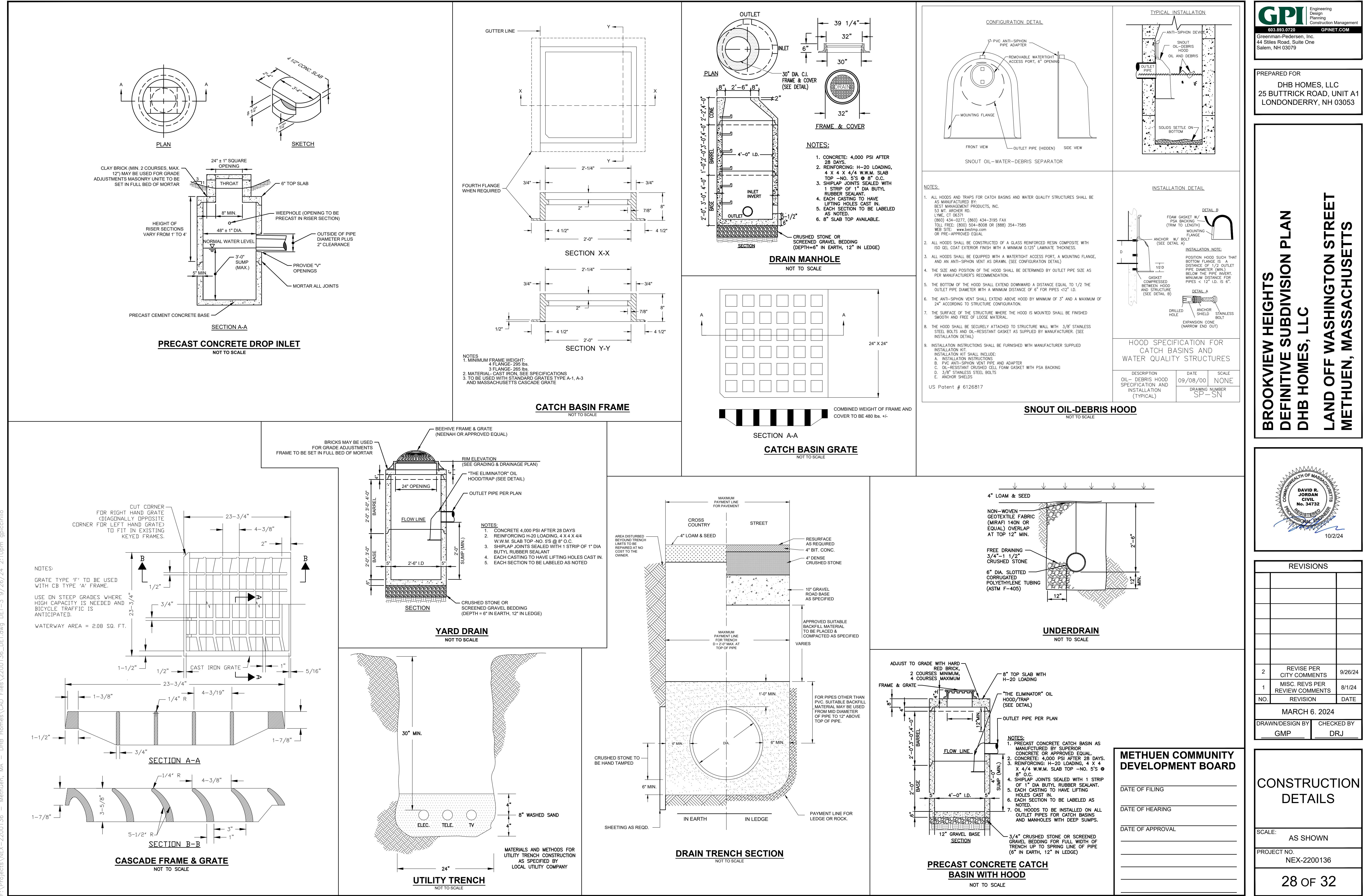
DATE OF HEARING

DATE OF APPROVAL

SCALE: AS SHOWN

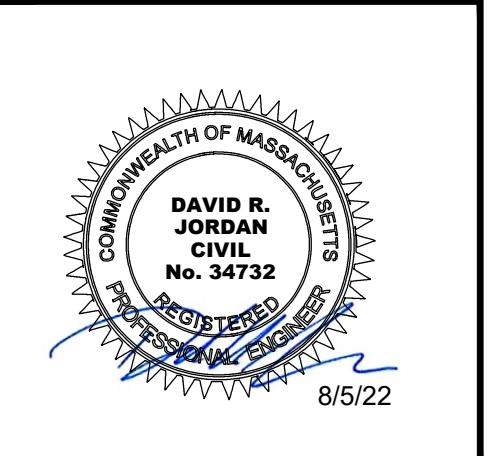
PROJECT NO. NEX-2200136

**CONSTRUCTION  
DETAILS**



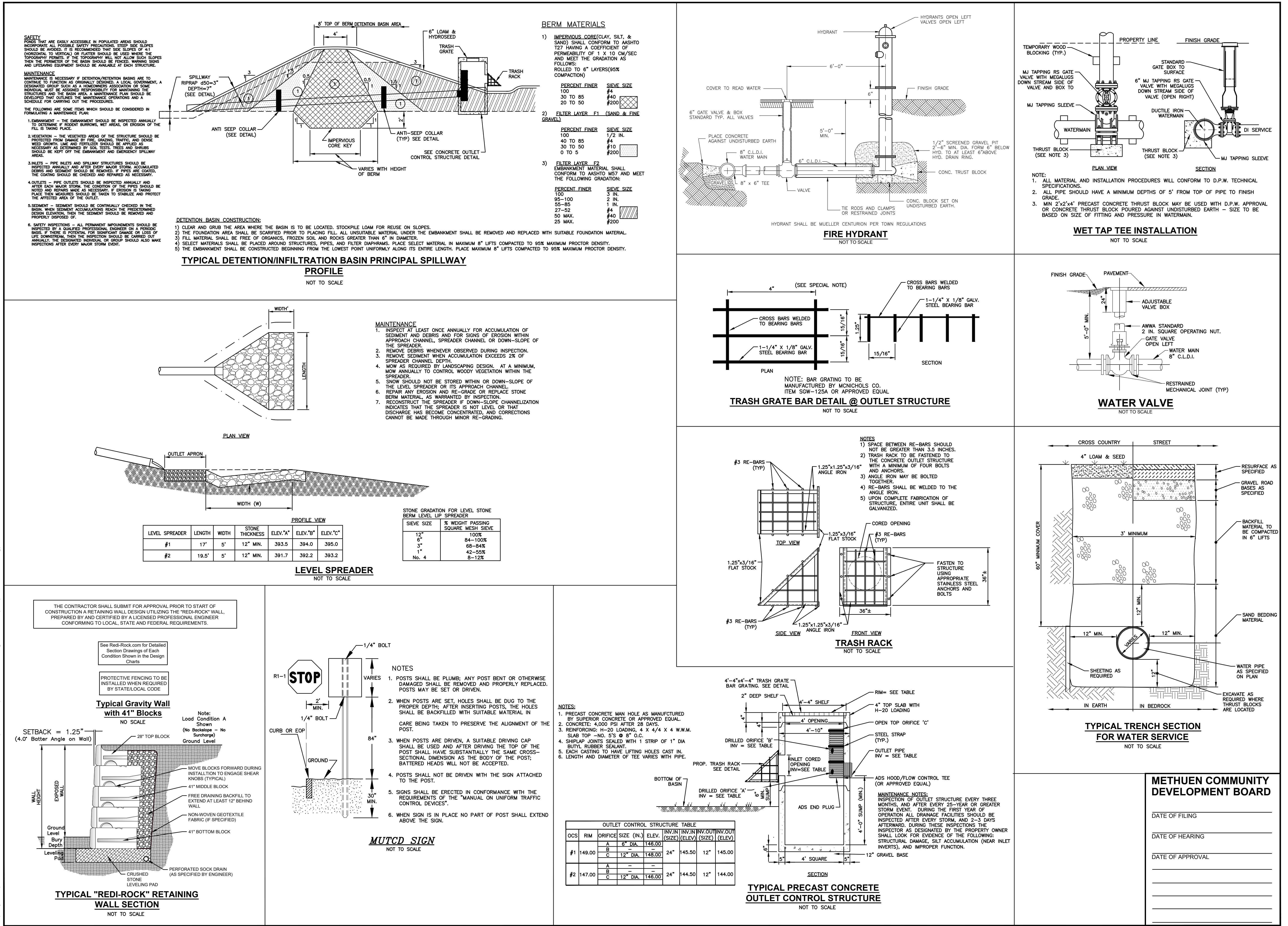


**BROOKVIEW HEIGHTS  
DEFINITIVE SUBDIVISION PLAN  
DHB HOMES, LLC  
LAND OFF WASHINGTON STREET  
METHUEN, MASSACHUSETTS**

