

LOCUS MAP  
SCALE: 1" = 1,000'

# SITE DEVELOPMENT PLANS FOR TACO JOHN'S 436 BROADWAY METHUEN, MA 01844

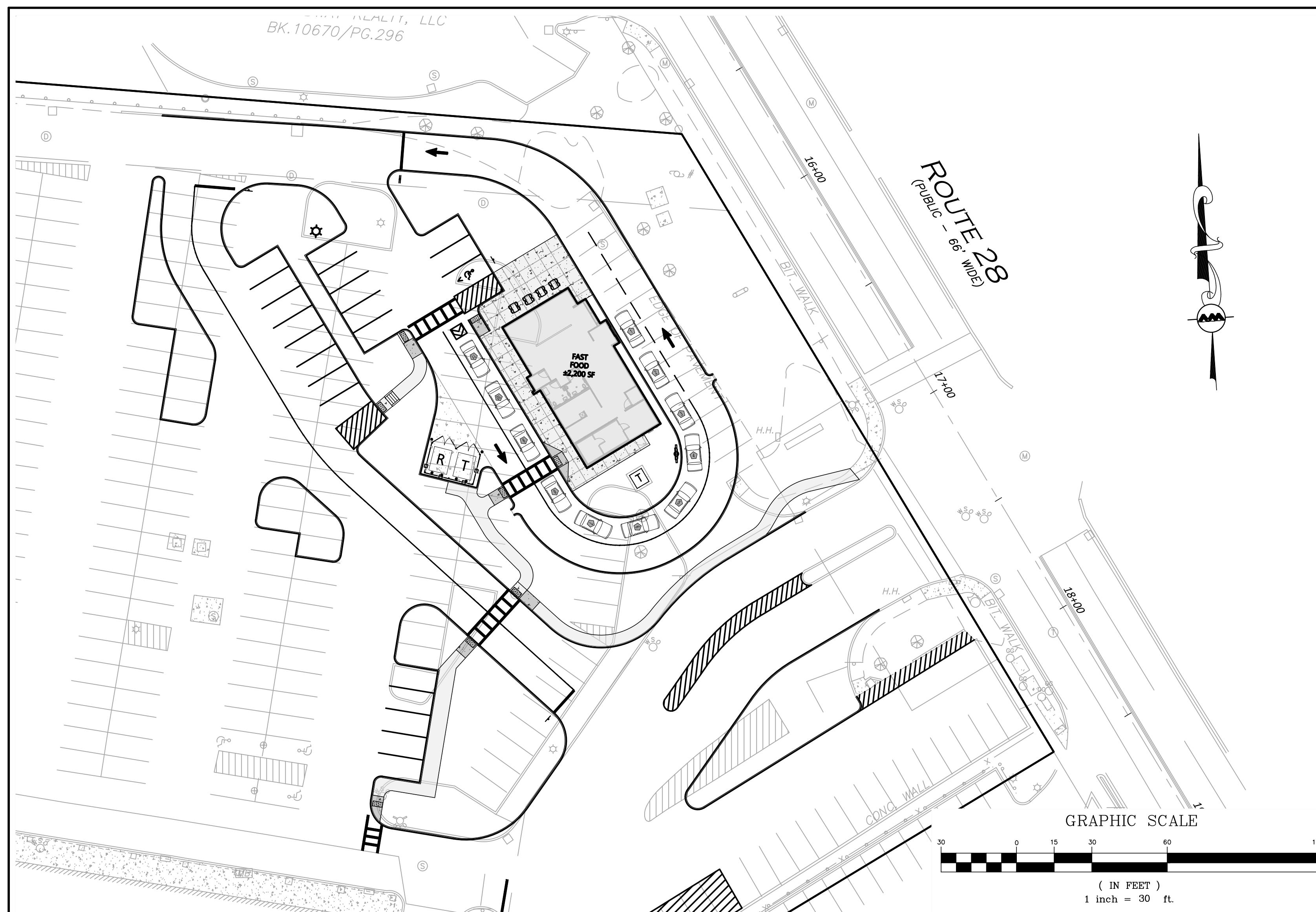
APPLICANT/OWNER:  
SHRI SWAMIINE LLC  
PO BOX 2022  
DANVERS, MA 01923

CIVIL ENGINEER:  
ALLEN & MAJOR ASSOCIATES, INC.  
400 HARVEY ROAD  
MANCHESTER, NH 03103

SURVEYOR:  
ALLEN & MAJOR ASSOCIATES, INC.  
100 COMMERCE WAY  
WOBURN, MA 01801



CITY OF METHUEN APPROVAL STAMP



PREPARED BY:



ALLEN & MAJOR  
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ISSUED FOR SITE PLAN REVIEW: MARCH 31, 2023

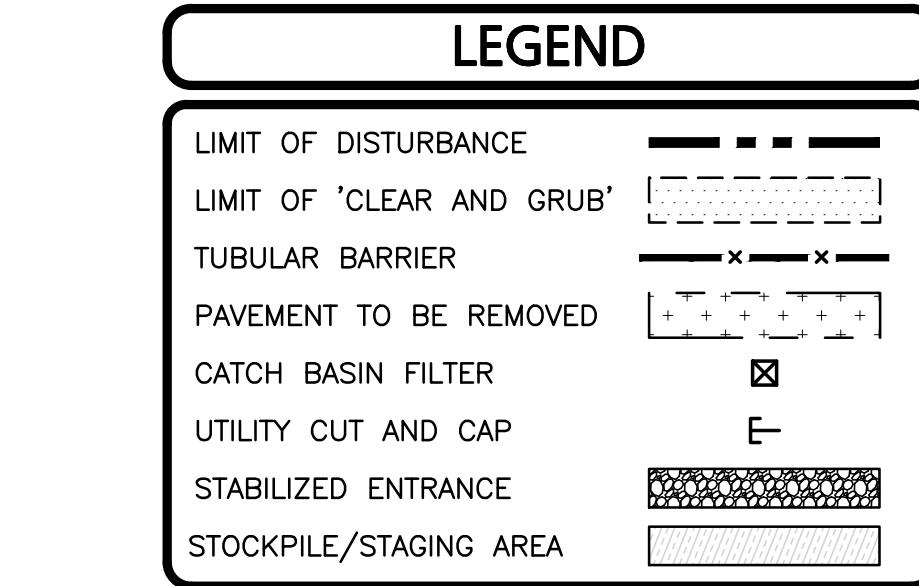
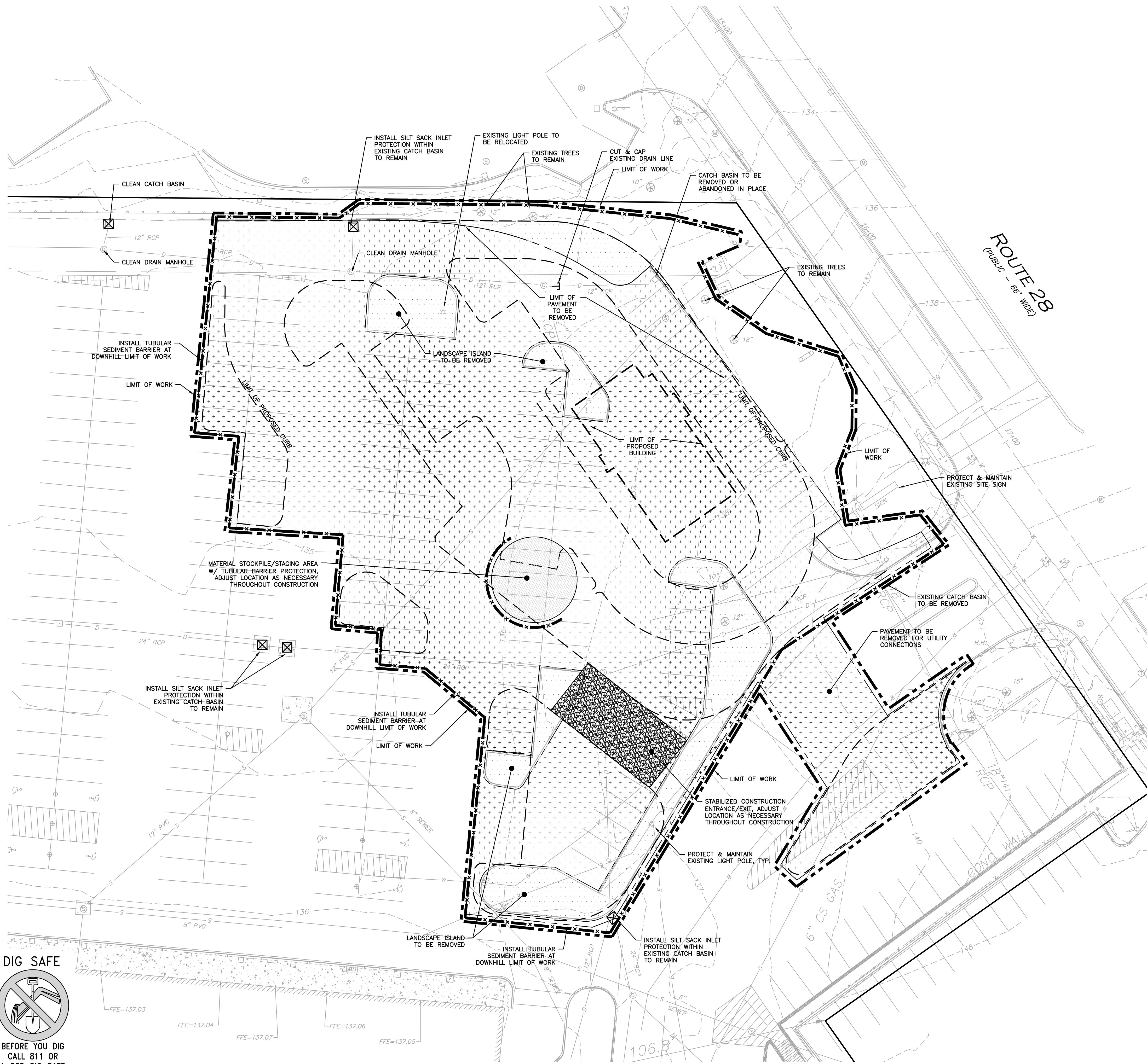
REVISION 1: MAY 26, 2023

REVISION 2: JUNE 27, 2023

REVISION 3: JANUARY 2, 2024

LIST OF DRAWINGS					
DRAWING TITLE	SHEET NO.	ISSUED	REV1	REV2	REV3
EXISTING CONDITIONS PLAN	1	03-31-23	05-25-23	06-27-23	-
SITE PREPARATION PLAN	C-100	03-31-23	05-26-23	06-27-23	01-02-24
OVERALL SITE PLAN	C-101	03-31-23	05-26-23	06-27-23	01-02-24
LAYOUT & MATERIALS PLAN	C-102	03-31-23	05-26-23	06-27-23	01-02-24
GRADING & DRAINAGE PLAN	C-103	03-31-23	05-26-23	06-27-23	01-02-24
UTILITIES PLAN	C-104	03-31-23	05-26-23	06-27-23	01-02-24
TRUCK TURNING PLAN	C-105	03-31-23	05-26-23	06-27-23	-
DETAILS	C-501	03-31-23	05-26-23	-	-
DETAILS	C-502	03-31-23	05-26-23	-	-
DETAILS	C-503	03-31-23	05-26-23	06-27-23	01-02-24
DETAILS	C-504	03-31-23	05-26-23	06-27-23	01-02-24
LANDSCAPING PLAN	L-101	03-31-23	05-26-23	-	01-02-24
LANDSCAPING DETAILS	L-501	03-31-23	05-26-23	-	-





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3 01-02-24 REVISION 3  
2 06-27-23 REVISION 2  
1 05-26-23 REVISION 1  
REV DATE DESCRIPTION

APPLICANT/OWNER:  
SHRI SWAMINE LLC  
PO BOX 2022  
DANVERS, MA 01923

PROJECT:  
TACO JOHN'S  
436 BROADWAY  
THE VILLAGE MALL  
METHUEN, MA

PROJECT NO. 3115-01A DATE: 03/31/2023

SCALE: 1" = 20' DWG. NAME: C-3115-01A

DESIGNED BY: JRG CHECKED BY: BDJ

PREPARED BY:  
  
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DRAWING TITLE: SITE PREPARATION PLAN SHEET NO. C-100  
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## LEGEND

PROPERTY LINE
SIGN
BOLLARD
BUILDING
BUILDING ARCHITECTURE
CURB
PARKING STRIPING
ROADWAY STRIPING
TRAFFIC ARROWS
HEAVY DUTY CONCRETE
BITUMINOUS SIDEWALK
CONCRETE SIDEWALK
ADA ACCESSIBLE RAMP
ADA DET. WARNING SURFACE
SNOW STORAGE
SETBACK LINE
SAW-CUT LINE
PARKING COUNT
WOOD FENCE
TRANSFORMER
PRECAST CONCRETE CURB
MONOLITHIC CONCRETE CURB
VERTICAL GRANITE CURB

## ZONING SUMMARY TABLE HIGHWAY BUSINESS DISTRICT (BH)

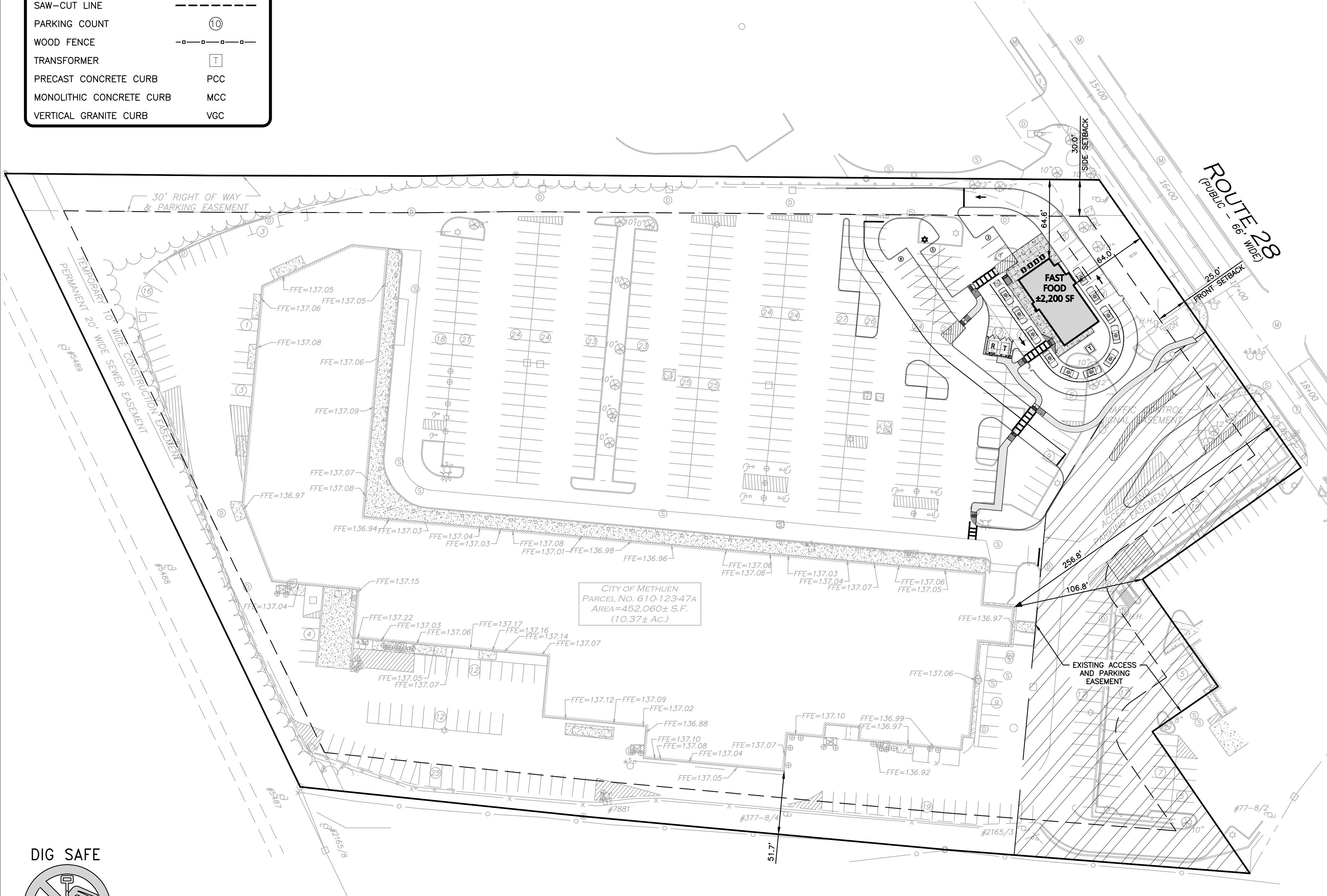
ITEM	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA	10,000 SF	452,060± SF	452,060± SF
MINIMUM FRONTAGE	100 FT	287.0± FT	287.0± FT
MINIMUM LOT WIDTH	100 FT	287.0± FT	287.0± FT
MINIMUM FRONT YARD SETBACK	25 FT	256.8± FT	64.0± FT
MINIMUM SIDE YARD SETBACK	30 FT	106.8± FT	64.6± FT
MINIMUM REAR YARD SETBACK	30 FT	51.7± FT	51.7± FT
MAXIMUM NUMBER OF STORIES	3	1	1
MAXIMUM BUILDING HEIGHT	40 FT	EXISTING	EXISTING
MAXIMUM LOT COVERAGE	35%	21.5%	22.0%

### NOTES:

1. A SPECIAL PERMIT IS NEEDED FROM THE COMMUNITY DEVELOPMENT BOARD FOR A DRIVE-THROUGH RESTAURANT USE.
2. THE MAXIMUM LOT COVERAGE WAS CALCULATED BY DIVIDING THE BUILDING FOOTPRINT BY THE LOT AREA.

### NOTES:

1. ALL CURB RADII SHALL BE 3' UNLESS OTHERWISE NOTED.
2. PARKING DIMENSIONS ARE TAKEN FROM THE FACE OF CURB UNLESS OTHERWISE NOTED.
3. CONSTRUCTION DURING WET WEATHER OR WINTER CONDITIONS IS TO BE ANTICIPATED AND PROVISIONS TO ADEQUATELY ADDRESS THESE CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
4. ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS INCLUDING THE CITY OF METHUEN, MADOT, MADEP, MUTCD, AND AASHTO.
5. WRITTEN DIMENSIONS ON THIS PLAN TAKE PREFERENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN THE EVENT OF A CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWINGS AND/OR SPECIFICATIONS OR CONDITIONS, THE ENGINEER SHALL BE NOTIFIED BY THE CONTRACTOR. ALL SITE ITEMS SHALL BE LAID OUT AND AS BUILT BY A LICENSED LAND SURVEYOR.
6. EXISTING CONDITIONS WERE COMPILED FROM AN ON THE GROUND SURVEY PERFORMED BY ALLEN & MAJOR ASSOCIATES, INC IN FEBRUARY OF 2023, AS WELL AS AVAILABLE RECORD PLANS OBTAINED FROM THE CITY OF METHUEN, MA AND OTHER SOURCES.
7. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANY, ANY GOVERNING PERMITTING AUTHORITY, AND "DIGSAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK. THE CONTRACTOR SHALL ALSO CONTACT THE CITY OF METHUEN, MA DEPARTMENT OF PUBLIC WORKS AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION WORK TO REQUEST EXACT FIELD LOCATION OF LOCAL UTILITIES.
8. THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.