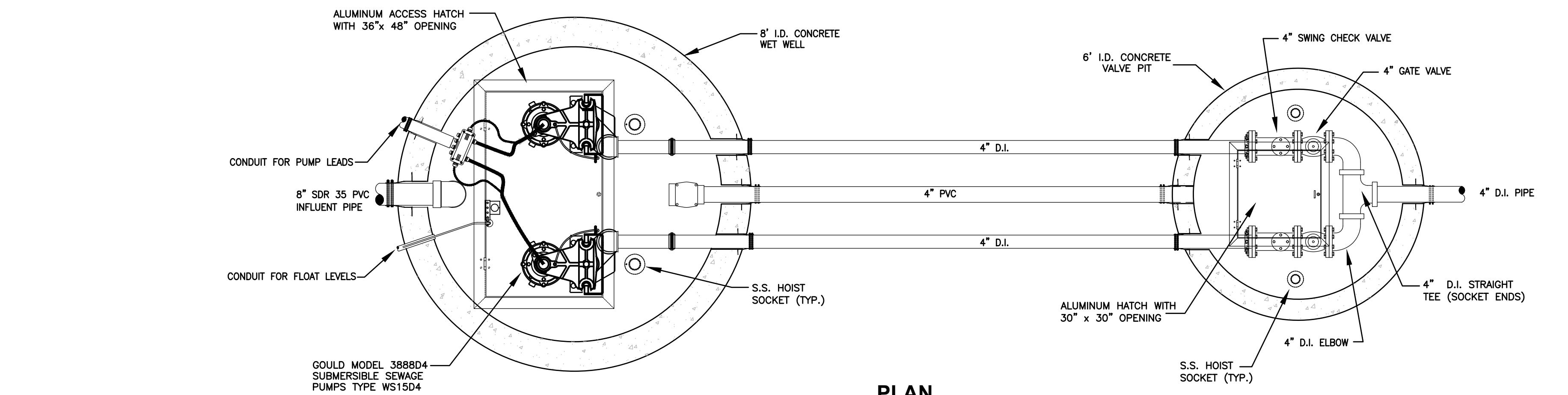


REVISIONS		
1	REVISE PER CITY COMMENTS	8/24
NO.	REVISION	DATE
	MARCH 6, 2024	
DRAWN/DESIGN BY	GMP	CHECKED BY DRJ

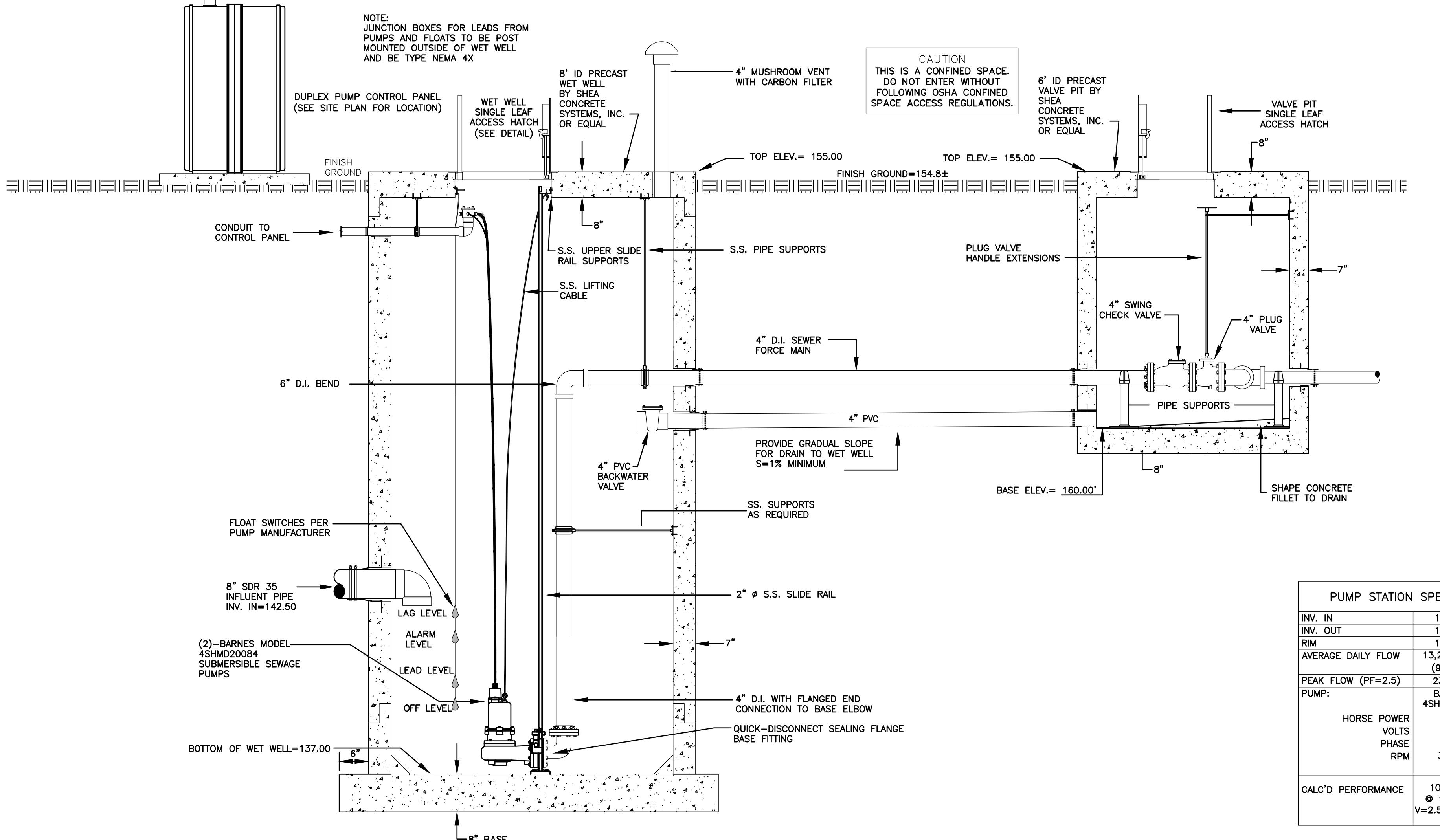
CONSTRUCTION DETAILS		
DATE OF FILING		
DATE OF HEARING		
DATE OF APPROVAL		
SCALE:	AS SHOWN	
PROJECT NO.	NEX-2200136	



**BROOKVIEW HEIGHTS  
DEFINITIVE SUBDIVISION PLAN  
DHB HOMES, LLC  
LAND OFF WASHINGTON STREET  
METHUEN, MASSACHUSETTS**



**PLAN**  
NOT TO SCALE



**SECTION**  
NOT TO SCALE

**GENERAL NOTES:**

1. ANY DISCREPANCIES OR UNUSUAL CONDITIONS SHALL BE REPORTED TO THE DESIGNER BEFORE CONTINUING WITH THE INSTALLATION.
2. DO NOT SCALE FROM DRAWING. IF A REQUIRED DIMENSION IS NOT GIVEN, CONSULT THE ENGINEER.
3. FORCE MAIN TO BE DUCTILE IRON (D.I.).
4. PUMP STATION TO BE 8'Ø MANHOLE WITH PRECAST COVER PLACED AT FINISH GRADE TO ACCEPT DOOR.
5. PUMP STATION AND ALL JOINTS TO BE SEALED AGAINST GROUND WATER INFILTRATION.
6. EMERGENCY GENERATOR TO BE PROVIDED. CONTRACTOR TO COORDINATE SPECIFICATIONS WITH ENGINEER.

**DESIGN CALCULATIONS:**

**DAILY FLOW:**

30 4-BEDROOM DWELLINGS (110GPD/BEDROOM) = 13,200 GPD

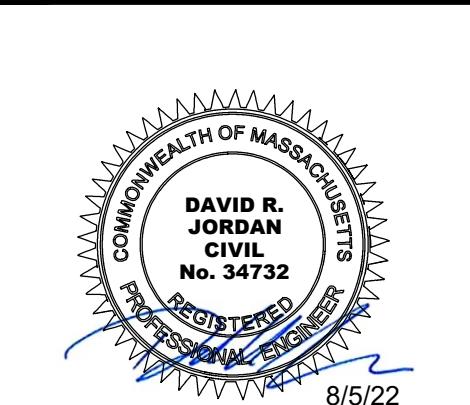
**PUMP SYSTEM SPECIFICATIONS:**

1. USE PUMP MANUFACTURER'S RECOMMENDED FLOAT SWITCHED AND CONTROLS TO CONTROL DUPLEX PUMP OPERATION AS FOLLOWS:
  - 1) PUMP OFF
  - 2) LEAD PUMP ON
  - 3) ALARM ON
  - 4) LAG PUMP ON
2. THE LEAD/LAG PUMPS SHALL AUTOMATICALLY SWITCH OPERATION. AUDIO AND VISUAL ALARM TO BE INSTALLED AT CONTROL PANEL. CONTROLS AND DUPLEX PANEL SHALL BE RATED AS NEMA 4.
3. PUMP STATION POWER, CONTROLS, ALARM & VENT LOCATIONS TO BE COORDINATED WITH THE ENGINEER.
4. CONTRACTOR TO FURNISH OWNER WITH TWO (2) OPERATION AND MAINTENANCE MANUALS PER PUMP MANUFACTURERS SPECIFICATIONS.