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SHARED PARKING SUMMARY TABLE			
	REQUIRED PARKING	EXISTING PARKING	PROPOSED PARKING
TENANT 1: RESTAURANT (RESTAURANT: 6,335 S.F.) (1 PER TABLE OF 4 SEATS → 1 x (*80 SEATS/4) = 20.0) + (1 PER 2 EMPLOYEES ON MAXIMUM SHIFT → 1 x (*8 EMP./2) = 4) = 24.0	24.0	-	-
TENANT 2: DOLLAR TREE (RETAIL: 11,482 S.F.) (1 PER 250 S.F. → 1 x (11,482 S.F./250 S.F.) = 45.9) + (1 PER 2 EMPLOYEES ON MAXIMUM SHIFT → 1 x (*10 EMP./2) = 5) = 50.9	50.9	-	-
TENANT 3: WAREHOUSE (WAREHOUSE: 10,000 S.F.) (1 PER 1,200 S.F. → 1 x (10,000 S.F./1,200 S.F.) = 8.3	8.3	-	-
TENANT 4: FAMILY RENTALS FURNITURE (RETAIL: 2,719 S.F.) (1 PER 250 S.F. → 1 x (2,719 S.F./250 S.F.) = 10.9) + (1 PER 2 EMPLOYEES ON MAXIMUM SHIFT → 1 x (*6 EMP./2) = 3) = 13.9	13.9	-	-
TENANT 5: BEAUTACIOUS NAILS (OFFICE: 1,915 S.F.) (1 PER 300 S.F. → 1 x (1,915 S.F./300 S.F.) = 6.4	6.4	-	-
TENANT 6: HARROWS CHICKEN PIES (RESTAURANT: 1,873 S.F.) (1 PER TABLE OF 4 SEATS → 1 x (*24 SEATS/4) = 6.0) + (1 PER 2 EMPLOYEES ON MAXIMUM SHIFT → 1 x (*8 EMP./2) = 4) = 10.0	10.0	-	-
TENANT 7: CHINA BUFFET (RESTAURANT: 7,514 S.F.) (1 PER TABLE OF 4 SEATS → 1 x (*9 SEATS/4) = 24.0) + (1 PER 2 EMPLOYEES ON MAXIMUM SHIFT → 1 x (*16 EMP./2) = 8) = 32.0	32.0	-	-
TENANT 8: WORK OUT WORLD (OTHER INSTITUTION: 21,361 S.F.) (1 PER 600 S.F. → 1 x (21,361 S.F./600 S.F.) = 35.6	35.6	-	-
TENANT 9: AMERICAN CABINET (RETAIL: 4,000 S.F.) (1 PER 250 S.F. → 1 x (4,000 S.F./250 S.F.) = 16.0) + (1 PER 2 EMPLOYEES ON MAXIMUM SHIFT → 1 x (*8 EMP./2) = 4) = 20.0	20.0	-	-
TENANT 10: BAY STATE EYE (OFFICE: 2,000 S.F.) (1 PER 300 S.F. → 1 x (2,000 S.F./300 S.F.) = 6.7	6.7	-	-
TENANT 11: DR. LYONS (OFFICE: 2,000 S.F.) (1 PER 300 S.F. → 1 x (2,000 S.F./300 S.F.) = 6.7	6.7	-	-
TENANT 12: MAYA GOURMET (RESTAURANT: 1,571 S.F.) (1 PER TABLE OF 4 SEATS → 1 x (*24 SEATS/4) = 6.0) + (1 PER 2 EMPLOYEES ON MAXIMUM SHIFT → 1 x (*8 EMP./2) = 4) = 10.0	10.0	-	-
TENANT 13: OFFICE (OFFICE: 400 S.F.) (1 PER 300 S.F. → 1 x (400 S.F./300 S.F.) = 1.3	1.3	-	-
TENANT 14: BLUSH SPA (OFFICE: 1,350 S.F.) (1 PER 300 S.F. → 1 x (1,350 S.F./300 S.F.) = 4.5	4.5	-	-
TENANT 15: FREEDOM TOBACCO (RETAIL: 1,520 S.F.) (1 PER 250 S.F. → 1 x (1,520 S.F./250 S.F.) = 6.1) + (1 PER 2 EMPLOYEES ON MAXIMUM SHIFT → 1 x (*6 EMP./2) = 3) = 9.1	9.1	-	-
TENANT 16: AVAILABLE (RETAIL: 3,913 S.F.) (1 PER 250 S.F. → 1 x (3,913 S.F./250 S.F.) = 15.7) + (1 PER 2 EMPLOYEES ON MAXIMUM SHIFT → 1 x (*10 EMP./2) = 5) = 20.7	20.7	-	-
TENANT 17: MERRIMACK VALLEY CREDIT UNION (OFFICE: 4,000 S.F.) (1 PER 300 S.F. → 1 x (4,000 S.F./300 S.F.) = 13.3	13.3	-	-
TENANT 18: JO-ANN FABRICS (RETAIL: 4,000 S.F.) (1 PER 250 S.F. → 1 x (4,000 S.F./250 S.F.) = 16.0) + (1 PER 2 EMPLOYEES ON MAXIMUM SHIFT → 1 x (*10 EMP./2) = 5) = 21.0	21.0	-	-
TENANT 19: PROPOSED FAST FOOD RESTAURANT (DRIVE-THROUGH RESTAURANT: 2,200 S.F.) (1 PER 250 S.F. → 1 x (2,200 S.F./250 S.F.) = 8.8) + (1 PER 2 EMPLOYEES ON MAXIMUM SHIFT → 1 x (*12 EMP./2) = 6) = 14.8	14.8	-	-
TOTAL PARKING REQUIRED BASED ON INDIVIDUAL USES: 309.2	-	-	-
TOTAL PARKING PROVIDED: 562	562	478	

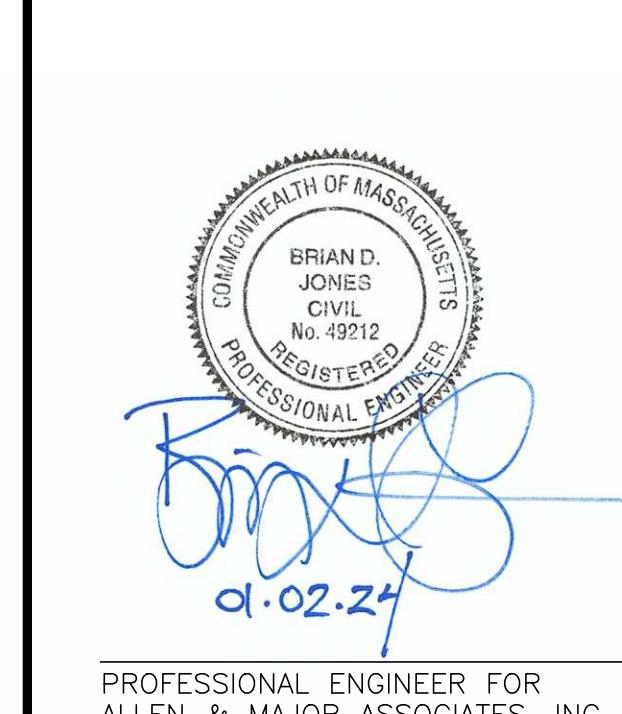
### NOTES:

1. TENANT NAMES & SQUARE FOOTAGE VALUES WERE PROVIDED TO ALLEN & MAJOR ASSOCIATES BY THE CLIENT.
2. \*\* ALLEN & MAJOR ASSOCIATES APPROXIMATED VALUES.

### ADA SPACES REQUIRED:

(401-500) TOTAL PARKING SPACES PROVIDED, 9 SHALL BE THE MINIMUM ADA PARKING PROVIDED, 2 SPACES BEING VAN ACCESSIBLE.

PROVIDED: 10 SPACES, 6 BEING VAN ACCESSIBLE.



PROFESSIONAL ENGINEER FOR  
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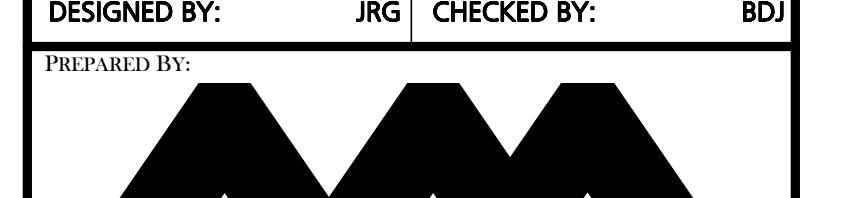
3	01-02-24	REVISION 3
2	06-27-23	REVISION 2
1	05-26-23	REVISION 1
REV	DATE	DESCRIPTION

APPLICANT/OWNER:  
SHRI SWAMINE LLC  
PO BOX 2022  
DANVERS, MA 01923

PROJECT:  
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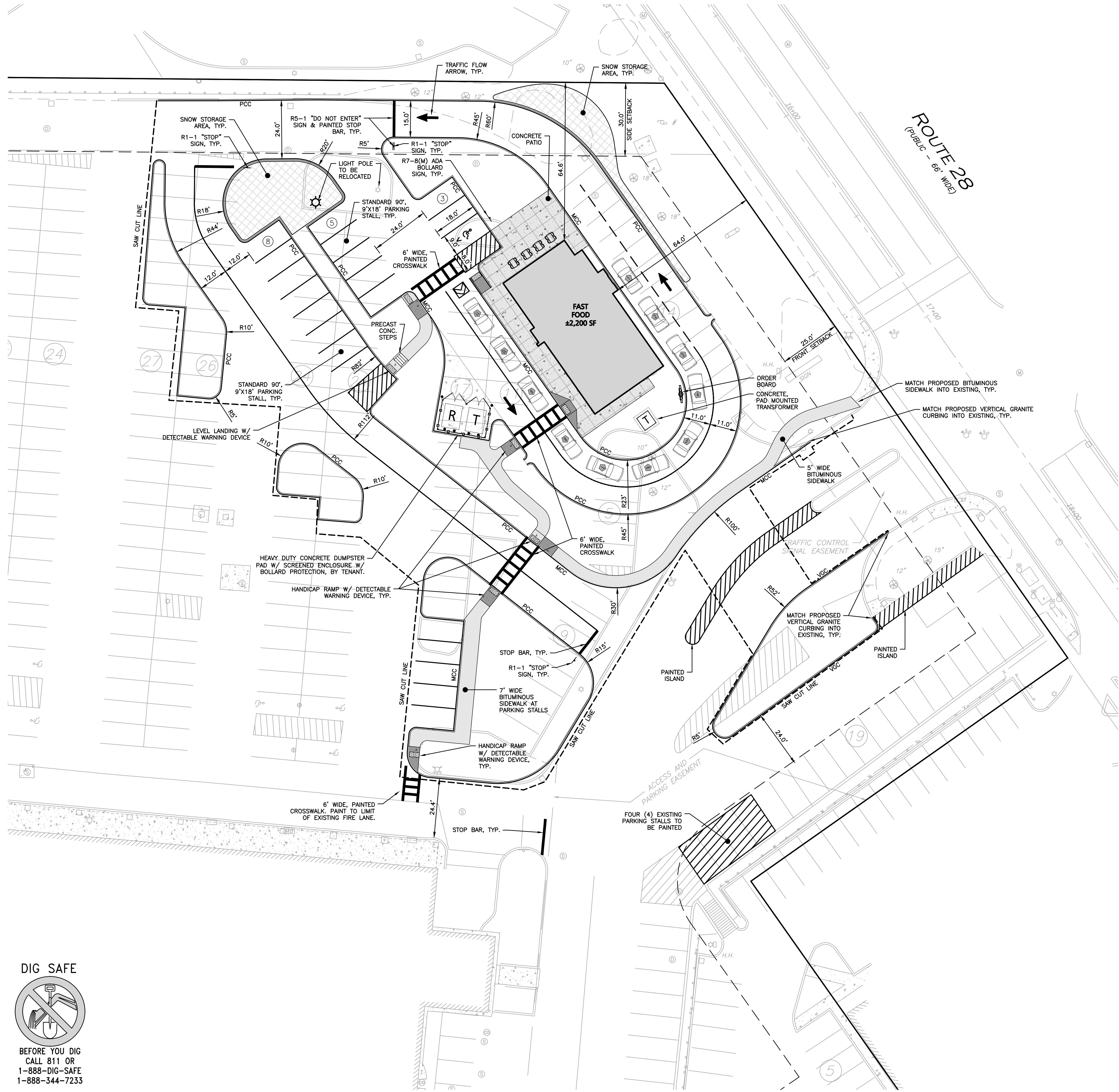
PROJECT NO. 3115-01A DATE: 03/31/2023  
SCALE: 1" = 50' DWG. NAME: C-3115-01A

DESIGNED BY: JRG CHECKED BY: BDJ

PREPARED BY:  
  
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No. 49212  
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PROFESSIONAL ENGINEER  
BOSTON, MASSACHUSETTS  
01-02-24

PROFESSIONAL ENGINEER FOR  
ALLEN & MAJOR ASSOCIATES, INC.

3 01-02-24 REVISION 3  
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PROJECT NO. 3115-01A DATE: 03/31/2023

SCALE: 1" = 20' DWG. NAME: C-3115-01A

DESIGNED BY: JRG CHECKED BY: BDJ

PREPARED BY:



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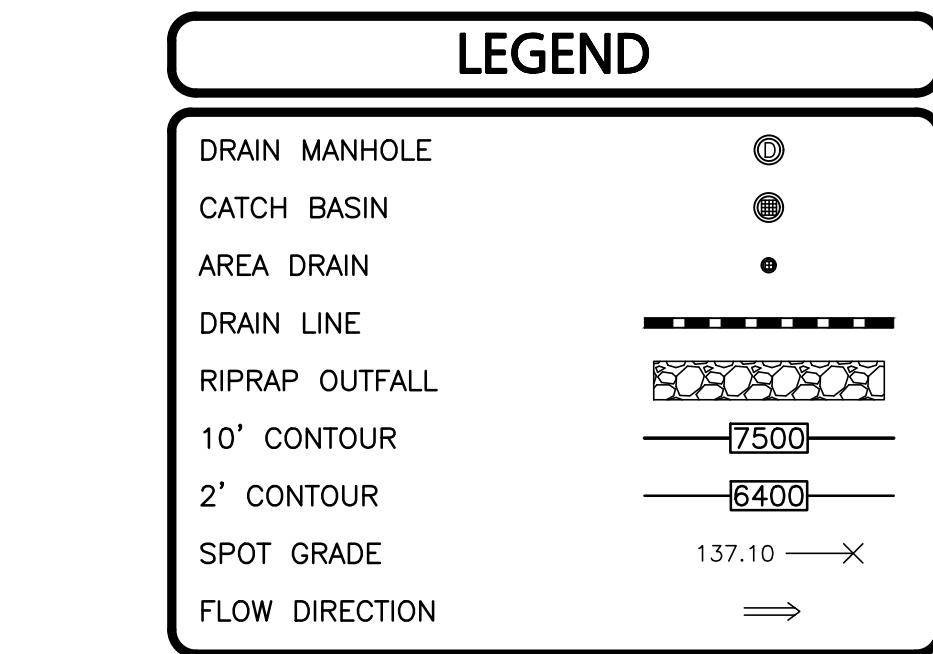
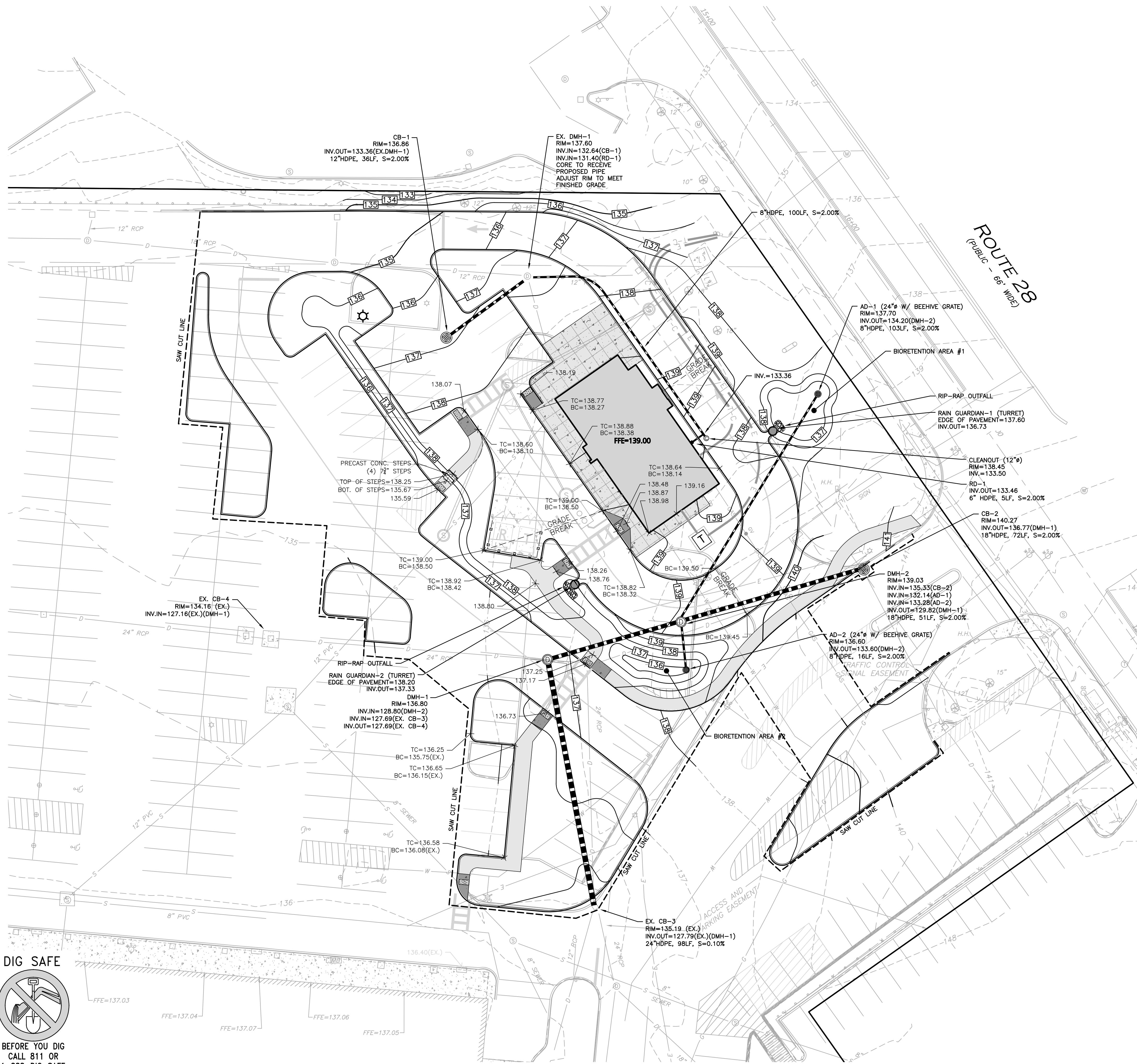
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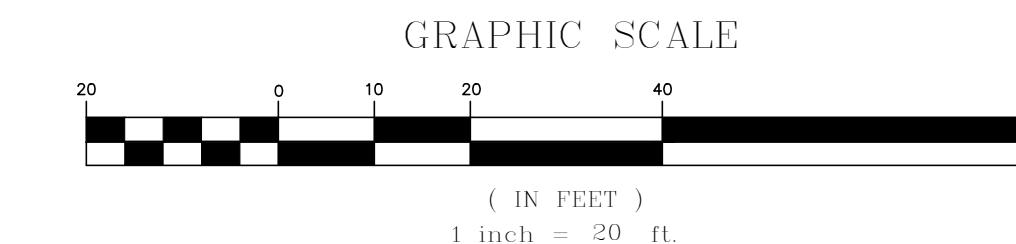
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DRAWING TITLE: LAYOUT & MATERIALS PLAN SHEET NO. C-102



**NOTES:**

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- VERTICAL DATUM IS NAVD88. EXISTING GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT. PROPOSED GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT.
- ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.
- PIPE DIMENSIONS ARE MEASURED FROM THE CENTER OF THE STRUCTURE.
- ROOF DRAIN LOCATIONS TO BE BASED ON FINAL BUILDING PLANS. CONNECTION POINTS SHALL BE AS SHOWN HEREON.
- IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
- ALL STORM DRAIN MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT AND SHALL HAVE TRAFFIC BEARING RING & COVERS, H-20 MINIMUM.
- THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE GENERAL N.P.D.E.S. PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
- CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ENSURE A SMOOTH FIT AND CONTINUOUS GRADE.
- CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
- ALL DRAINAGE SHALL CONFORM TO LOCAL REQUIREMENTS.
- EXISTING DRAINAGE STRUCTURES ARE TO BE CLEANED & INSPECTED TO ENSURE THEY FUNCTION AS DESIGNED.
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01-02-24

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### UTILITY NOTES:

1. A MINIMUM OF 10 FEET CLEAR HORIZONTALLY SHALL BE MAINTAINED BETWEEN WATER MAINS AND SANITARY SEWER MAINS AND/OR STORM DRAINS. WHENEVER CONDITIONS PREVENT A LATERAL SEPARATION OF 10 FEET TO A WATER MAIN, THE WATER MAIN SHALL BE LAID IN A SEPARATE TRENCH AND THE DIFFERENCE IN ELEVATION BETWEEN THE WATER MAIN AND THE SEWER MAIN SHALL BE AT LEAST 18 INCHES.
2. IN THE CASE THAT WATER MAINS CROSS SANITARY SEWER MAINS AND/OR STORM DRAINS AND ARE SEPARATED BY LESS THAN 18" OF VERTICAL CLEARANCE, THE CROSSING PIPES SHALL BE ENCASED IN CONCRETE OR SLEEVED IN A LARGER DIAMETER PIPE FOR A DISTANCE OF 10 FEET ON EITHER SIDE OF THE CROSSING.
3. THE CONTRACTOR SHALL REFER TO ARCHITECT'S PLANS AND SPECIFICATIONS FOR ACTUAL LOCATION OF ALL ROOF DRAIN LATERALS AND UTILITY ENTRANCES TO INCLUDE SANITARY SEWER LATERALS, DOMESTIC AND FIRE PROTECTION WATER SERVICE, ELECTRIC, TELEPHONE, AND GAS SERVICE. THE CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND COORDINATE WITH THE PROPER AGENCY THE LOCATION AND SCHEDULING OF CONNECTIONS WITH THEIR FACILITIES.
4. WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO THE ENGINEER FOR RESOLUTION.

5. ABANDONED EXISTING UTILITIES AND UTILITIES TO BE ABANDONED SHALL EITHER BE ABANDONED IN PLACE AS NOTED OR SHALL BE REMOVED AND DISPOSED OF AS SPECIFIED. ALL UTILITIES SCHEDULED FOR ABANDONMENT OR REMOVAL AND DISPOSAL MUST BE COORDINATED BY THE CONTRACTOR WITH THE RESPECTIVE UTILITY OWNER.

6. THE CONTRACTOR SHALL MAKE ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENTS OF NATURAL GAS, ELECTRIC, TELEPHONE AND ANY OTHER UTILITY BY THE UTILITY OWNER.

7. ALL WATER MAINS SHALL BE INSTALLED WITH A MINIMUM OF 5 FEET OF COVER AND A MAXIMUM OF 8 FEET OF COVER EXCEPT AS NOTED OR DETAILED OTHERWISE.

8. ALL WATER MAINS 3 INCHES AND LARGER SHALL BE CEMENT LINED DUCTILE IRON - CLASS 52, AND SHALL BE INSTALLED WITH APPROPRIATELY SIZED FITTINGS AND GATE VALVES.

9. DOMESTIC WATER SERVICES SHALL BE INSTALLED WITH APPROPRIATELY SIZED GATE, BOX AND TEE FITTINGS.

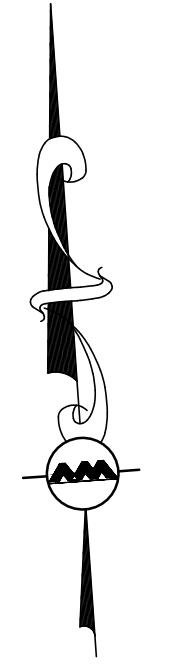
10. ALL WATER MAIN APPURTENANCES, MATERIALS, METHODS OF INSTALLATION AND TESTING REQUIREMENTS SHALL MEET OR EXCEED THE METHUEN WATER DEPARTMENT'S REQUIREMENTS.

11. GENERALLY, WATER MAIN FITTINGS, AND VALVES SHOWN ON THIS DRAWING ARE FOR INSTALLATION LOCATION PURPOSES. THE CONTRACTOR SHALL NOTE THAT NOT ALL FITTINGS AND VALVES ARE NOTED, SHOWN OR INDICATED.

12. LOCATION OF PROPOSED ELECTRICAL/COMMUNICATION SERVICE IS SCHEMATIC IN NATURE AND FOR COORDINATION PURPOSES ONLY. SPECIFIC ALIGNMENTS ARE TO BE DESIGNED BY OTHERS AND REVIEWED BY THE UTILITY PROVIDING SERVICE. PROPOSED ELECTRICAL SERVICE TO BE BURIED IN ACCORDANCE WITH THE TOWN OF NEWINGTON REGULATIONS AND ELECTRIC COMPANY.

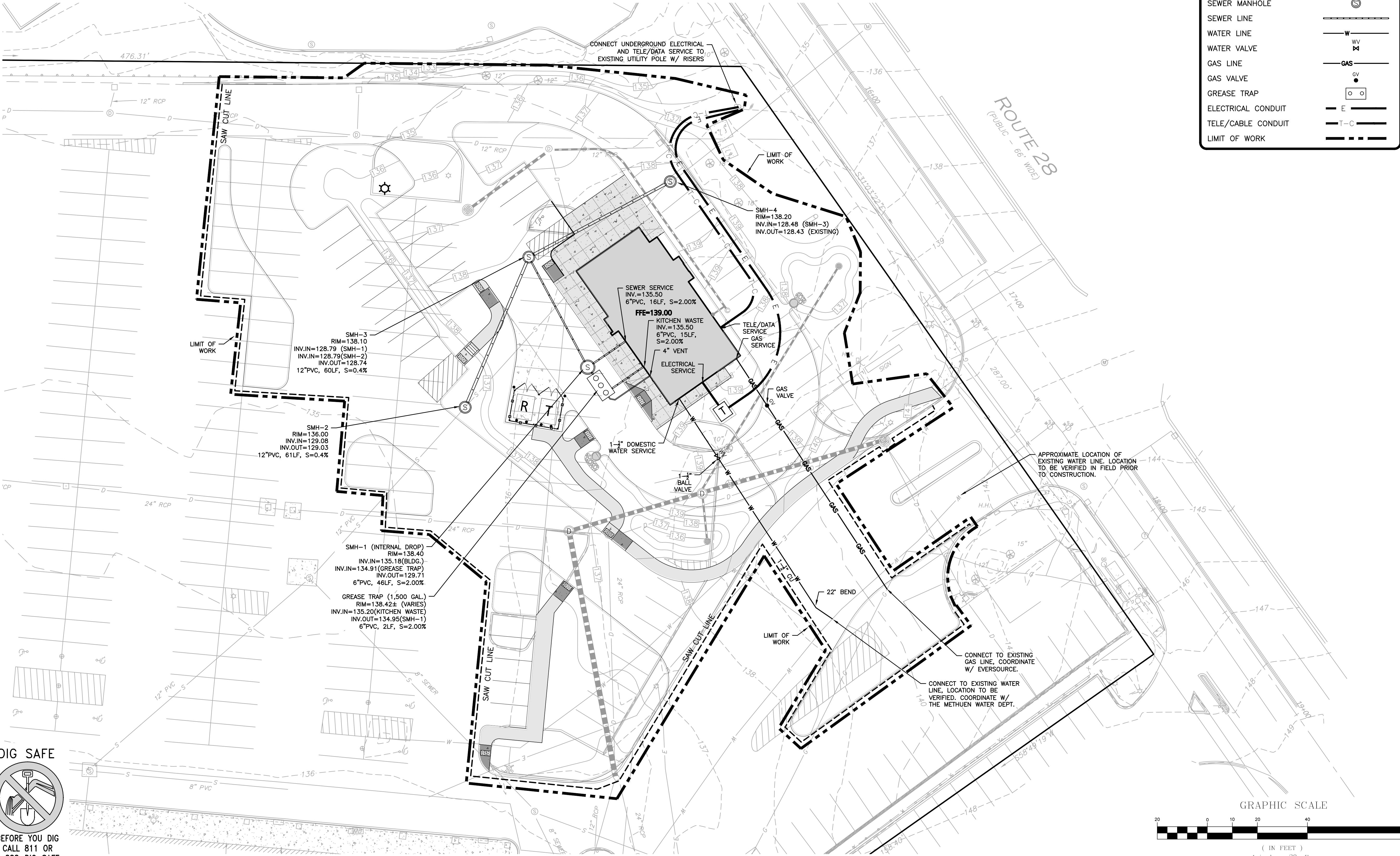
13. LOCATION OF PROPOSED GAS MAIN IS SCHEMATIC IN NATURE AND FOR COORDINATION PURPOSES ONLY. SPECIFIC ALIGNMENTS ARE TO BE DESIGNED BY OTHERS AND REVIEWED BY THE UTILITY PROVIDING SERVICE.

14. THE LOCATION OF THE EXISTING WATER LINE IS SCHEMATIC IN NATURE AND IS TO BE CONFIRMED USING GROUND PENETRATING RADAR (GPR).



### LEGEND

SEWER MANHOLE	(○)
SEWER LINE	—W
WATER LINE	WV
WATER VALVE	WV
GAS LINE	—GAS
GAS VALVE	GV
GREASE TRAP	(○)
ELECTRICAL CONDUIT	—E
TELE/CABLE CONDUIT	—T-C
LIMIT OF WORK	—



BRIAN D. JONES  
No. 49212  
CIVIL  
PROFESSIONAL ENGINEER  
RE-01-02-24

PROFESSIONAL ENGINEER FOR  
ALLEN & MAJOR ASSOCIATES, INC.

3 01-02-24 REVISION 3  
2 06-27-23 REVISION 2  
1 05-26-23 REVISION 1  
REV DATE DESCRIPTION

APPLICANT/OWNER:  
SHRI SWAMINE LLC  
PO BOX 2022  
DANVERS, MA 01923

PROJECT:  
TACO JOHN'S  
436 BROADWAY  
THE VILLAGE MALL  
METHUEN, MA

PROJECT NO. 3115-01A DATE: 03/31/2023  
SCALE: 1" = 20' DWG. NAME: C-3115-01A  
DESIGNED BY: JRG CHECKED BY: BDJ

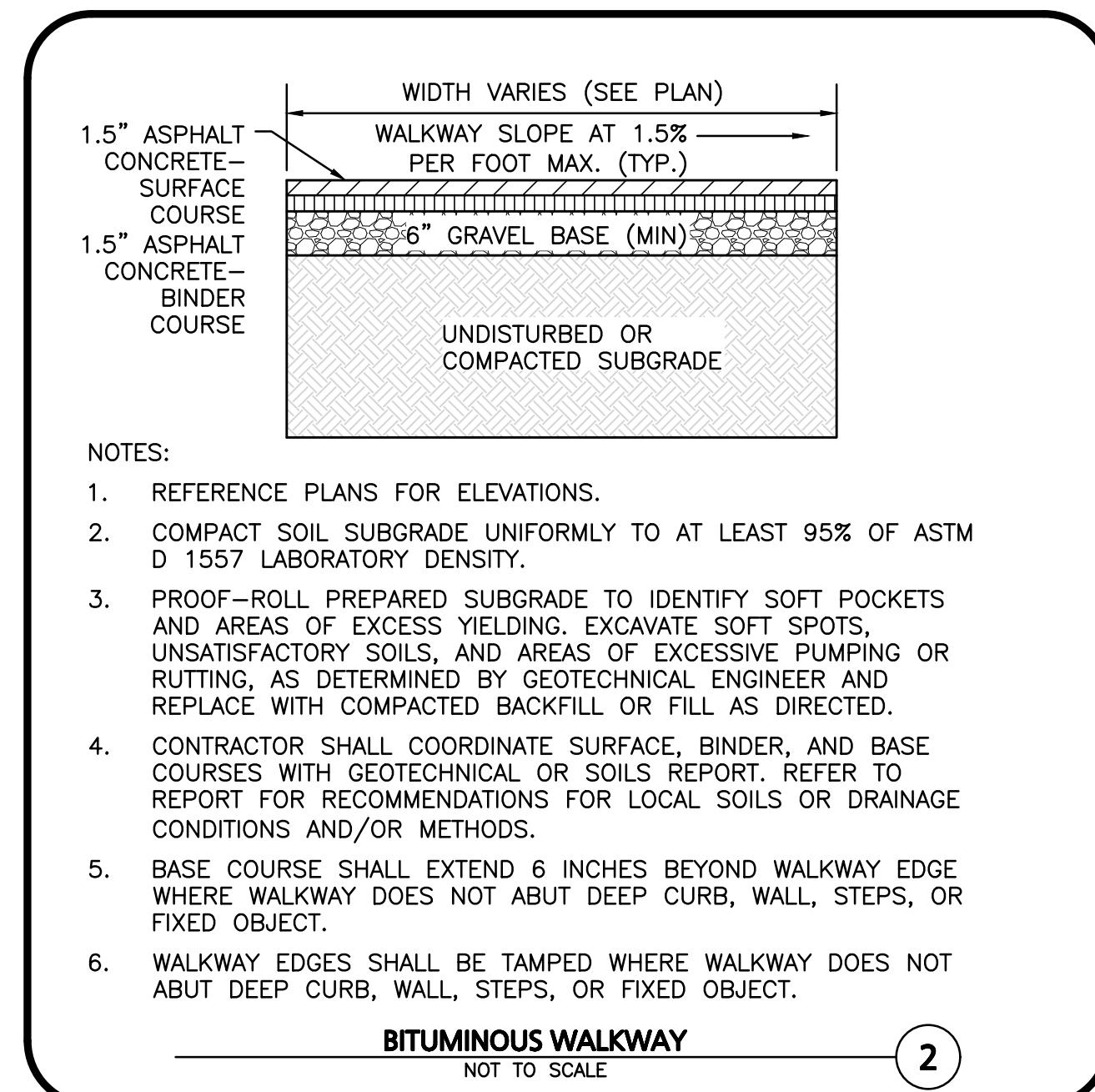
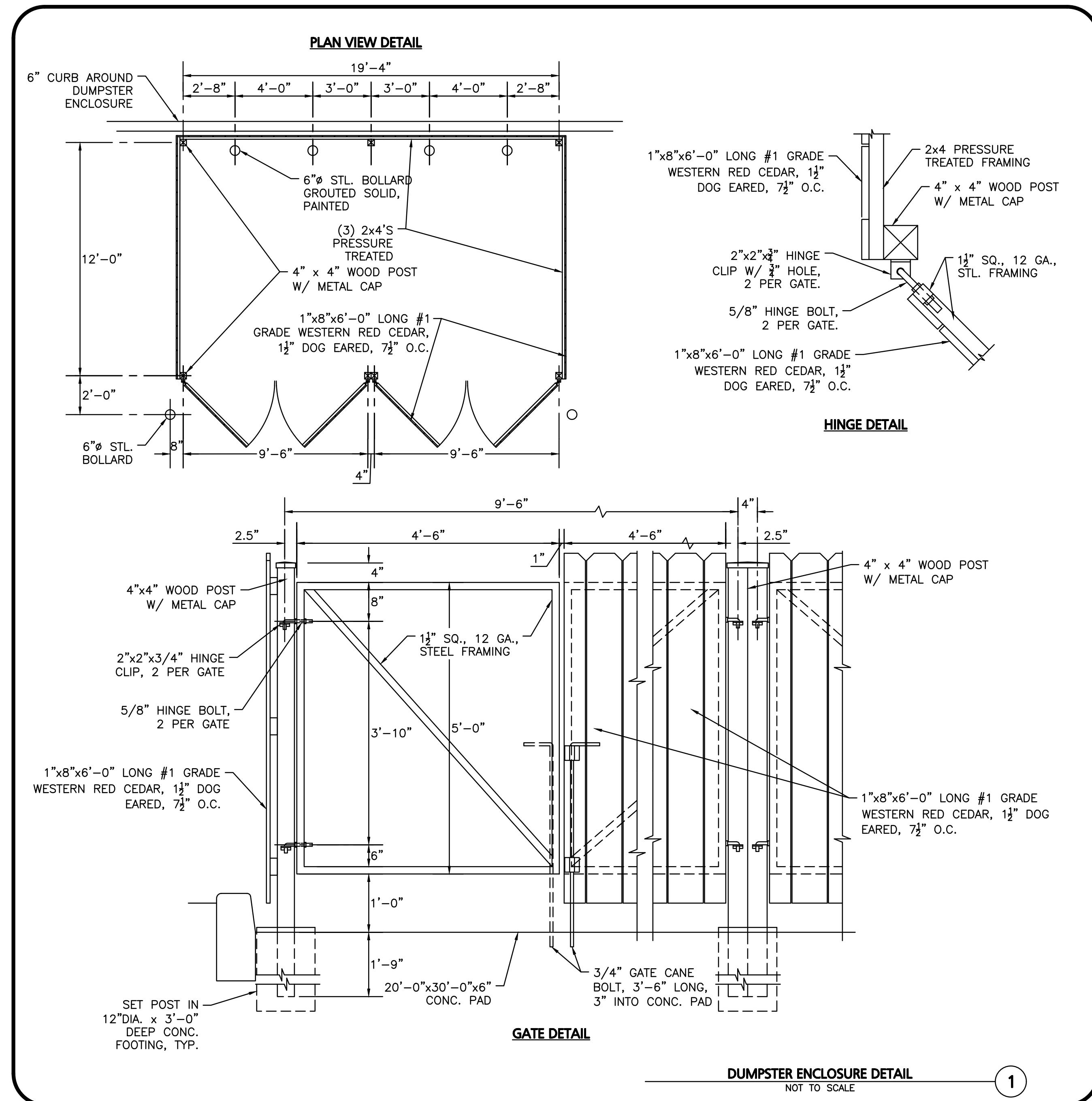
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DRAWING TITLE: UTILITIES PLAN SHEET NO. C-104  
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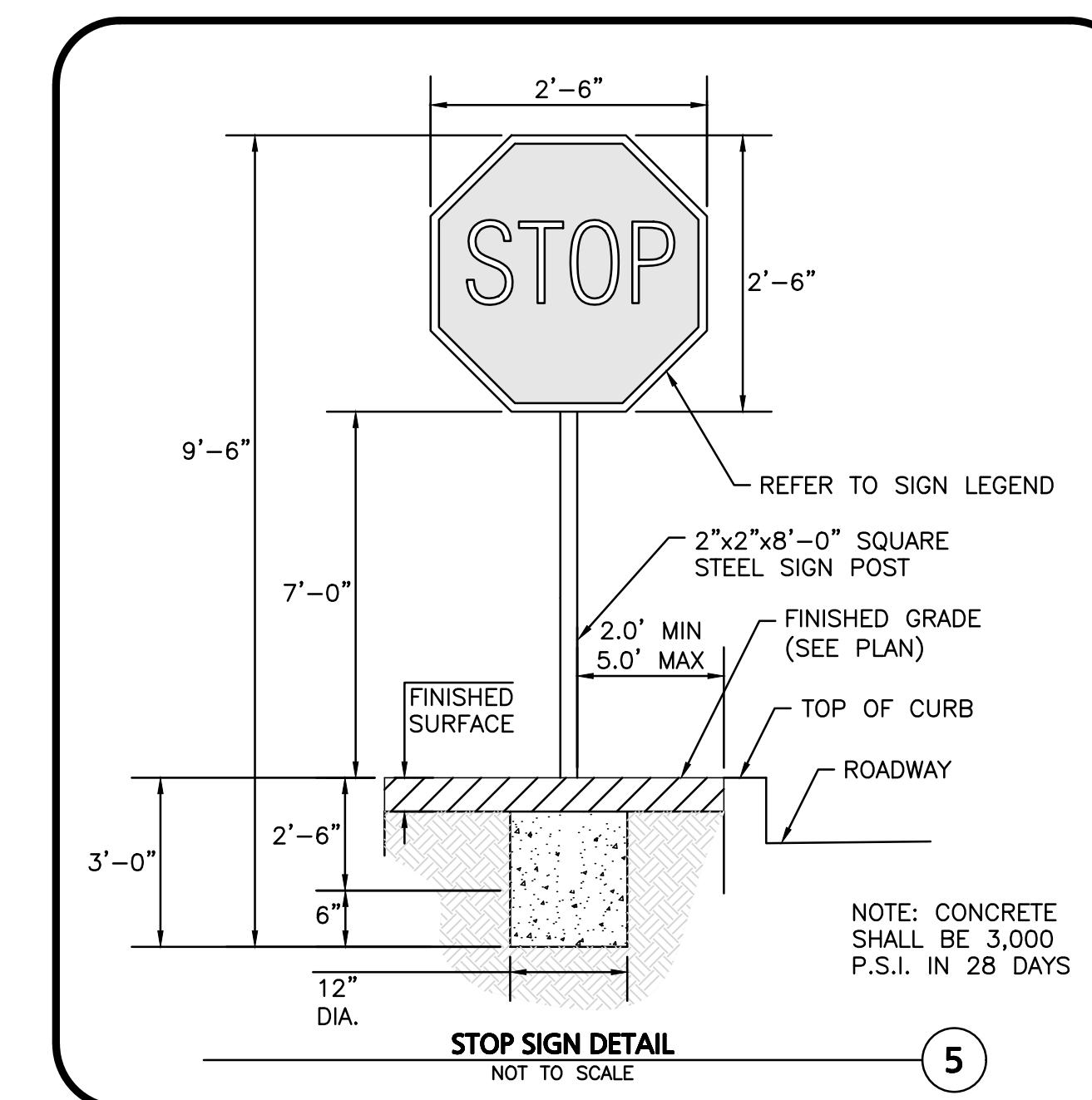
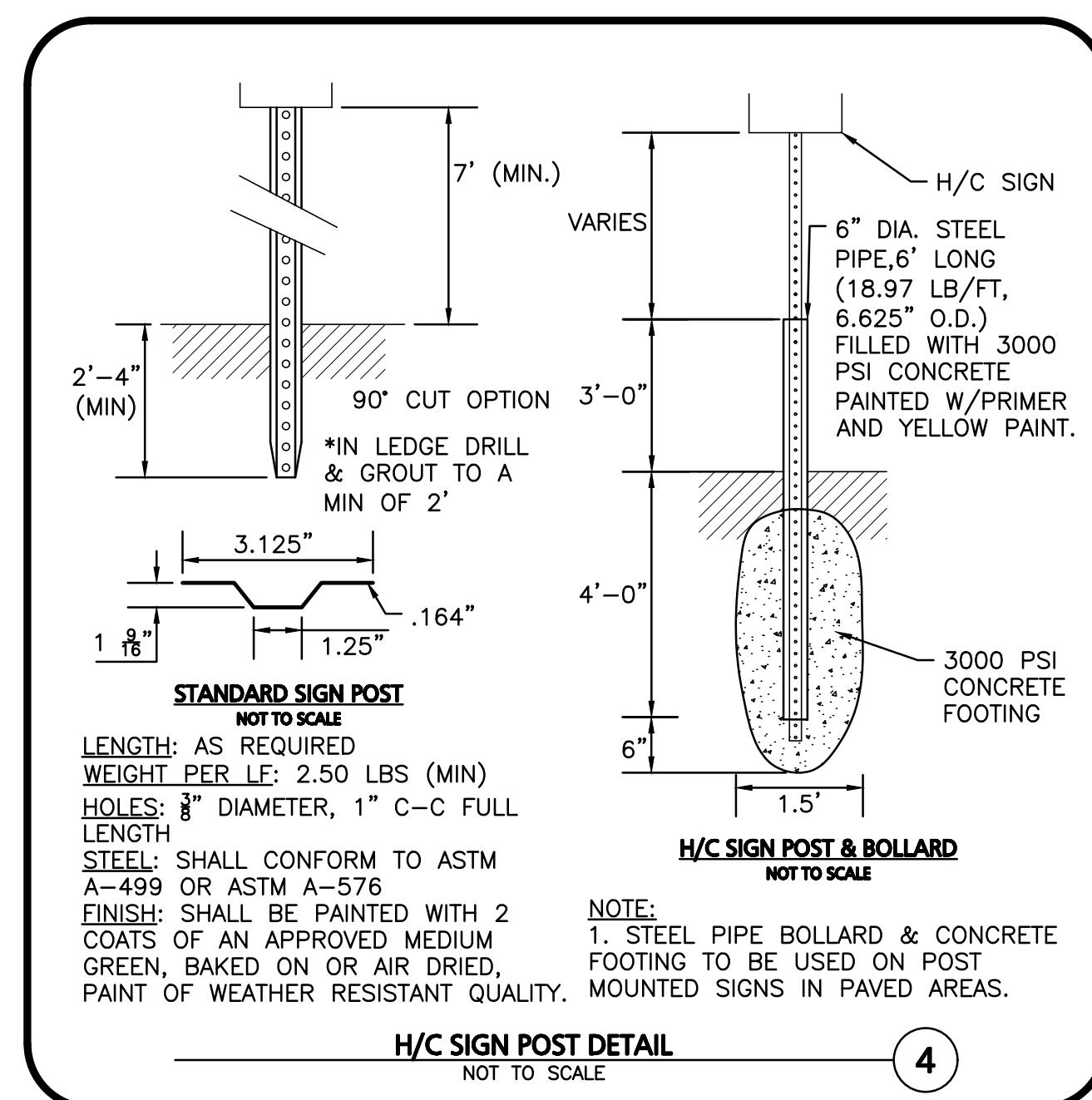