**GENERAL CONSTRUCTION NOTES:**

1. CONTRACTOR TO VERIFY INVERT OF INFLUENT SEWER LINE PRIOR TO CONSTRUCTION.
2. OSHA CONFINED SPACE REGULATIONS TO BE ADHERED TO PRIOR TO ENTERING PUMP STATION.
3. STAINLESS STEEL GUIDE RAIL SYSTEM TO HAVE INTERMEDIATE SUPPORTS LOCATED APPROXIMATELY 6' O.C. OR AS RECOMMENDED BY PUMP MANUFACTURER TO MAINTAIN STRAIGHT & RIGID ALIGNMENT.
4. PRECAST CONCRETE WET WELL AND VALVE PIT TO MEET OR EXCEED:
  - A. REQUIREMENTS OF ASTM C-478 AND HS20-44 LOADING.
  - B. CONCRETE COMPRESSIVE STRENGTH = 4,000PSI @ 28 DAYS
  - C. DOWNSUPPORTS WITH 1/2" THICKNESS
  - D. OUTSIDE SURFACE TO BE BITUMINOUS COATED
  - E. STRUCTURE TO BE PLACED ON 12" MINIMUM COMPACTED LAYER OF 3/4" CRUSHED STONE OR GRAVEL (MIN 95% MODIFIED PROCTOR).
  - F. SUBGRADE MATERIAL TO BE FIRM AND FREE OF ORGANIC AND OTHER DELETERIOUS MATERIAL
5. CHECK VALVES TO BE SWING-FLEX VALVE WITH DUCTILE IRON BODY AS MANUFACTURED BY VALMATIC OR APPROVED EQUAL. SWING CHECK TO HAVE TOP MOUNTED ACCESS PORT FOR MAINTENANCE PURPOSES. PLUG VALVES TO BE CAST IRON ECCENTRIC PLUG VALVES CONFORMING TO AWWA C509 AS MANUFACTURED BY VALMATIC OR APPROVED EQUAL. BOTH CHECK VALVE AND PLUG VALVE TO BE FLANGED IN ACCORDANCE WITH ANSI B16.1 CLASS 125 AS WELL AS UL/PM APPROVED.
6. ALL PIPE CONNECTIONS TO PRECAST CONCRETE STRUCTURE TO BE KOR-N-SEAL FLEXIBLE BOOTS OR EQUAL AS APPROVED BY ENGINEER.
7. PIPE SUPPORTS IN VALVE PIT TO BE SADDLE TYPE (MODEL C02) SUPPORTS WITH NEOPRENE LINER TO ENSURE TIGHT FIT AS MANUFACTURED BY MATERIAL RESOURCES INC. OF HILLSBORO, OREGON OR APPROVED EQUAL.
8. USE NON-SHRINK GROUT BETWEEN BOOT AND 4" D.I. DRAIN AT WET WELL AND VALVE PIT LOCATIONS.
9. A NATURAL GAS FIRED EMERGENCY GENERATOR WITH AN AUTOMATIC TRANSFER SWITCH SHALL BE PROVIDED.
10. RUN TIME METERS SHALL BE INSTALLED ON THE MOTOR CONTROL OF EACH PUMP.
11. ALL ELECTRICAL EQUIPMENT IN THE WETWELL SHALL BE EXPLOSION PROOF AND CORROSION RESISTANT.

<b>PUMP STATION SPECS</b>	
INV. IN	142.05
INV. OUT	149.00
RIM	155.00
AVERAGE DAILY FLOW	13,200 GPD (9 GPM)
PEAK FLOW (PF=2.5)	23 GPM
PUMP:	BARNES 45HV20082
HORSE POWER	20
VOLTS	230
PHASE	3
RPM	3,450
CALC'D PERFORMANCE	100 GPM @ 98' TDH V=2.55 FT/SEC



<b>REVISIONS</b>		
1	REVISE PER CITY COMMENTS	8/2/24
NO.	REVISION	DATE
MARCH 6, 2024		
DRAWN/DESIGN BY	CHECKED BY	
GMP	DRJ	