**SIGN TABLE**

NOT TO SCALE

MUTCD NUMBER	SIGN	SIZE (MIN)	MOUNTING HEIGHT	DESCRIPTION	RETRO-FLECTIVE
R1-1		30"x30"	7' - 0"	WHITE ON RED	YES
R7-8(M) (MODIFIED)		12"x24"	7' - 0"	RED ON WHITE	YES
R7-8		12"x18"	7' - 0"	GREEN & BLUE ON WHITE	YES
R5-1		30"x30"	7' - 0"	RED ON WHITE	YES



BRIAN D. JONES  
CIVIL  
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REGISTERED  
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BOSTON, MASSACHUSETTS  
01-02-24

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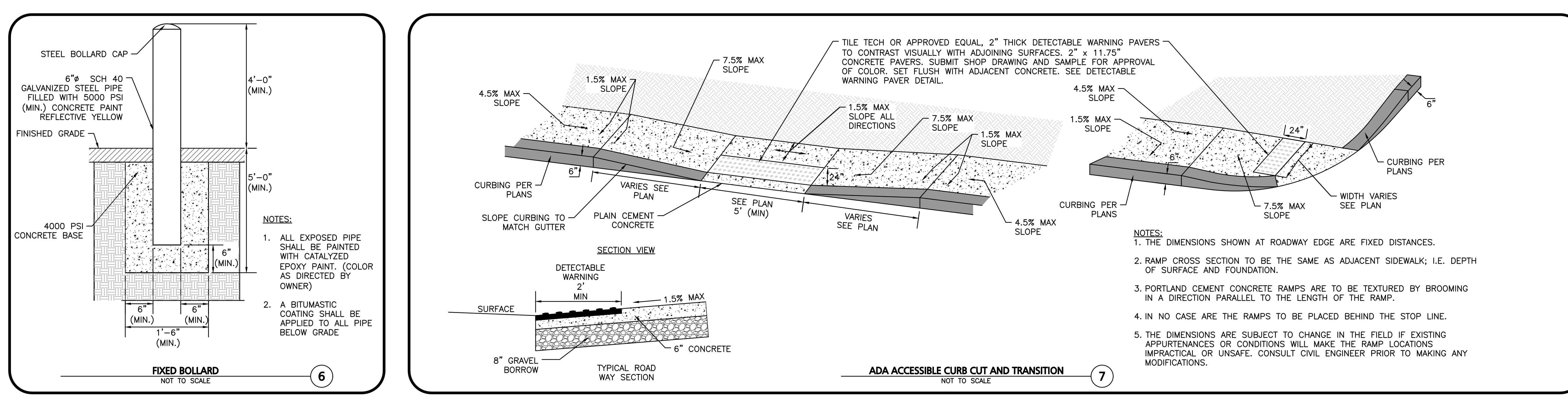
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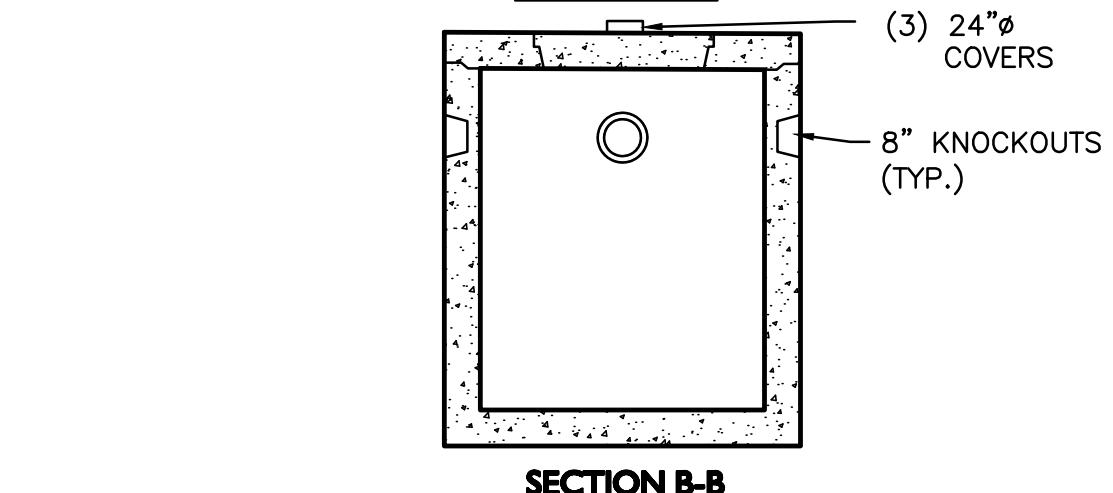
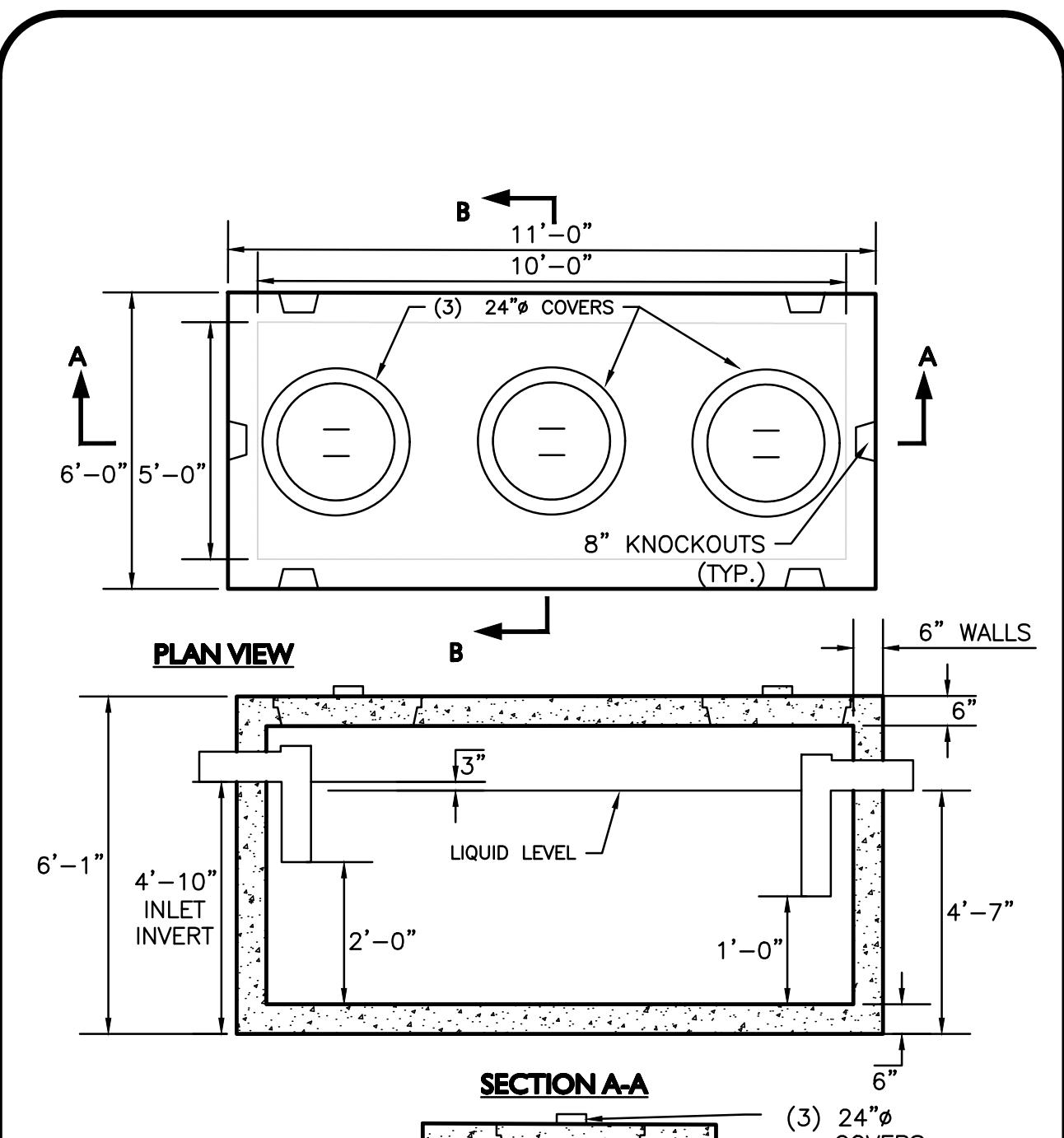
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DRAWING TITLE: **ADA ACCESSIBLE CURB CUT AND TRANSITION** SHEET NO.  
DETAILS C-502





**MANUFACTURER'S NOTES:**

1. CONCRETE: 5,000 PSI MINIMUM STRENGTH @ 28 DAYS.
2. DESIGN CONFORMS WITH 310 CMR 15.00, DEP TITLE 5 REGS.
3. STEEL REINFORCING-ASTM A-615, GRADE 60.
4. COVER TO STEEL-1" MINIMUM.
5. TANKS ARE DESIGNED TO MEET ASTM C858 AND ACI 318 WITH ASHHTO HS-20 LOADING.
6. EARTH COVERS 1 TO 5 FEET MAX.
7. CONSTRUCTION JOINT SEALED WITH 1" DIA. BUTYL RUBBER OR EQUIVALENT.

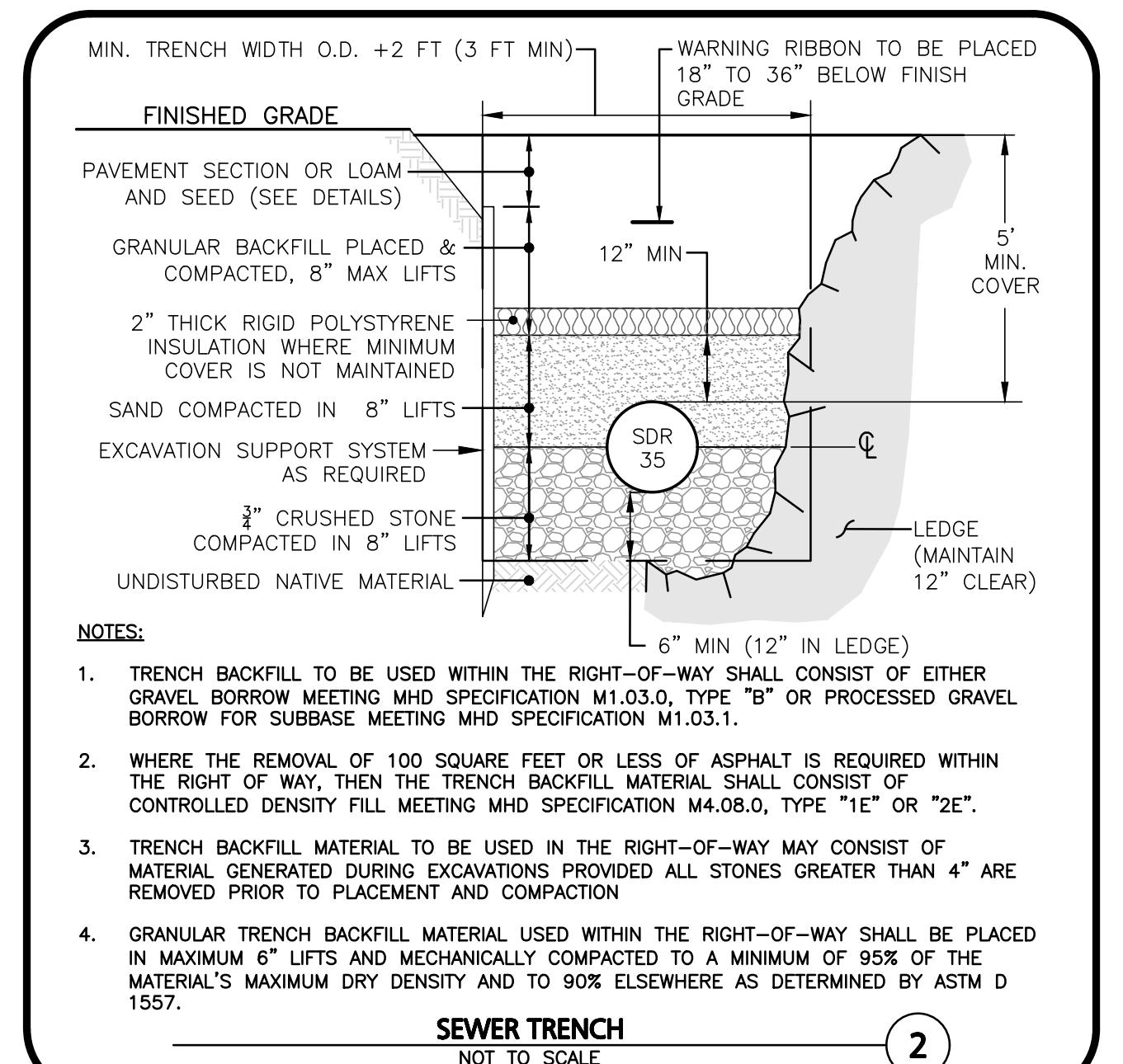
**ADDITIONAL NOTES:**

1. ALL PIPE GOING TO, WITHIN, AND TO 10 FEET BEYOND THE CONCRETE STRUCTURE, INCLUDING THE 4" VENT PIPE, SHALL BE THE RESPONSIBILITY OF THE PLUMBING PROFESSIONAL.
2. ALL PIPE, INCLUDING THE 4" VENT PIPE TO THE ROOF, SHALL BE CAST IRON.
3. THE PLUMBING PROFESSIONAL SHOULD COORDINATE INSTALLATION OF THE TANK, ACCESS MANHOLES, AND DETAILS OF EXCAVATION, BACKFILLING, AND WATERPROOFING WITH THE CIVIL ENGINEER.
4. ADJUST TO GRADE WITH MINIMUM 12" OF CONCRETE BRICK AND MORTAR (RED BRICK SHALL NOT BE USED).
5. BUTYL RUBBER JOINT SEALANT SHALL BE USED AT ALL JOINTS.

GREASE TRAP (1,500 GAL)

NOT TO SCALE

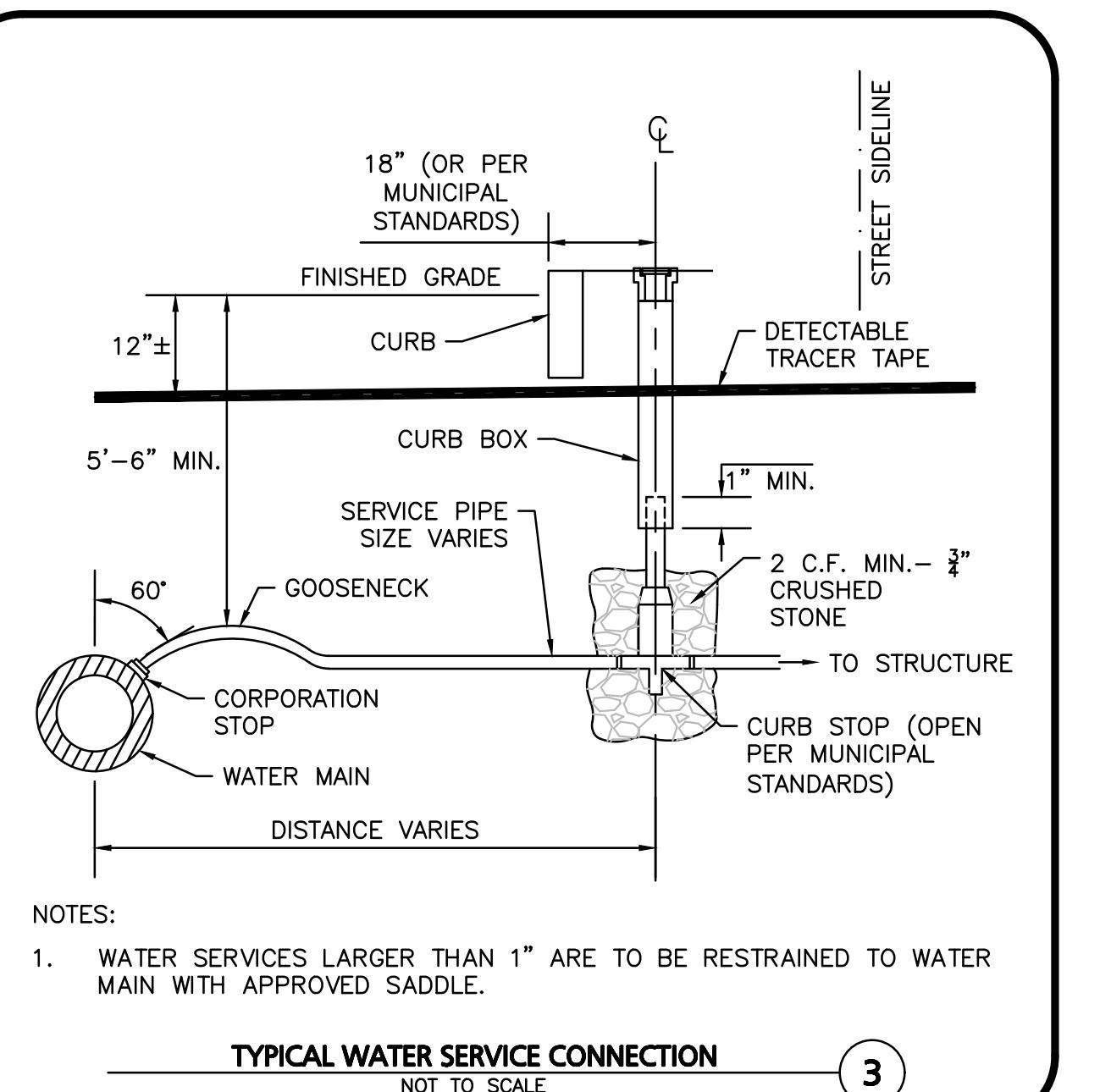
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SEWER TRENCH

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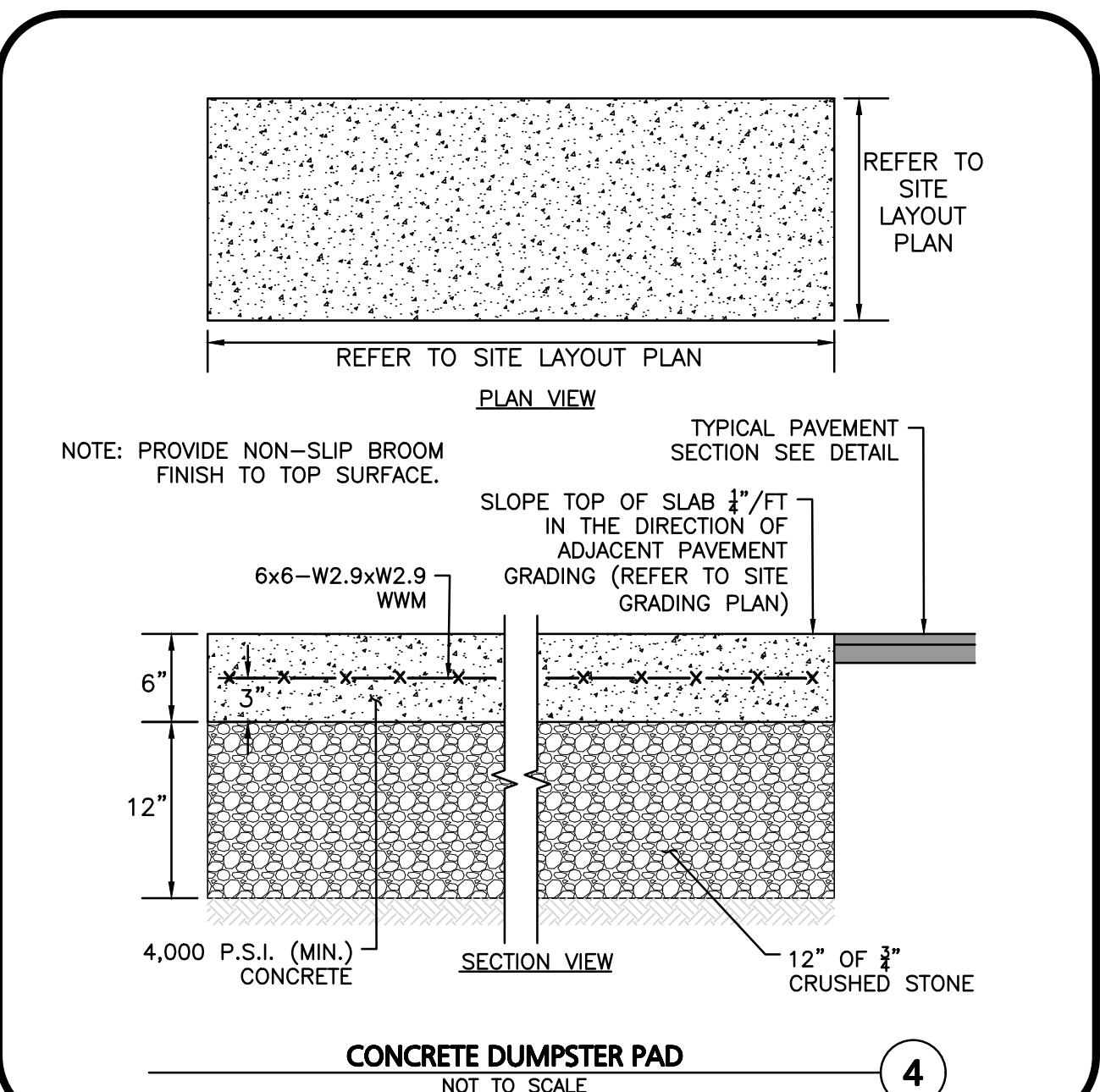
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TYPICAL WATER SERVICE CONNECTION

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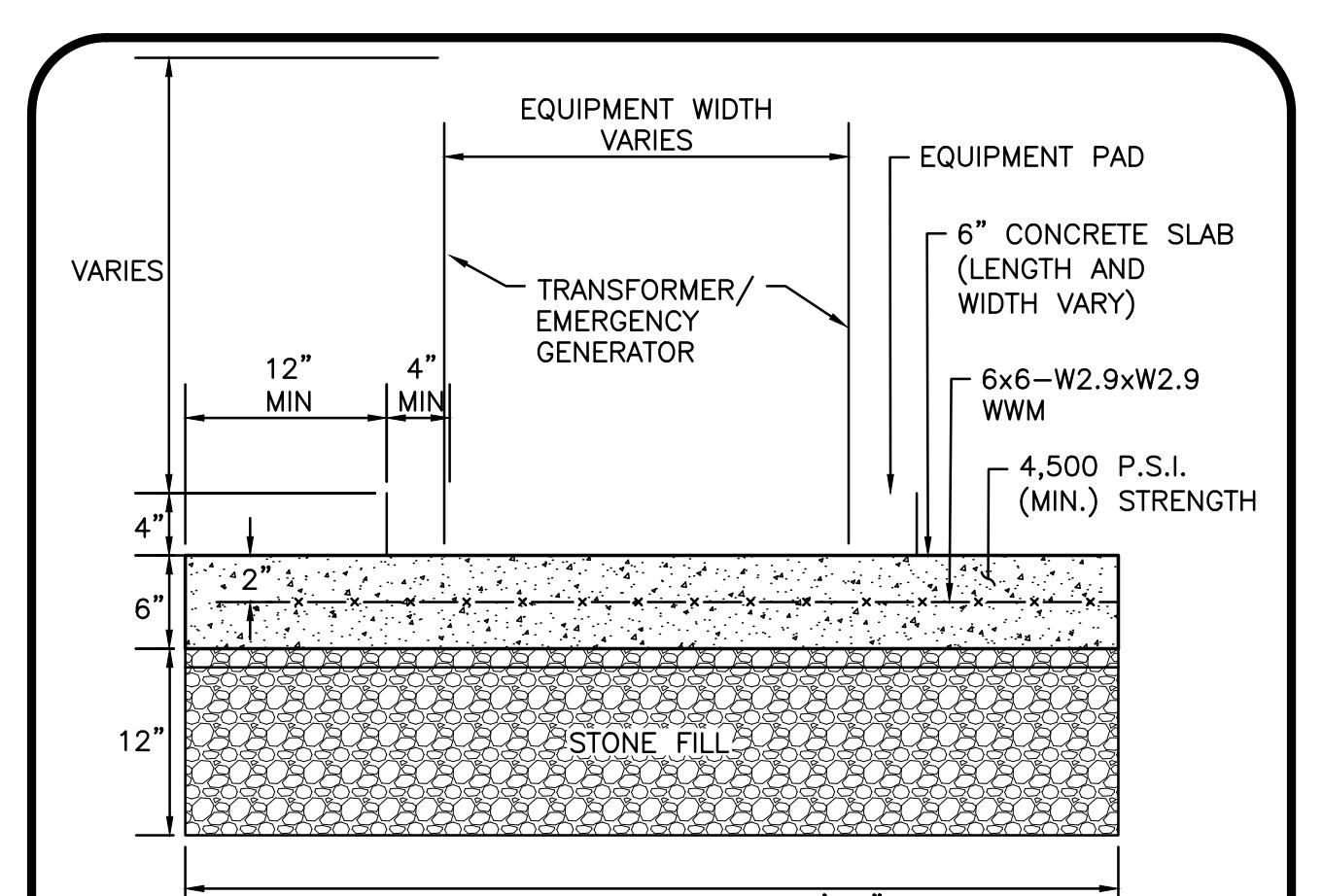
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CONCRETE DUMPSTER PAD

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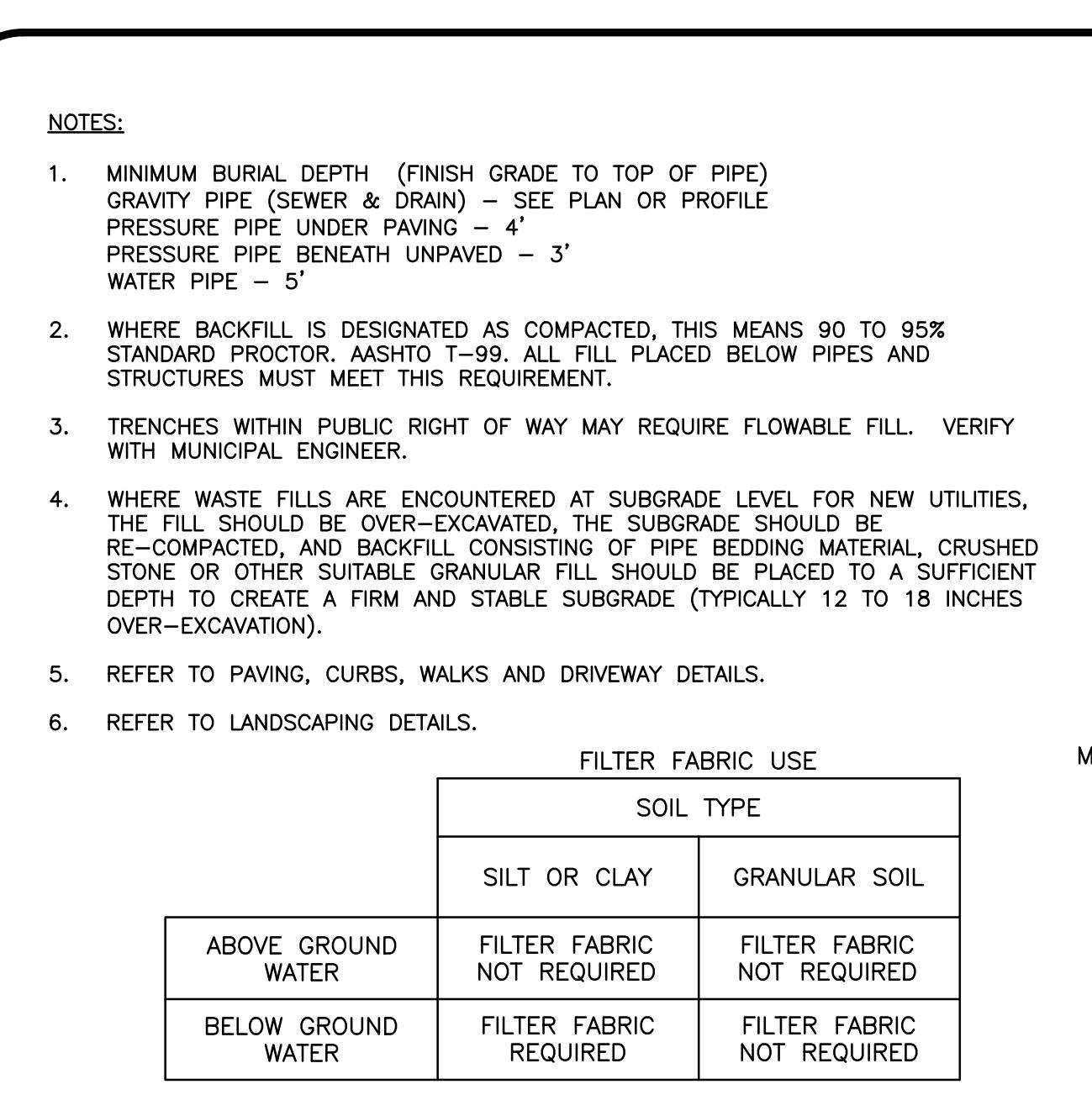
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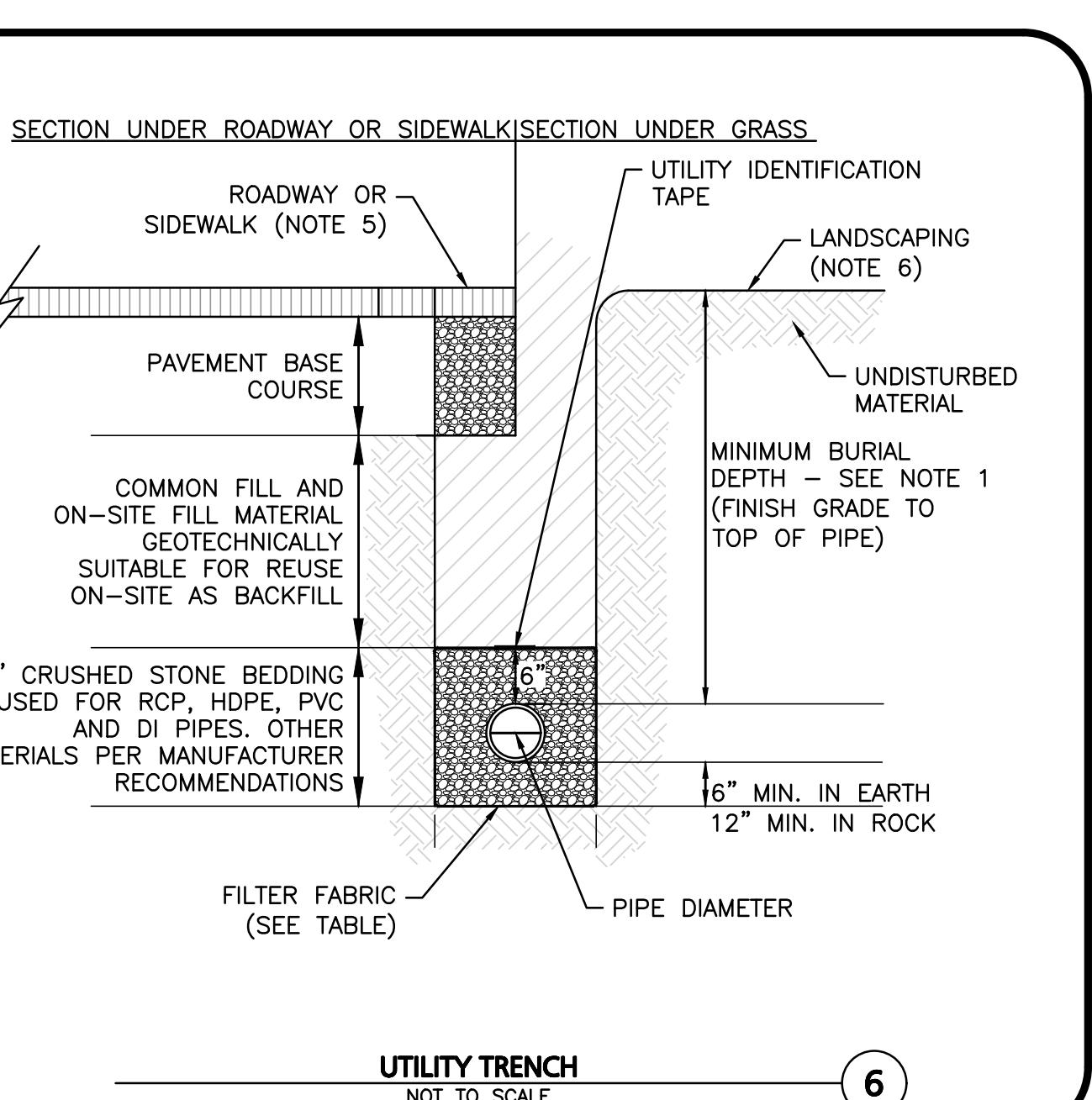
TRANSFORMER PAD DETAIL

NOT TO SCALE

5



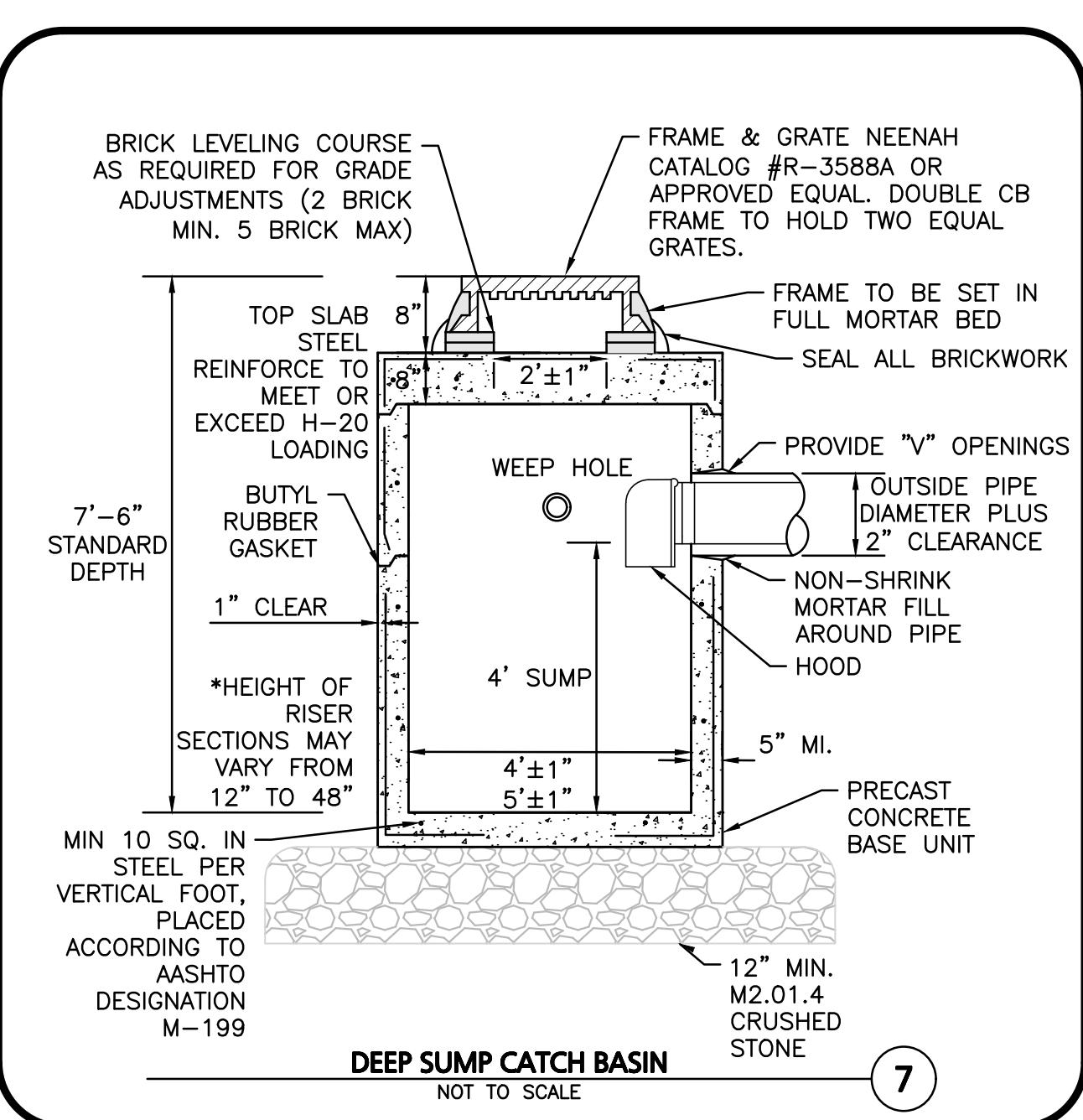
SOIL TYPE	
SILT OR CLAY	GRANULAR SOIL
ABOVE GROUND WATER	FILTER FABRIC NOT REQUIRED
BELOW GROUND WATER	FILTER FABRIC REQUIRED
	FILTER FABRIC NOT REQUIRED



UTILITY TRENCH

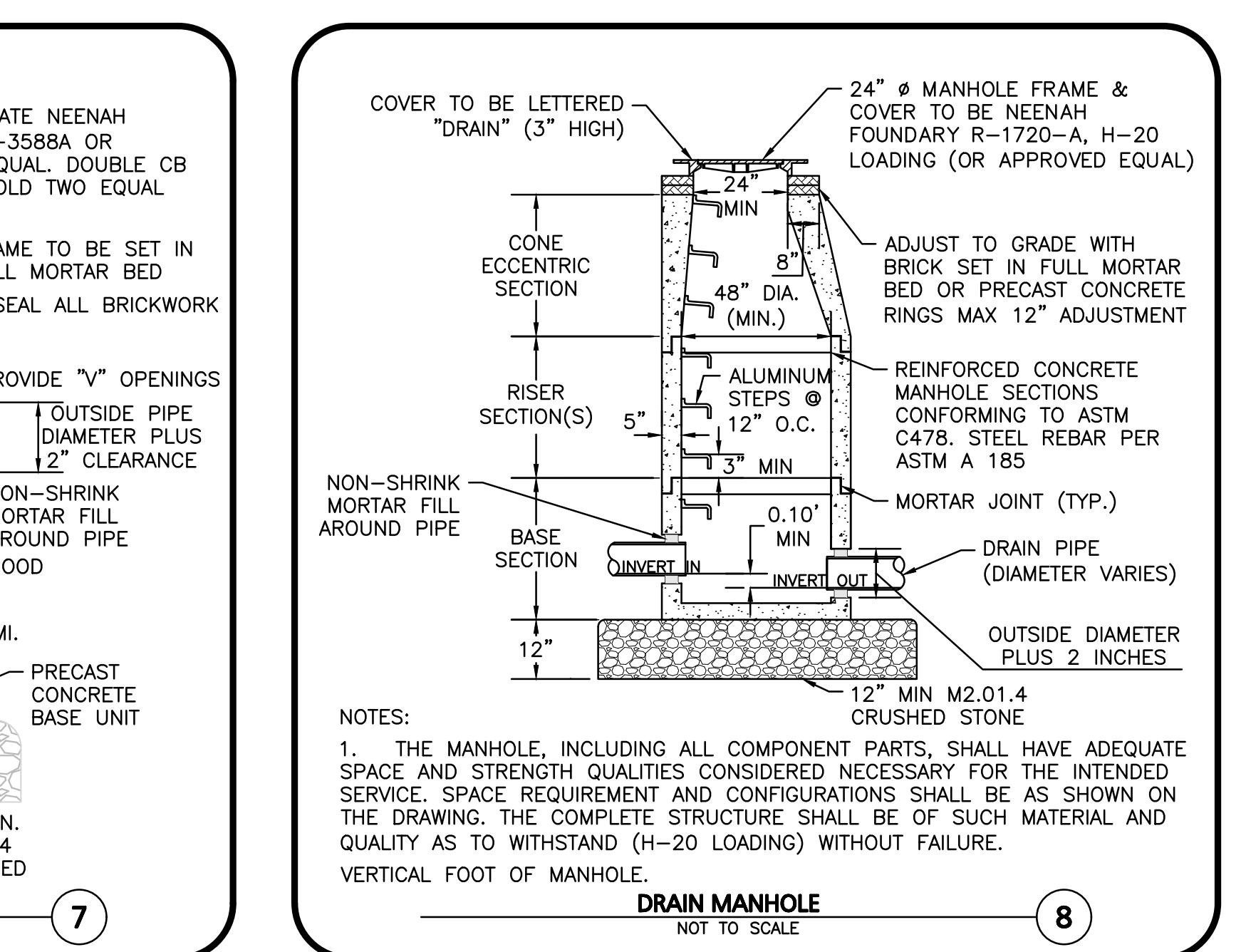
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DEEP SUMP CATCH BASIN