**METHUEN COMMUNITY  
DEVELOPMENT BOARD**

DATE OF FILING

DATE OF HEARING

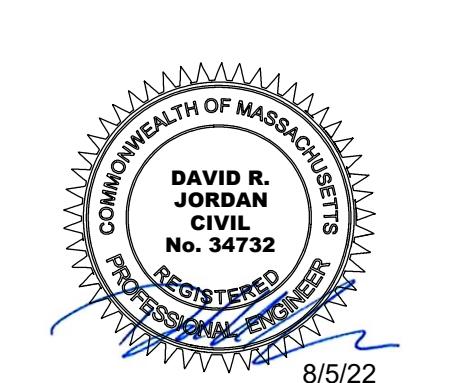
DATE OF APPROVAL

**PUMP STATION  
DETAILS**

SCALE: AS SHOWN

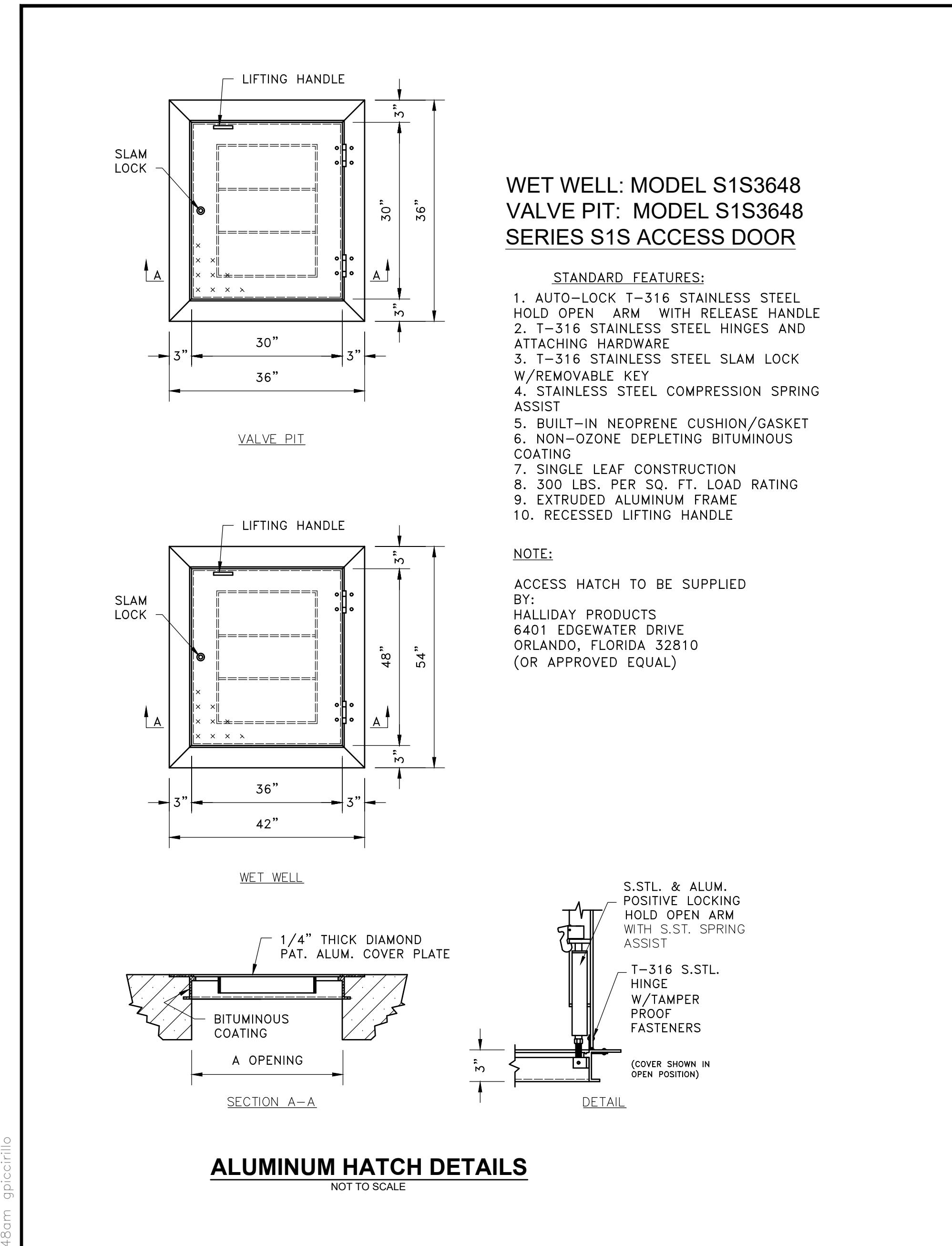
PROJECT NO. NEX-2200136

**BROOKVIEW HEIGHTS  
DEFINITIVE SUBDIVISION PLAN  
DHB HOMES, LLC  
LAND OFF WASHINGTON STREET  
METHUEN, MASSACHUSETTS**