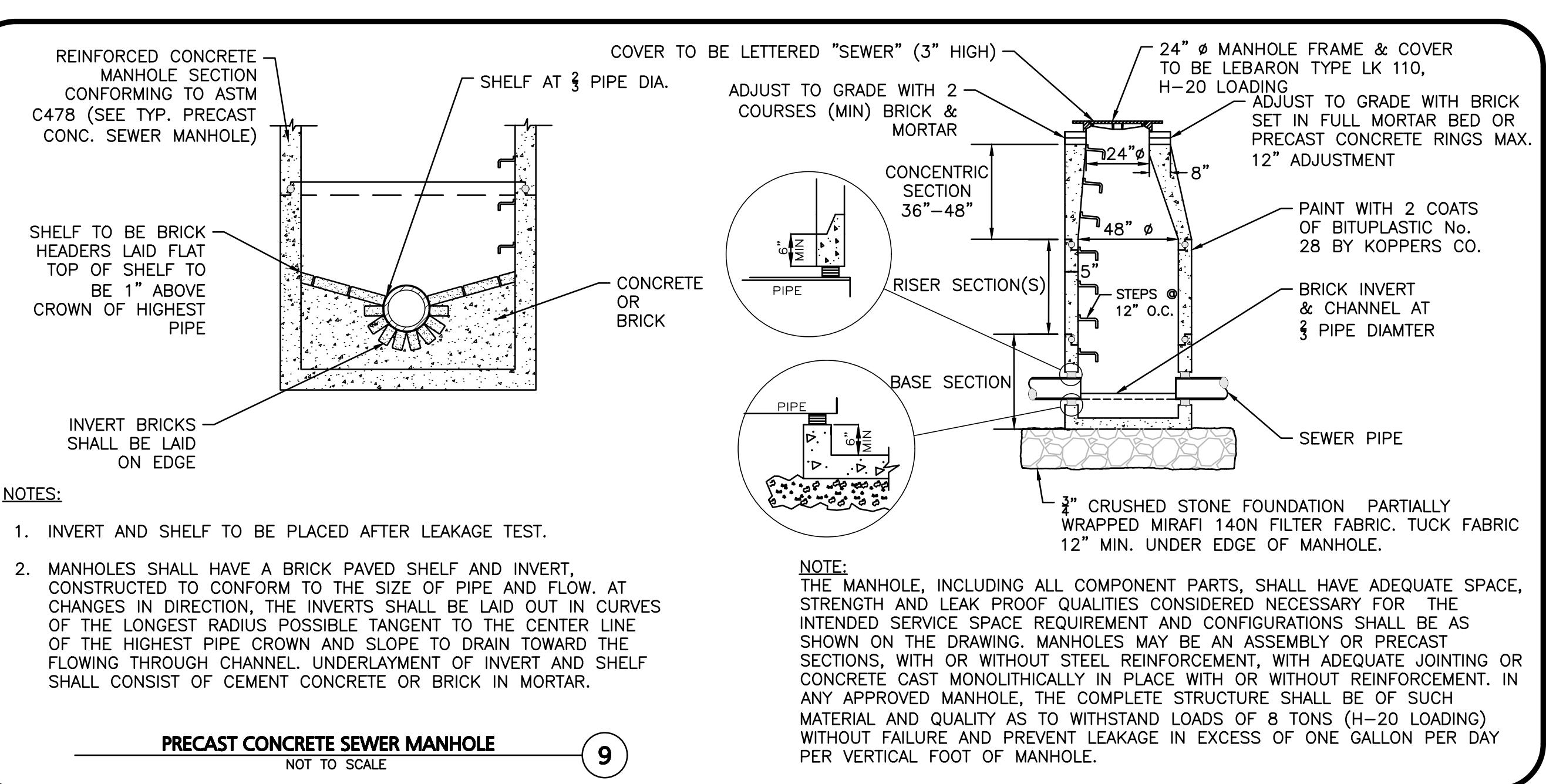
NOT TO SCALE



DRAIN MANHOLE

NOT TO SCALE

8



PRECAST CONCRETE SEWER MANHOLE

NOT TO SCALE

9

BRIAN D. JONES  
CIVIL  
No. 49212  
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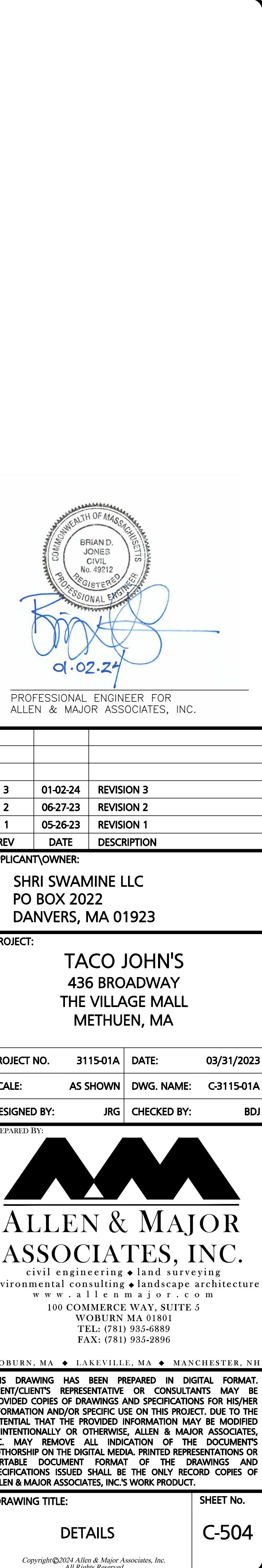
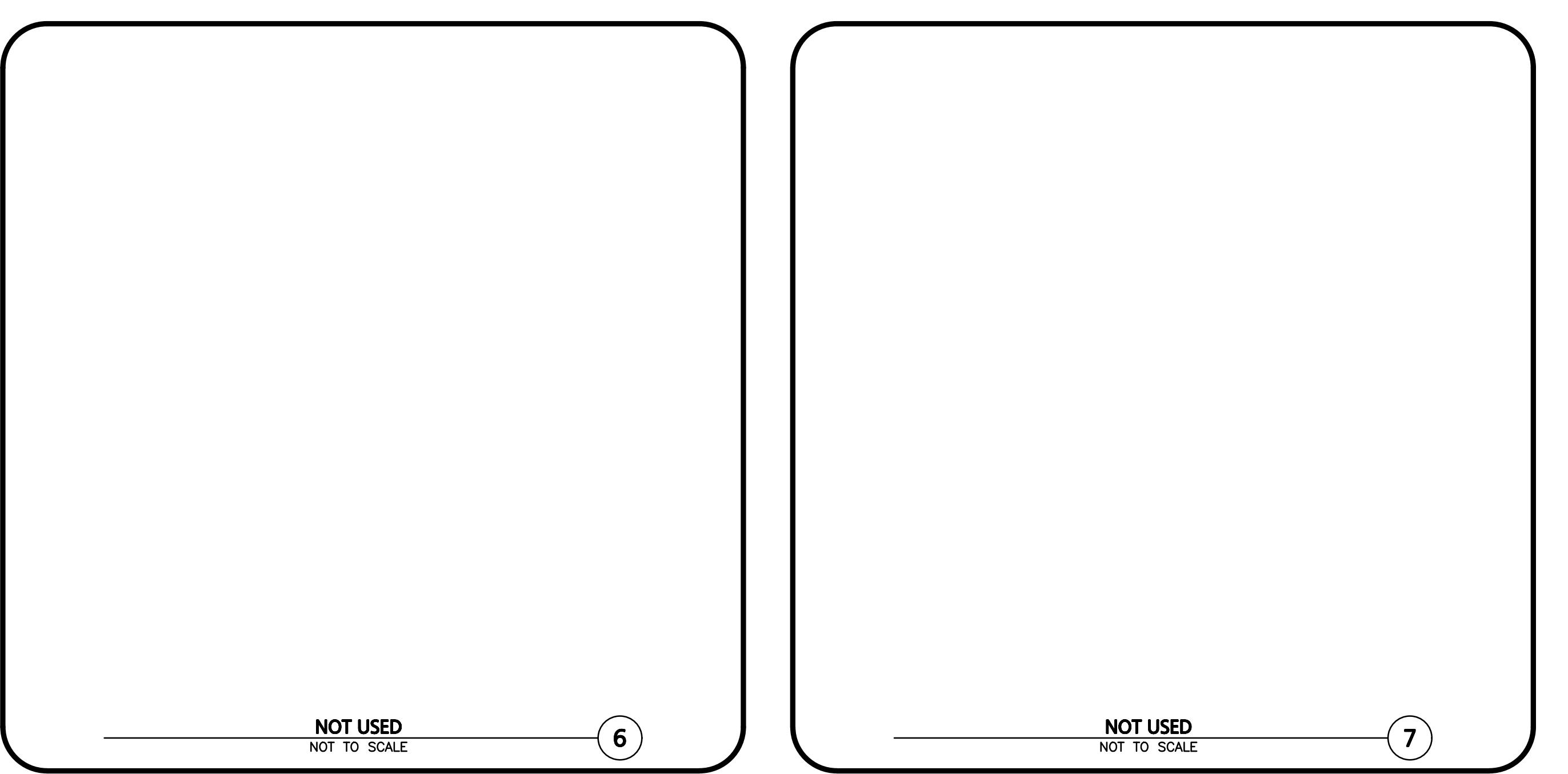
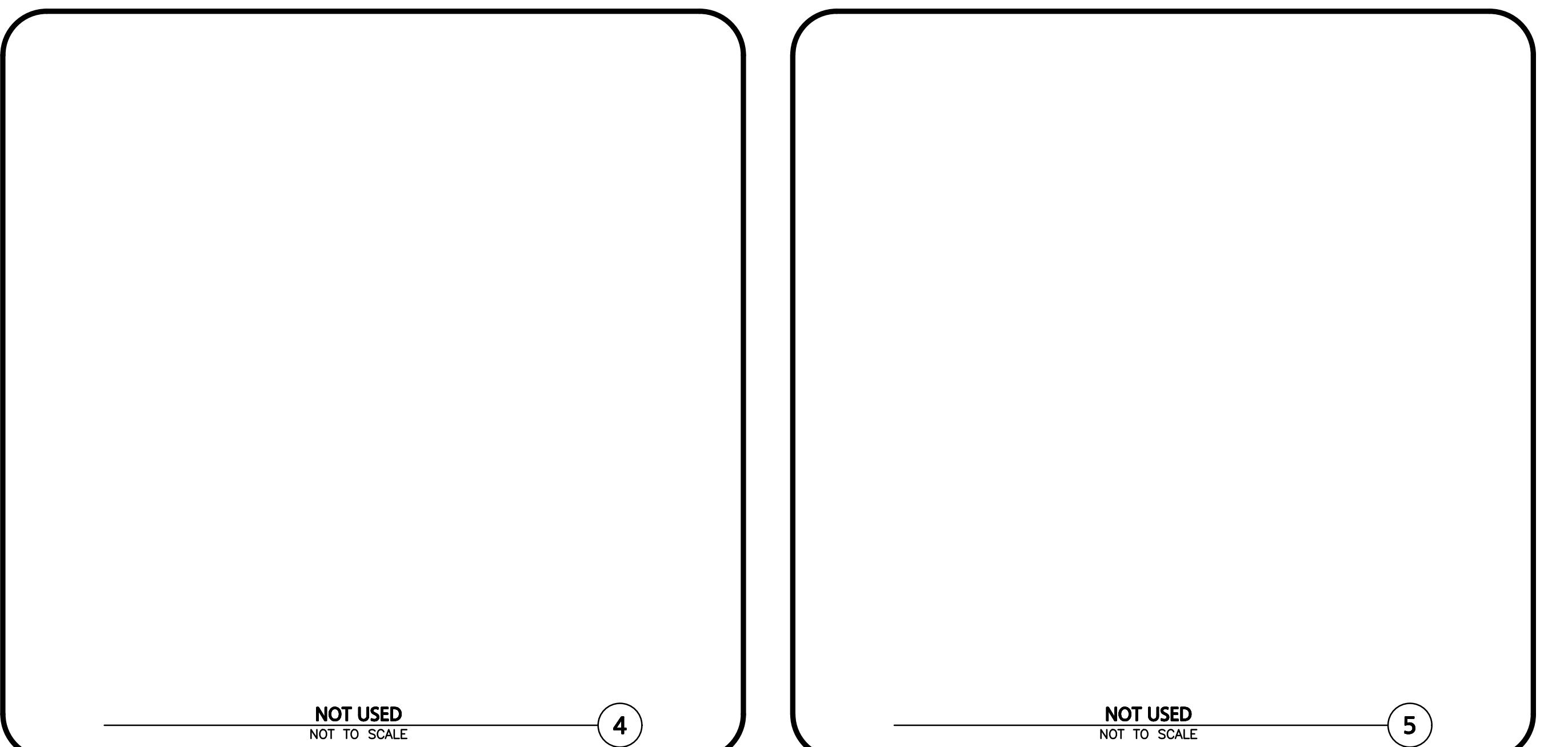
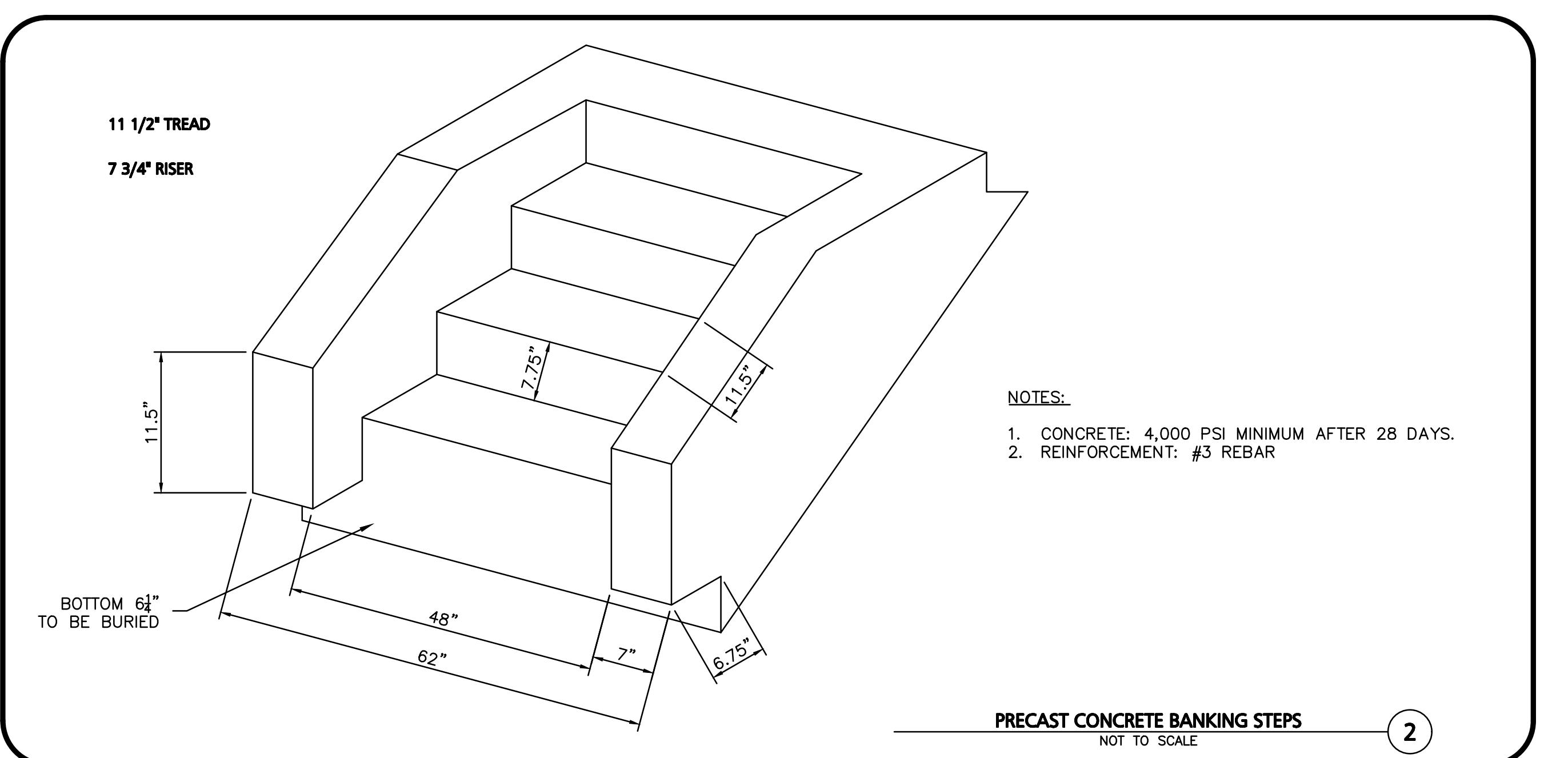
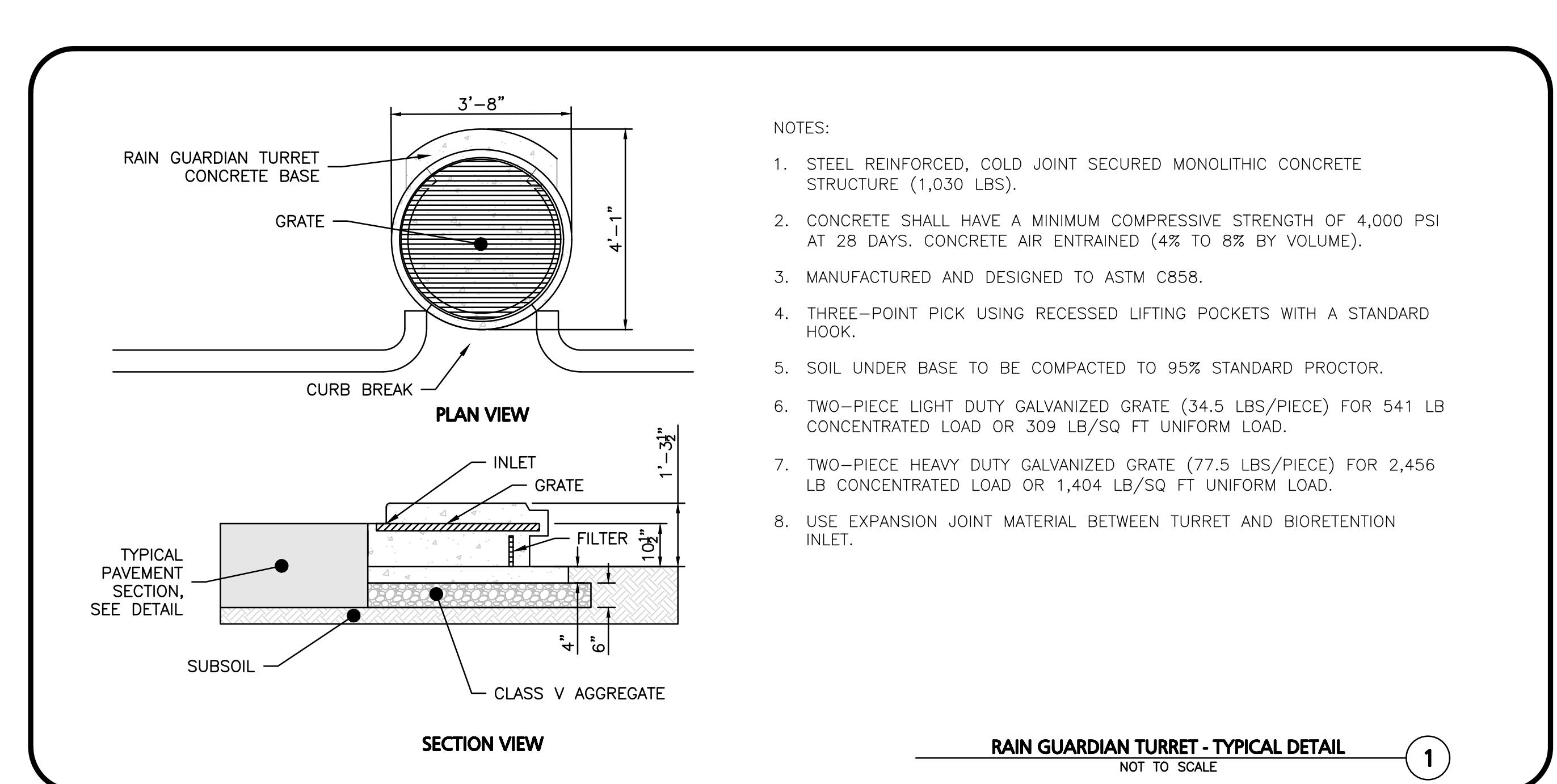
SCALE: AS SHOWN DWG. NAME: C-3115-01A