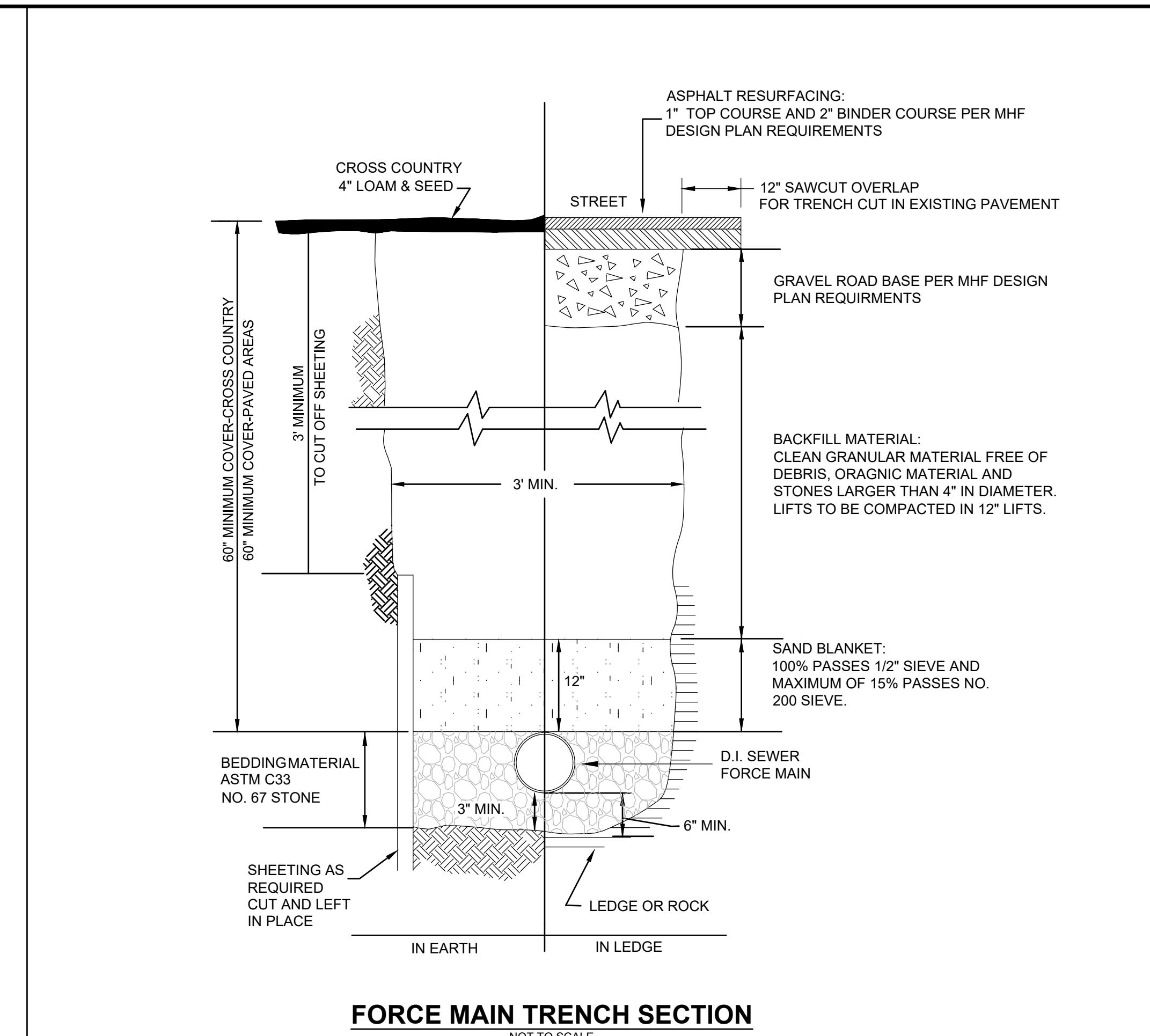


REVISIONS		
1	REVISE PER CITY COMMENTS	8/2/24
NO.	REVISION	DATE
MARCH 6, 2024		
DRAWN/DESIGN BY	GMP	CHECKED BY DRJ

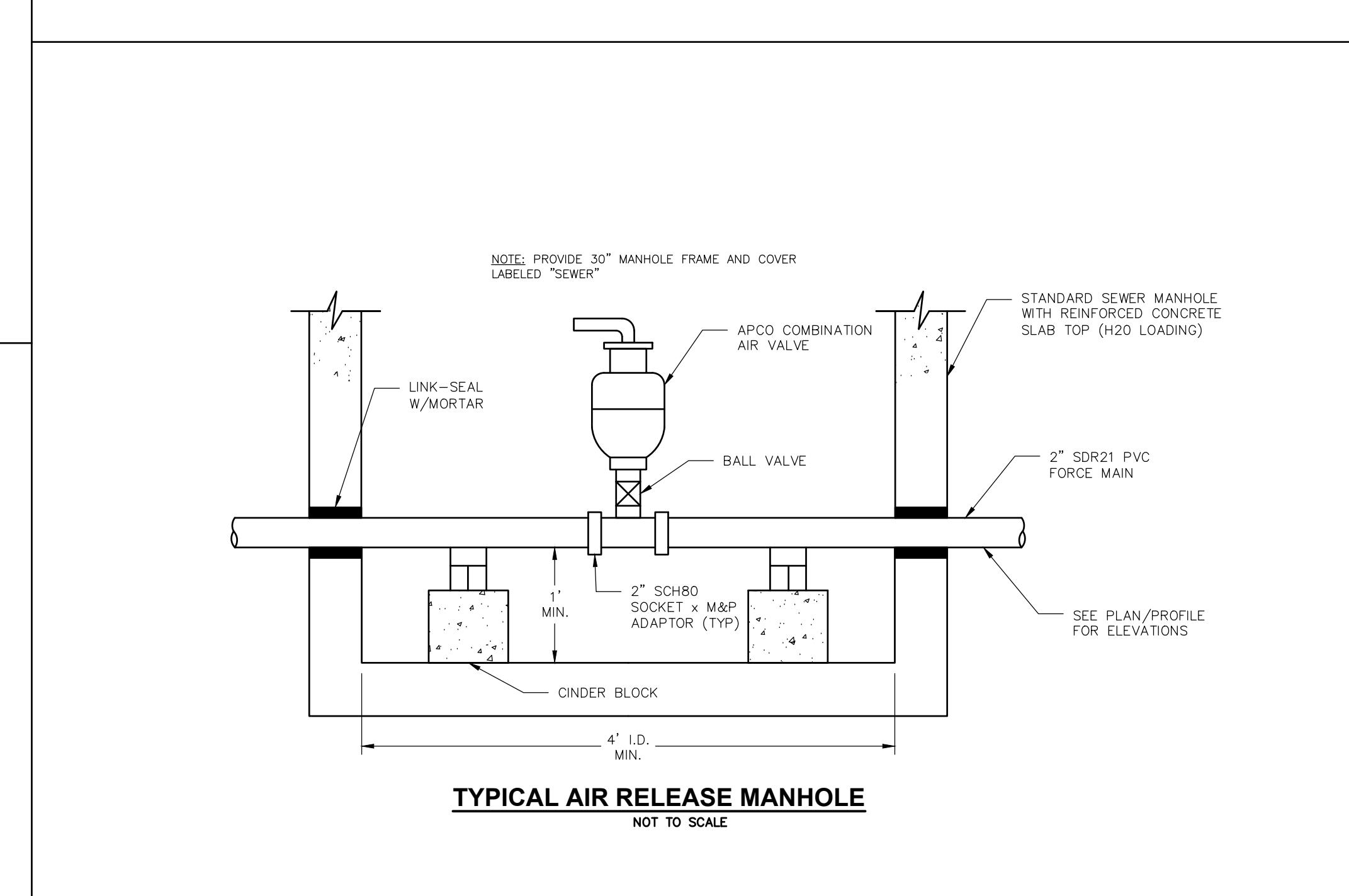
PUMP STATION DETAILS	
DATE OF FILING	
DATE OF HEARING	
DATE OF APPROVAL	
SCALE:	AS SHOWN
PROJECT NO.	NEX-2200136



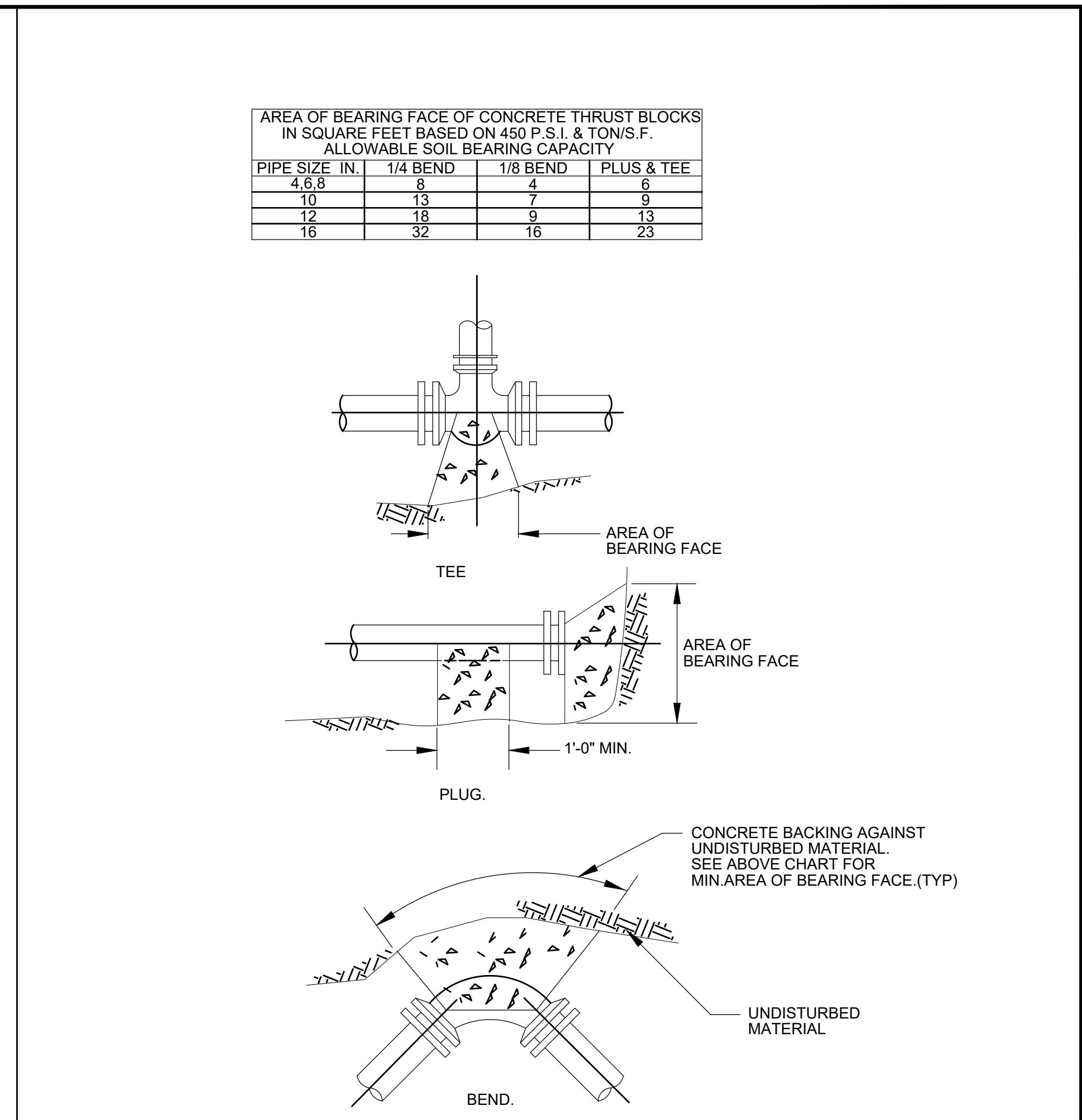
**ALUMINUM HATCH DETAILS**  
NOT TO SCALE