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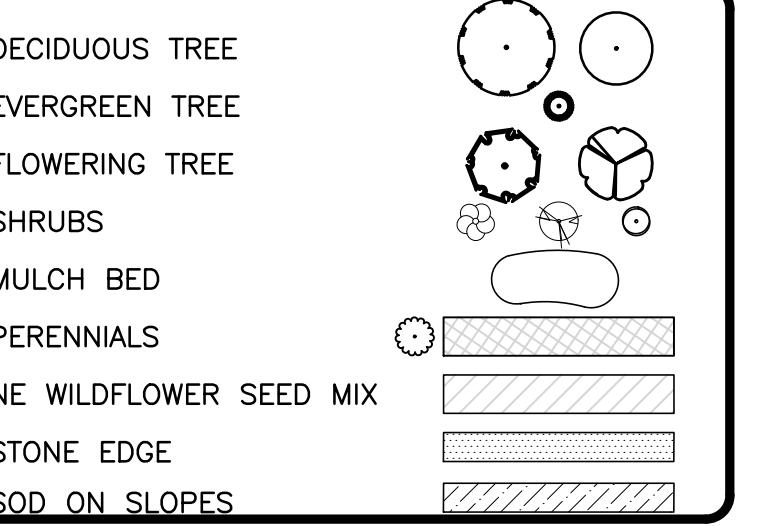
DRAWING TITLE: DETAILS  
SHEET NO. C-503  
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CITY OF METHUEN ZONING SUMMARY - LANDSCAPE

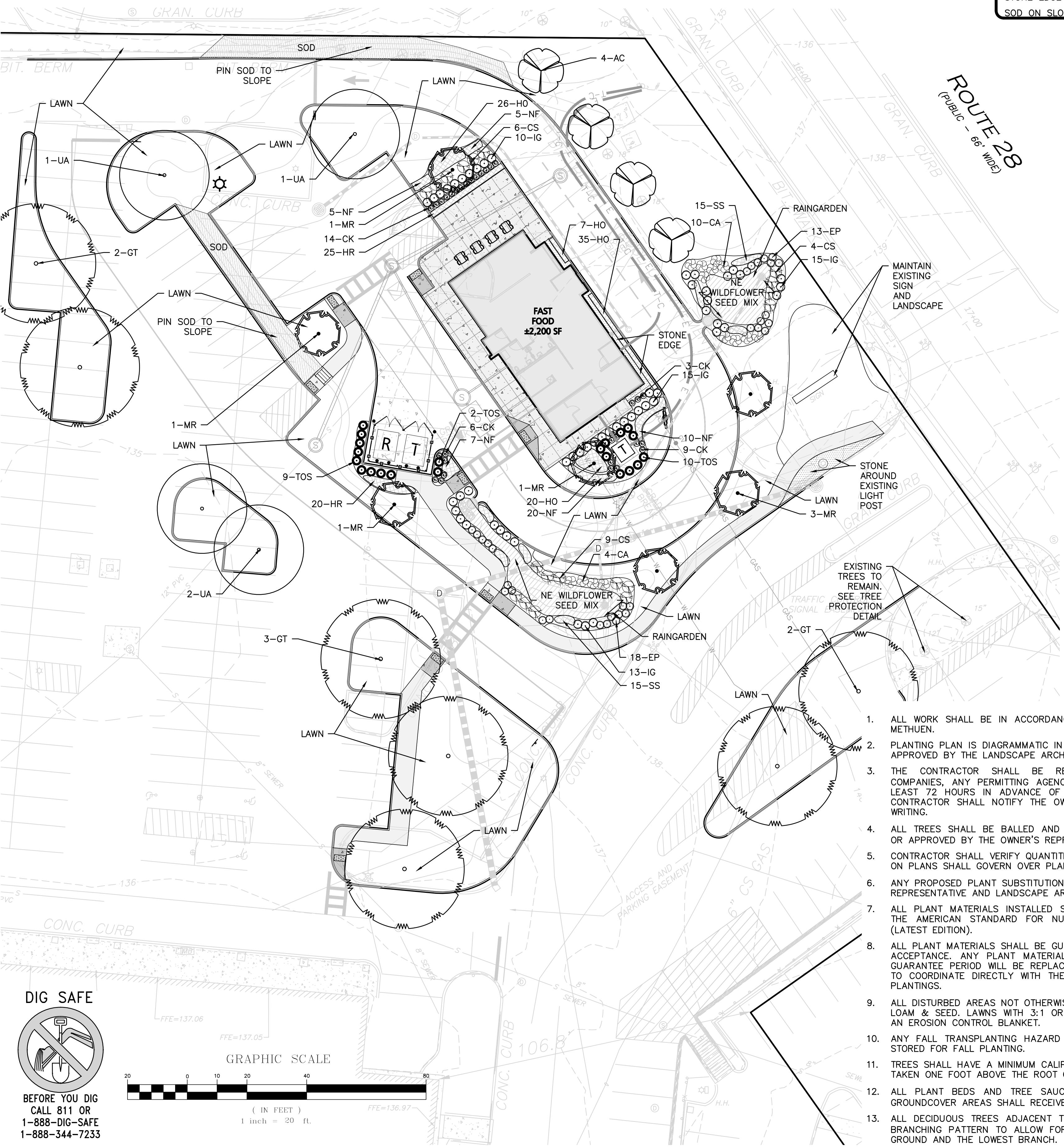
REGULATION	ITEM	REQUIRED / ALLOWED	PROPOSED
SECTION 6.2.E(4)	A FIFTEEN-FOOT LANDSCAPED STRIP SHALL BE PROVIDED ADJACENT TO THE STREET RIGHT-OF-WAY LINE WHEN A FRONT YARD IS USED FOR PARKING IN BUSINESS AND INDUSTRIAL DISTRICTS.	FIFTEEN-FOOT LANDSCAPED STRIP.	>42' PROVIDED

LEGEND



NOTES:

- EXISTING CONDITIONS WERE COMPILED FROM AN ON THE GROUND SURVEY PERFORMED BY ALLEN & MAJOR ASSOCIATES, INC. AS WELL AS AVAILABLE RECORD PLANS OBTAINED FROM THE CITY OF METHUEN, MA AND OTHER SOURCES.
- VERTICAL DATUM IS NAVD88. EXISTING GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT. PROPOSED GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT.
- THE INFORMATION SHOWN ON THIS PLAN IS THE SOLE PROPERTY OF ALLEN & MAJOR ASSOCIATES, INC. ANY ALTERATION, MISUSE, OR RECALCULATION OF INFORMATION OR DATA WITHOUT THE EXPRESSED, WRITTEN CONSENT OF ALLEN & MAJOR ASSOCIATES, INC. IS STRICTLY PROHIBITED.
- SEE SHEET L-501 FOR NOTES AND DETAILS



## LOAM AND SEED NOTES:

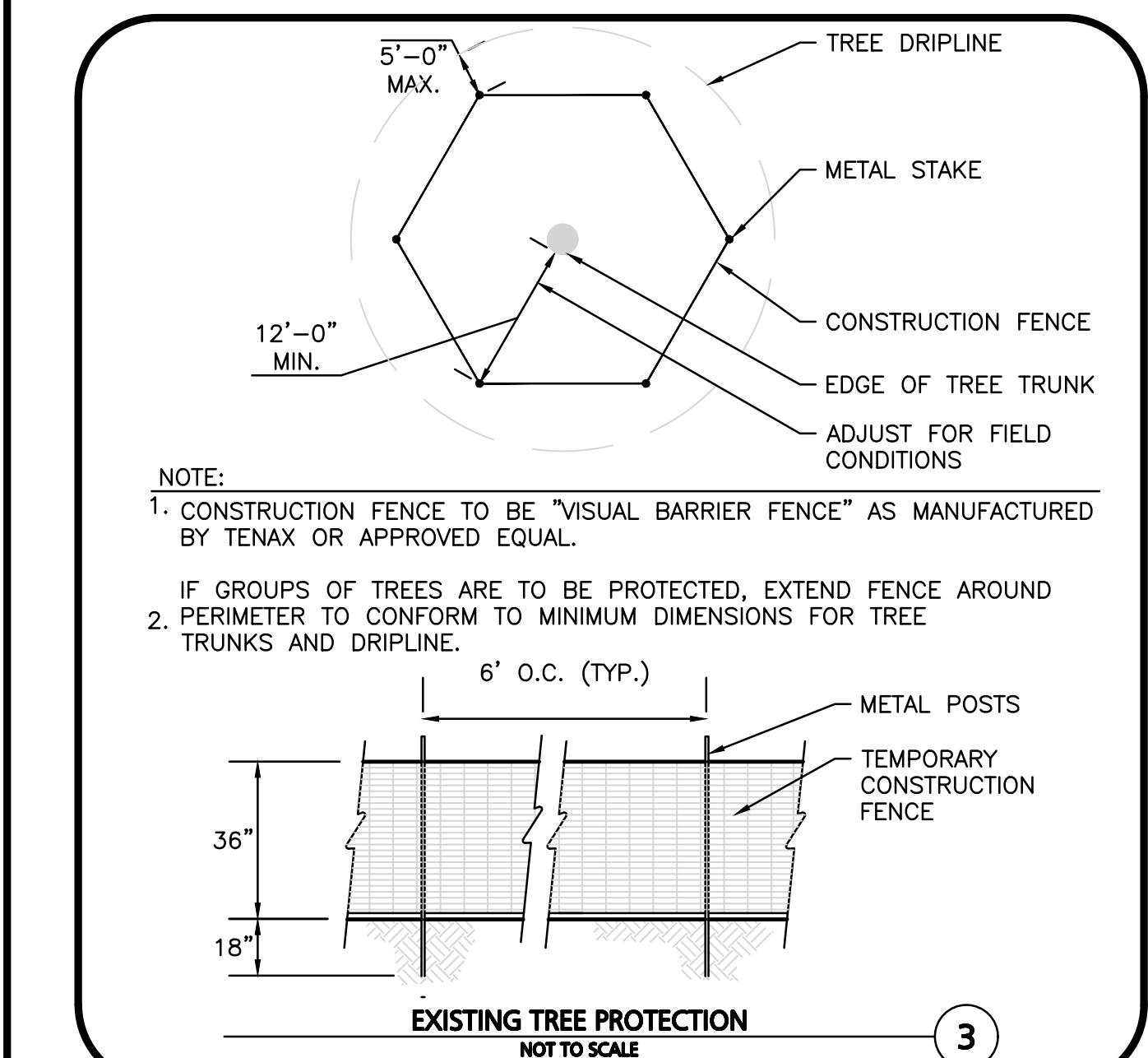
CONTRACTOR SHALL SEED ALL DISTURBED AREAS NOT NOTED TO RECEIVE OTHER MATERIALS, AND AT AREAS SHOWN ON THE PLANS PER SPECIFICATIONS BELOW

SCIENTIFIC NAME	COMMON NAME	PROPORTION BY WEIGHT	PERCENT PURITY	PERCENT GERMINATION
FESTUCA RUBRA "RUBRA"	CREEPING RED FESCUE	37%	95%	90%
PAO PRAENTENSIS "BARON"	BARON KENTUCKY BLUEGRASS	40%	85%	90%
LOLIUM PERENNE "PALMER"	PALMER PERENNIAL RYEGRASS	15%	95%	90%
FESTUCA RUBRA "WILMA CHEWING"	WILMA CHEWING COMMUTATA WILMA	8%	95%	80%

- SEED TO BE SPREAD AT MINIMUM RATE OF 5 LBS. PER 1000 SQ. FT.
- SEEDING TO BE COMPLETED "IN SEASON" BETWEEN APRIL 1 TO JUNE 15 OR AUGUST 15 TO OCTOBER 1, EXCEPT FOR RESEEDING OF BARE SPOTS. IF UNABLE TO SEED WITHIN THESE TIMEFRAMES, CONTRACTOR TO INSTALL EROSION CONTROL MATS ON ALL SLOPES 3:1 AND OVER, HYDROSE ALL EXPOSED AREAS, ADD SOIL STABILIZER "FLUX TERRA HP-FGM SOIL STABILIZER" AS MANUFACTURED BY "PROFILE" TO HYDROSE (AT RATE OF 3,000 LBS PER ACRE). CONTRACTOR TO COMPLETE ALL ABOVE "OUT OF SEASON" REQUIREMENTS AND THEN ALSO BE RESPONSIBLE FOR RE-GRADING AND RE-SEEDING ALL DISTURBED, ERODED, OR BARE SPOTS WITHIN NEXT CLOSEST PLANTING SEASON IN FALL OR SPRING.
- COMMERCIAL FERTILIZER SHALL BE APPLIED AT THE RATE OF 25 POUNDS PER 1000 SQ. FT. OR AS RECOMMENDED BY THE TESTING AGENCY. LIME TO BE SPREAD AT THE RATE OF 100 POUNDS PER 1000 SQ. FT. OR AS RECOMMENDED BY THE TESTING AGENCY. COMMERCIAL FERTILIZER SHALL BE A COMPLETE FERTILIZER CONTAINING AT LEAST 50% OF THE NITROGEN OF WHICH IS DERIVED FROM NATURAL ORGANIC SOURCES OF UREAFORM. IT SHALL CONTAIN THE FOLLOWING PERCENTAGES BY WEIGHT: NITROGEN (N) 10%, PHOSPHORUS (P) 6%, POTASH (K) 4%. LIME SHALL BE AN APPROVED AGRICULTURAL LIMESTONE CONTAINING NOT LESS THAN 85% OF TOTAL CARBONATES. LIMESTONE SHALL BE GROUND TO SUCH FINENESS THAT 50% WILL PASS A 100 MESH SIEVE AND 90% WILL PASS THROUGH A 20 MESH SIEVE.
- LAWN AREAS TO BE SEEDED BY SOWING EVENLY WITH AN APPROVED MECHANICAL SEEDER AT THE RATE OF TEN POUNDS PER 1000 SQUARE FEET.
- CONTRACTOR RESPONSIBLE FOR WATERING, MOWING, AND RESEEDING OF LAWN BARE SPOTS UNTIL A UNIFORM, HEALTHY STAND OF GRASS IS ESTABLISHED AND ACCEPTED.

## LOAM AND SOD NOTES:

- CONTRACTOR SHALL SOD AREAS NOTED ON THE PLANS OR AT ANY AREA DISTURBED BY CONSTRUCTION NOTED TO BE ANOTHER MATERIAL.
- SOD IS TO BE A BLEND OF FOUR TO FIVE CURRENT AND IMPROVED HYBRID BLUEGRASS AND FESCUE MIXES APPROPRIATE FOR BOTH SEMI-SHADED AND AREAS OF SUN. HYBRIDS MAY INCLUDE: BLACKSTONE KENTUCKY BLUEGRASS, AWARD KENTUCKY BLUEGRASS, CHALLENGER KENTUCKY BLUEGRASS, BLACKBURG II KENTUCKY BLUEGRASS OR COMPARABLE AND EQUAL BLUEGRASS HYBRIDS.
- SOD SHALL BE HIGH QUALITY, NURSERY GROWN ON CULTIVATED MINERAL AGRICULTURAL SOILS. SOD SHALL BE MOIST AND MACHINE CUT AT A UNIFORM SOIL THICKNESS OF AT LEAST 5/8". AT TIME OF CUTTING, MEASUREMENT FOR THICKNESS SHALL INCLUDE TOP GROWTH AND THATCH. SOD SHALL BE FREE OF DISEASES, WEEDS, BARE SPOTS, OR INSECTS.
- SODDING TO BE COMPLETED "IN SEASON" BETWEEN APRIL 1 TO JUNE 15 OR AUGUST 15 TO OCTOBER 1, EXCEPT FOR RE-SODDING OF BARE SPOTS. IF UNABLE TO SOD WITHIN THESE TIMEFRAMES, CONTRACTOR TO INSTALL EROSION CONTROL MATS ON ALL SLOPES 3:1 AND OVER, HYDROSE ALL EXPOSED AREAS, ADD SOIL STABILIZER "FLUX TERRA HP-FGM" AS MANUFACTURED BY "PROFILE" TO HYDROSE (AT RATE OF 3,000 LBS PER ACRE). CONTRACTOR TO COMPLETE ALL ABOVE "OUT OF SEASON" REQUIREMENTS AND THEN ALSO BE RESPONSIBLE FOR RE-GRADING AND RE-SODDING ALL DISTURBED, ERODED, OR BARE SPOTS WITHIN NEXT CLOSEST PLANTING SEASON IN FALL OR SPRING.
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- CONTRACTOR RESPONSIBLE FOR WATERING, MOWING, AND RE-SODDING OF LAWN BARE SPOTS UNTIL A UNIFORM, HEALTHY STAND OF GRASS IS ESTABLISHED AND ACCEPTED.
- IF PROPOSED IRRIGATION SYSTEM IS NOT OPERATIONAL, LANDSCAPE CONTRACTOR RESPONSIBLE TO WATER WITH TEMPORARY IRRIGATION OR WATER TRUCKS UNTIL IRRIGATION SYSTEM IS OPERATIONAL