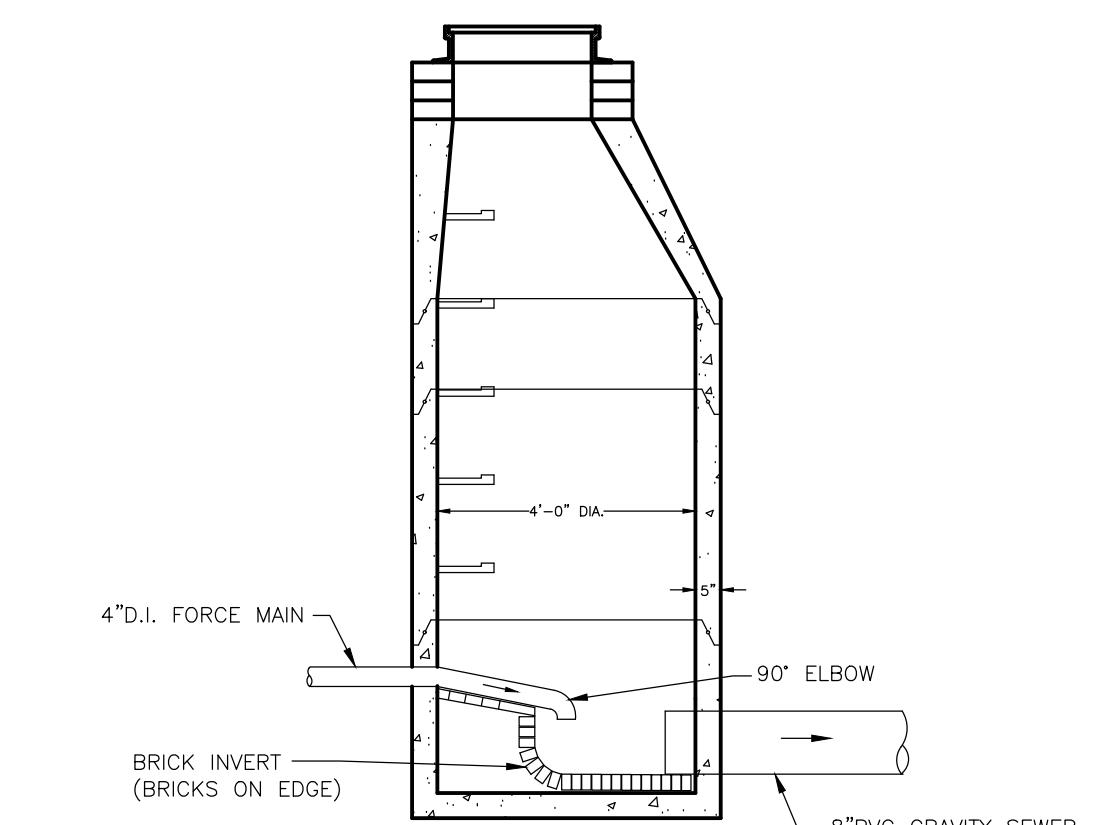
**FORCE MAIN TRENCH SECTION**  
NOT TO SCALE



**TYPICAL AIR RELEASE MANHOLE**  
NOT TO SCALE



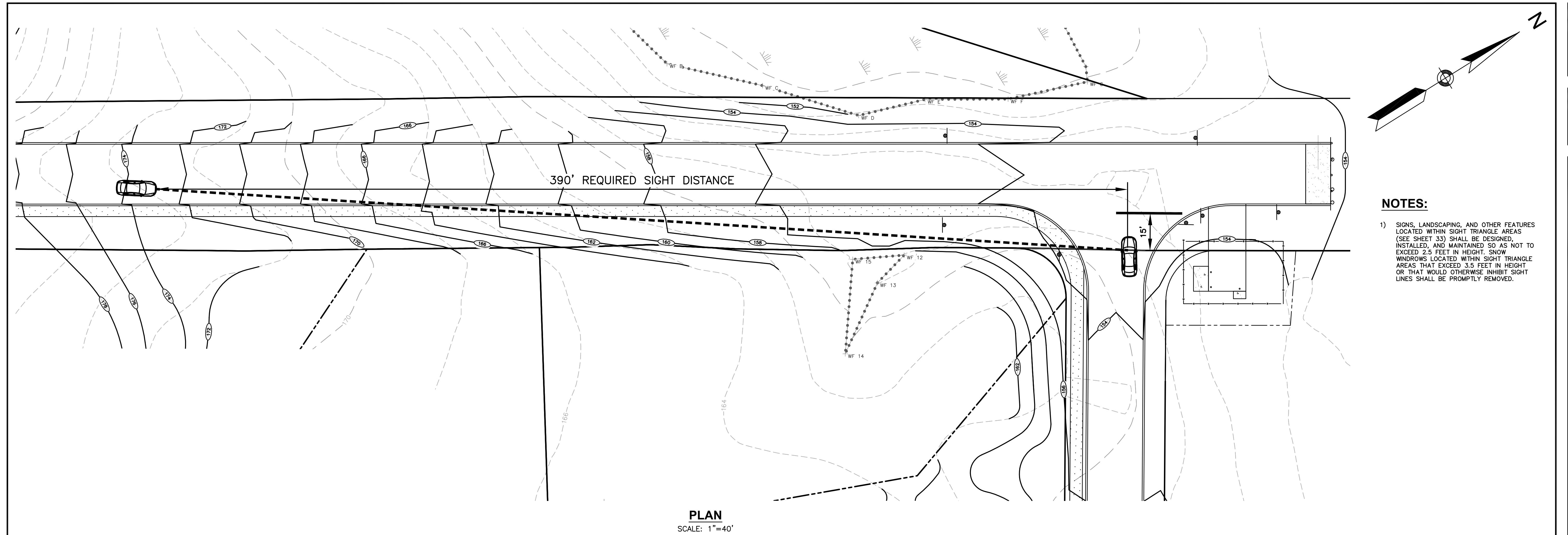
**TYPICAL CONCRETE BACKING**  
NOT TO SCALE



**FORCE MAIN CONNECTION  
TO GRAVITY SEWER**  
NOT TO SCALE

**METHUEN COMMUNITY  
DEVELOPMENT BOARD**

DATE OF FILING	
DATE OF HEARING	
DATE OF APPROVAL	
SCALE:	AS SHOWN
PROJECT NO.	NEX-2200136



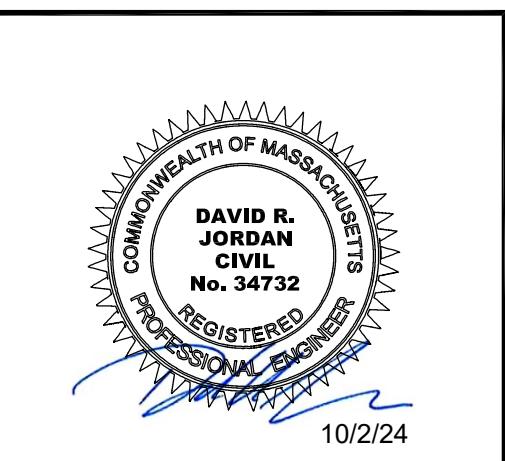
 | Engineering  
Design  
Planning  
Construction Management

**603.893.0720**

PREPARED FOR  
DHB HOMES, LLC  
25 BUTTRICK ROAD, UNIT A1  
LONDONDERRY, NH 03053

**BROOKVIEW HEIGHTS  
DEFINITIVE SUBDIVISION PLAN  
DHB HOMES, LLC**

**LAND OFF WASHINGTON STREET  
METHUEN, MASSACHUSETTS**



REVISIONS		
1	ADD SHEET	9/26/24
NO.	REVISION	DATE
MARCH 6. 2024		
DRAWN/DESIGN BY		CHECKED BY
GMP		DR.J

# SIGHT LINE PLAN

SCALE: 1"=40' HORIZ.  
1"=8' VERT.

NEX-2200136