## NORTHEAST NATIVE WILDFLOWER SEED MIX:

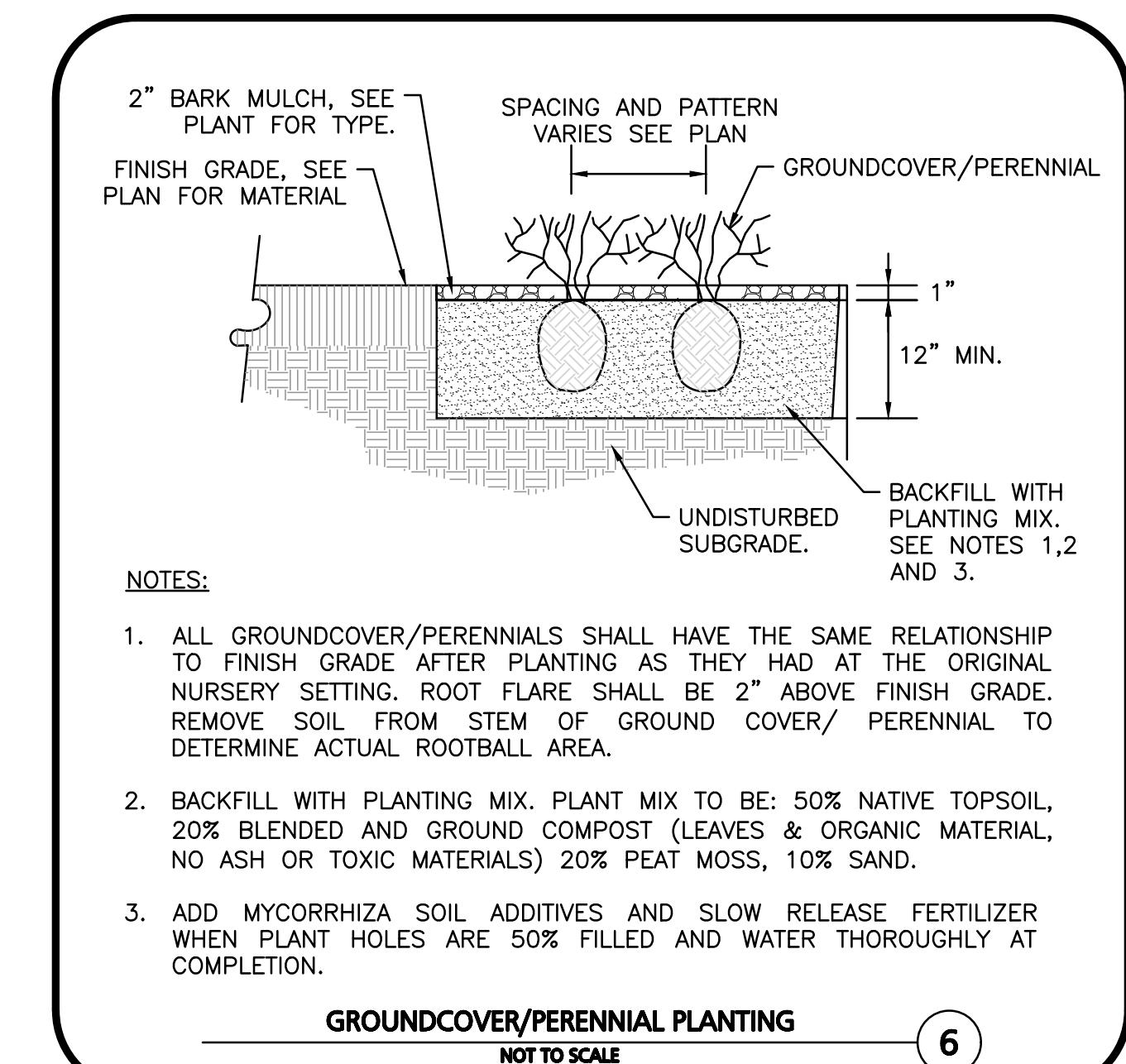
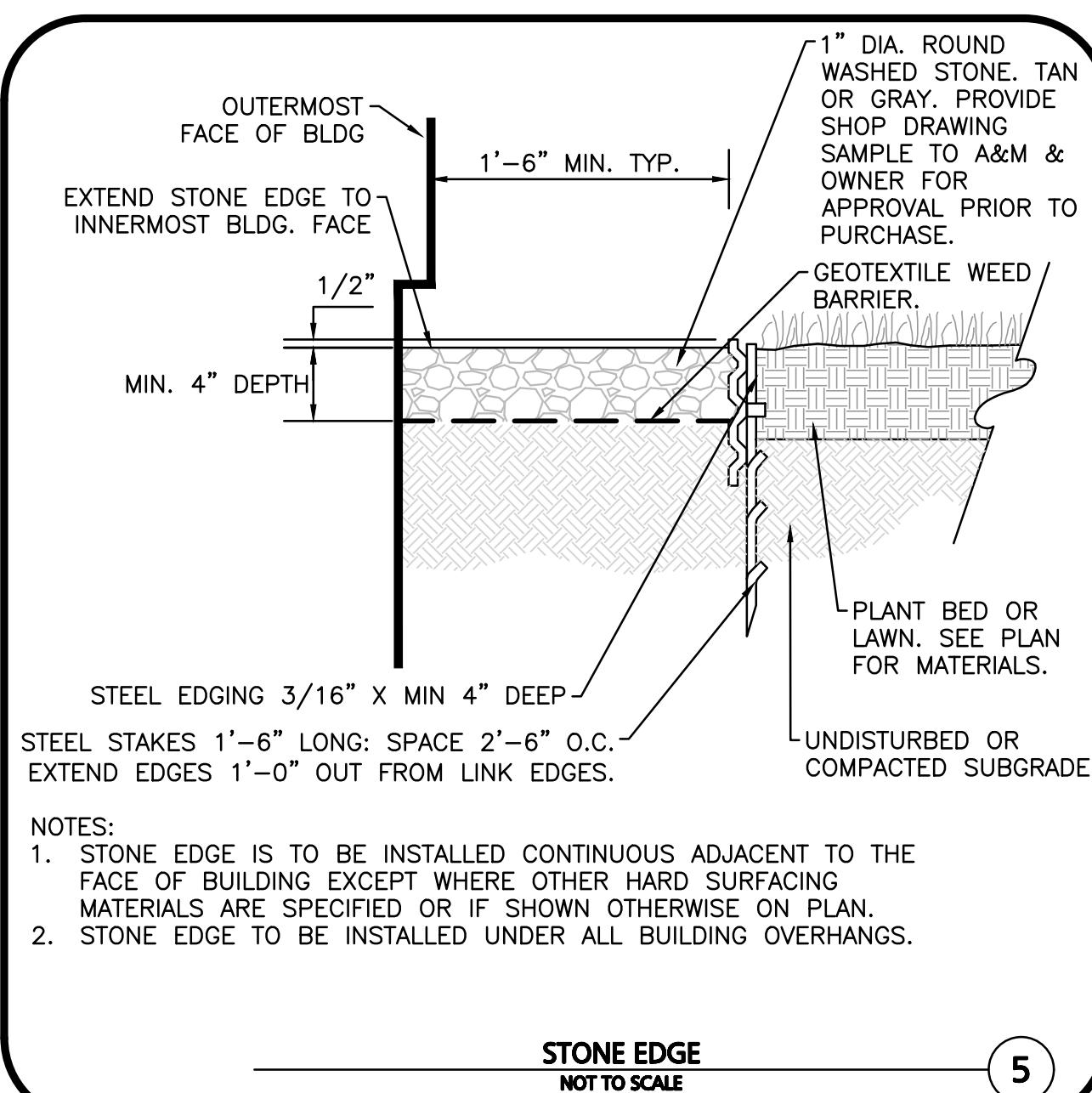
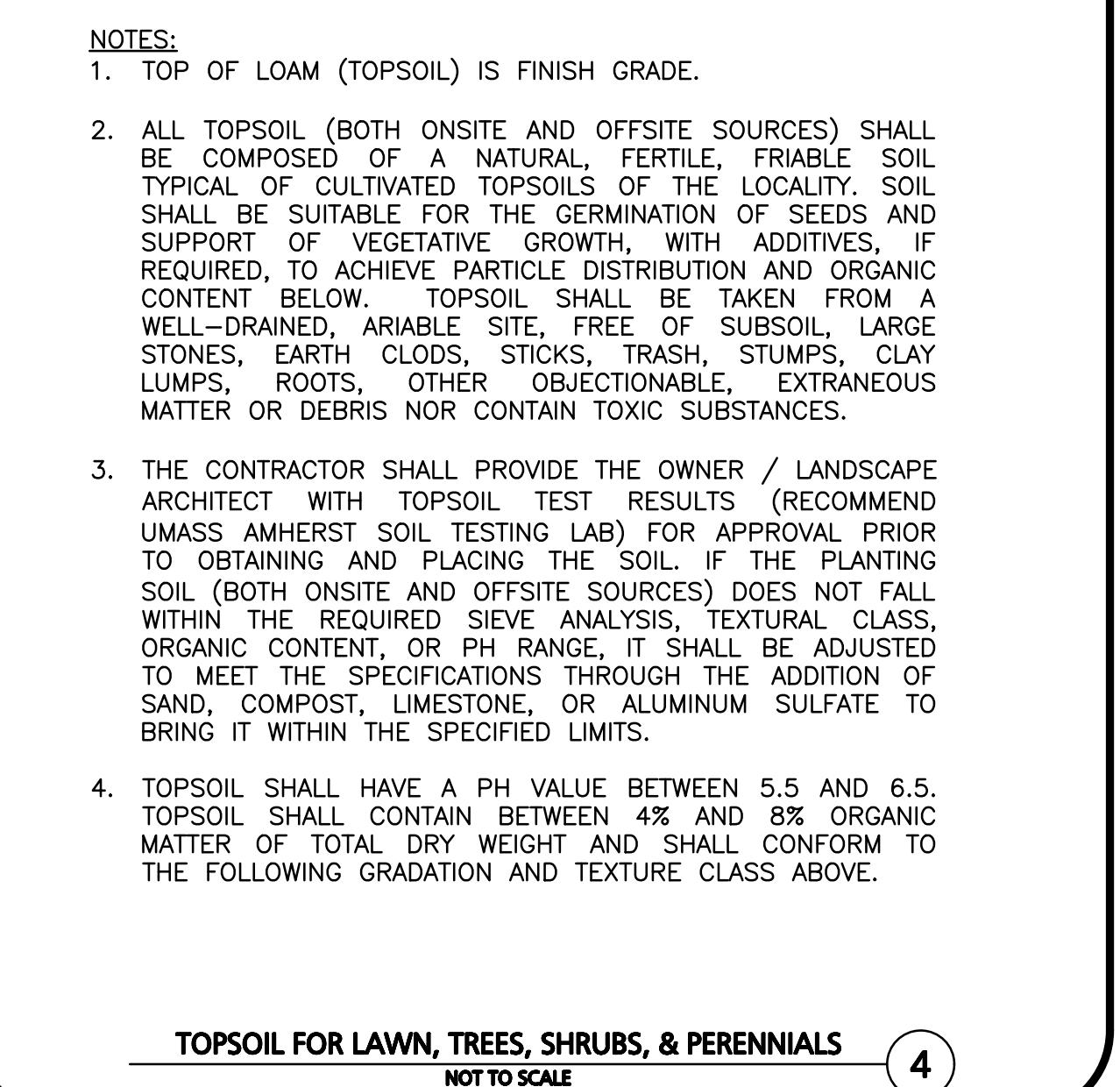
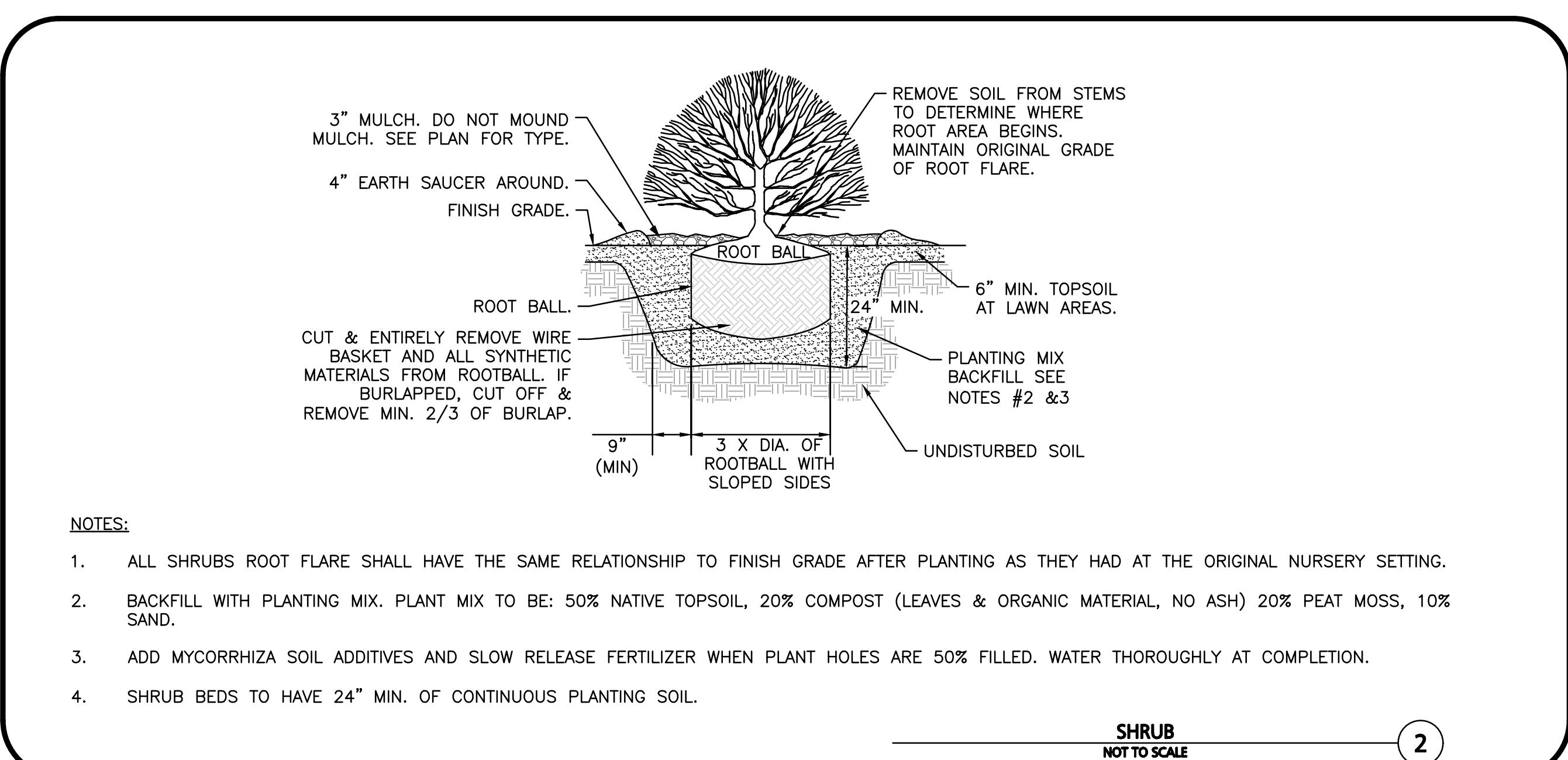
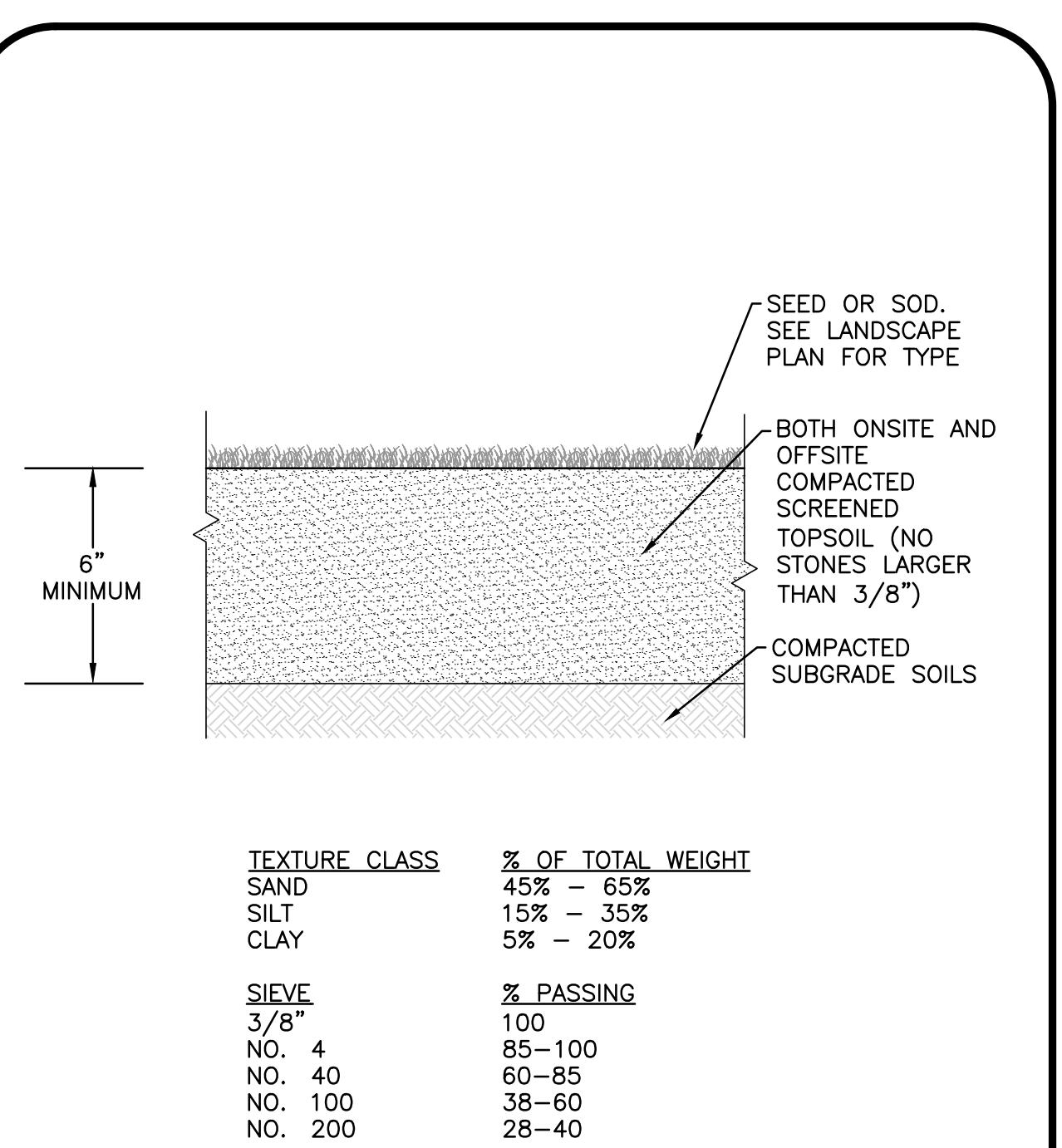
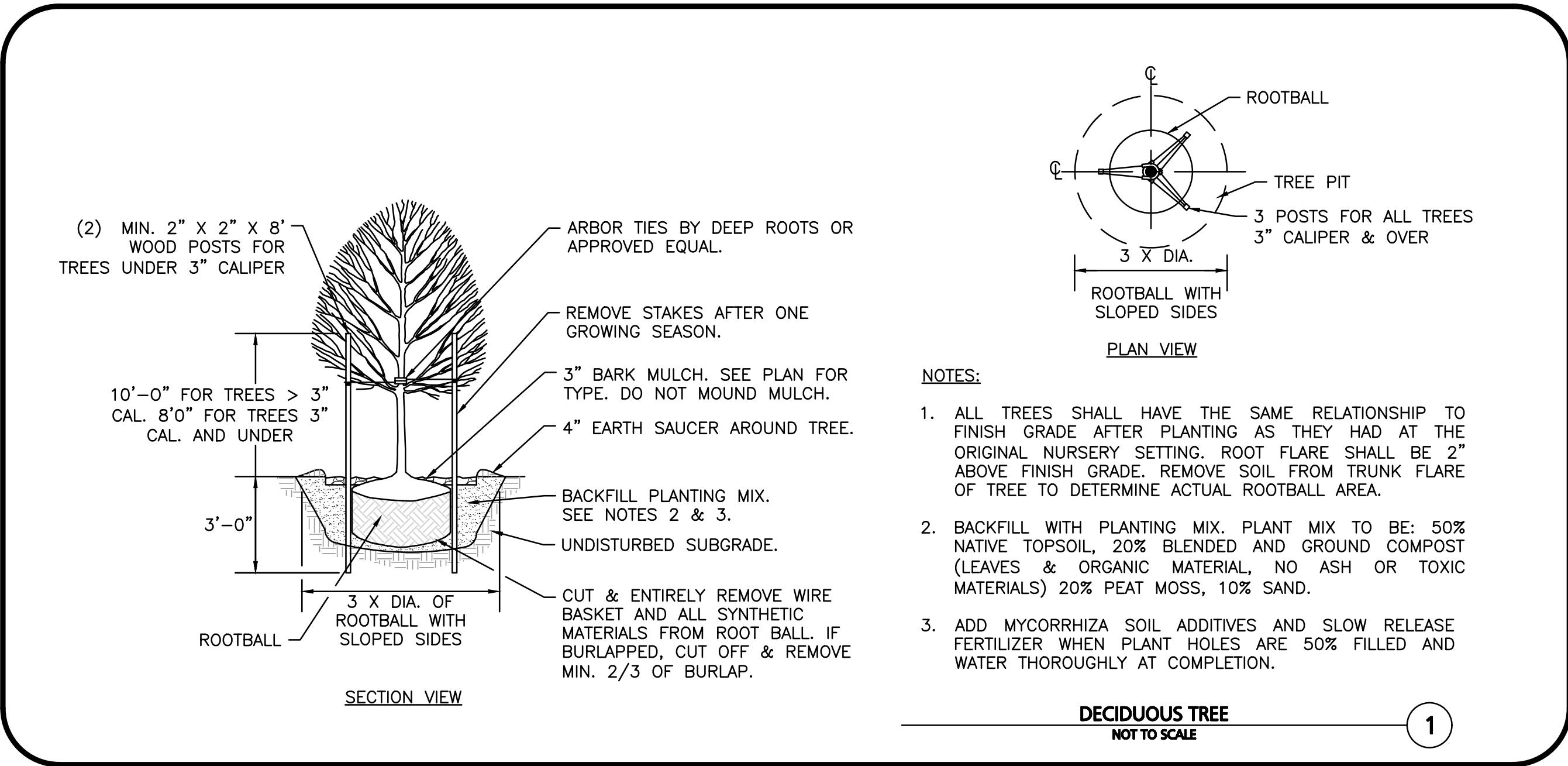
**NORTHEAST NATIVE WILDFLOWER SEED MIX**  
(BY AMERICAN MEADOWS. (WWW.AMERICANMEADOWS.COM))  
APPLICATION RATE: 1000 SQ FT/LB  
Restore native habitat to the landscape by planting the Native Northeast Wildflower Mix. Containing 18 native wildflowers found throughout New England and the mid-Atlantic, including Spotted Joe Pye Weed, Butterfly Weed, Red Columbine and Wild Lupine, this colorful mix is incredibly easy to care for. Best for planting in: CT, DE, MD, MA, ME, NH, NJ, NY, PA, RI, VT, WV, QC and the Eastern Provinces. All of the seed we offer at American Meadows is non-GMO, neonicotinoid-free and guaranteed to grow.

Includes the following species - Lance-leaf Coreopsis, Butterfly Weed, Swamp Milkweed, Eastern Red Columbine, Blazing Star or Gayfeather, Spotted Joe Pyeweed, Indian Blanket, Ox-Eye Sunflower, Black-eyed Susan, Evening Primrose, Sweet Black Eyed Susan, Brown-eyed Susan, Wild Lupine, Wild Bergamot, Blanket Flower, Partridge Pea, Beardtongue, New England Aster, Rigid Goldenrod

Hand packed with 100% pure, fresh wildflower seed (non-GMO & neonicotinoid/chemical free)

Mix of 18 wildflowers including 3 Annuals, 1 Biennial and 14 Perennials with long lasting bloom

Coverage Rate: 1 lb covers 1,000 - 2,000 sq ft or 30 lbs per acre



PROFESSIONAL LANDSCAPE ARCHITECT FOR ALLEN & MAJOR ASSOCIATES, INC.

2 06-27-23 REVISION 2  
1 05-26-23 REVISION 1  
REV DATE DESCRIPTION  
APPLICANT/OWNER:  
SHRI SWAMINE LLC  
PO BOX 2022  
DANVERS, MA 01923  
PROJECT:  
TACO JOHN'S  
436 BROADWAY  
THE VILLAGE MALL  
METHUEN, MA

PROJECT NO. 3115-01A DATE: 03/31/2023  
SCALE: AS SHOWN DWG. NAME: L-3115-01A  
DESIGNED BY: JBT/BCD CHECKED BY: BDJ

PREPARED BY:  
  
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environmental consulting • landscape architecture  
www.allenmajor.com  
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