

September 28, 2021

Community Development Board  
Searles Building  
Room 217  
41 Pleasant Street  
Methuen, MA 01844

CDCI File #: 21-10165  
Special Permit Application  
134 Edgewood Avenue  
Methuen, MA 01844

**Civil Design Consultants, Inc. (CDCI)** is pleased to provide the enclosed Special Permit application for 134 Edgewood Avenue, a two (2) lot residential subdivision proposed at 134 Edgewood Avenue (Assessors ID: 514-140-37) in Methuen, Massachusetts on behalf of Father and Son Construction (the Owner/Applicant). Lots 1 and 2, as illustrated in the Wetland Permitting Plans submitted with this application, conform to the minimum dimensional requirements for the RG – General Residence zoning district. Lot 1 is subject to this special permit request under Section XI-D(11) of the zoning ordinance.

This application has been prepared to address the comments and concerns expressed by the Engineering Department, and the Conservation Commission during the original public hearing. The proposal consists of two (2) residential lots and two private driveways conforming to city standards. This proposal is limited to the creation of one (1) new residential lot and eliminates the need for a roadway. A separate letter has been prepared by this office addressing this applications compliance with all of the requirements of Section XI-D(11.15)d. Seventeen copies of the following information is provided for your review and consideration:

1. Application Compliance Letter prepared by CDCI dated September 28, 2021.
2. Special Permit Application Checklist.
3. Completed Application for Special Permit under the Requirements of the Zoning Ordinance.
4. Application Fee: Check Made Payable to the City of Methuen for \$900.00.
5. Review Fee: Check Made Payable to the City of Methuen for \$5,000.00.
6. Certified Abutters List.
7. 1 set of address labels for each abutter, the applicant, the applicant's engineer and attorney.
8. Wetland Permitting Plans for 134 Edgewood Avenue, prepared by CDCI with a revision date of September 28, 2021.
  - Full Size 24"x36" (9 Sets)
  - Half Size 11"17" (8 Sets)

Finally, due to the limited project review, we respectfully request a waiver from the \$5000 project review fee due to the review already performed with the Notice of Intent Application submitted. We believe this information comprises a complete special permit application and we look forward to meeting with the Board to discuss this project in further detail. If you have any questions or comments, or require additional information, please do not hesitate to contact this office.

Very Truly Yours,

**CIVIL DESIGN CONSULTANTS, INC.**



William Hall, P.E.  
Project Manager

Copy to: Father And Son Construction (1 Copy)  
CDCI File #: 21-10265 (1 Copy)

September 28, 2021



Community Development Board  
Searles Building  
Room 217  
41 Pleasant Street  
Methuen, MA 01844

CDCI File #: 21-10265  
Special Permit Application Compliance Letter  
134 Edgewood Avenue  
Methuen, MA 01844

**Civil Design Consultants, Inc. (CDCI)** is pleased to provide this special permit application compliance letter for 134 Edgewood Avenue, a two (2) lot residential subdivision proposed at #134 Edgewood Avenue (Assessors ID: 514-140-37) in Methuen, Massachusetts on behalf of Father and Son Construction (the Owner/Applicant). Lot 2 as illustrated in the Wetland Permitting Plans submitted with this application, conform to the minimum dimensional requirements for the RG – General Residence zoning district. Lot 1 is subject to this special permit request under Section XI-D(11.15) of the zoning ordinance and have been designed to comply with the requirements as set forth in Section XI-D(11.15)d and as summarized below:

1. *The area of the lot to be divided is three (3) times the minimum lot area in that district;*

The minimum lot area in the RG – General Residential zoning district is 8,000-SF, and therefore the area of lot 1 and 2 must be greater than or equal 24,000-SF. The total area is 42,940-SF (34,686-SF Lot 2 + 8,254-SF Lot 1) as illustrated on Sheet WPP-1 entitled Wetland Permitting Plan. Requirement #1 (Section XI-D(11.15)d.a) is addressed.

2. *The frontage for the lot to be divided is, at a minimum, the frontage required for that district;*

The minimum lot frontage in the RG – General Residential zoning district is 80-FT, and therefore, the frontage of lots 1 and 2 combined must be greater than or equal 80-FT. The frontage of lots 1 and 2 combined is 217-FT (167-FT + 50-FT) as illustrated on Sheet WPP-1 entitled Wetland Permitting Plan. Requirement #2 (Section XI-D(11.15)d.b) is addressed.

3. *The lot to be divided is not split into more than two lots;*

The lot to be divided is split into only two lots, lot 1 and lot 2. Requirement #3 (Section XI-D(11.15)d.c) is addressed.

4. *The two newly created lots each contain the minimum area required for that district;*

The minimum lot area in the RG – General Residential zoning district is 8,000-SF. Lot 2 is 34,686-SF in area and lot 1 is 8,254-SF in area as illustrated on Sheet WPP-1 entitled Wetland Permitting Plan. Requirement #4 (Section XI-D(11.15)d.d) is addressed.

5. *The two newly created lots each have a minimum of fifty (50%) percent of the frontage required for that district, however the frontage is not to be less than fifty (50') feet in any district;*

The minimum lot frontage in the RG – General Residential zoning district is 80-FT, and therefore, a minimum of 50-FT of frontage is required. Lot 2 has 167-FT of frontage and lot 1 has 50-FT of frontage as illustrated on Sheet WPP-1 entitled Wetland Permitting Plan. Requirement #5 (Section XI-D(11.15)d.e) is addressed.

6. *The two newly created lots each have a lot of width of not less than fifty (50') feet at any point between the street and site of the dwelling;*

As illustrated on Sheet WPP-1 entitled Wetland Permitting Plan, no portion of lot 1 or lot 2 has a lot width of less than 50-FT between the street and site of the dwelling. Requirement #6 (Section XI-D(11.15)d.f) is addressed.

7. *The front, side, and rear setbacks for the two newly created lots may be reduced to twenty (20') feet if in the opinion of the Community Development Board this facilitates the highest and best use of the land and limits the overall disturbance of the property. Appropriate screening and buffering as determined by the Community Development Board may be required to protect existing adjacent homes*

As illustrated on Sheet WPP-1 entitled Wetland Permitting Plan, the minimum building setbacks for the RG – General Residential zoning district are provided on each proposed lot, including lot 2. Requirement #7 (Section XI-D(11.15)d.g) is addressed.

We believe this proposals exceeds the minimum requirements for issuance of the special permit under section XI-D(11.15) of the zoning ordinance. We look forward to meeting with the Board to discuss this project in further detail. If you have any questions or comments, or require additional information, please do not hesitate to contact this office.

Very Truly Yours,

**CIVIL DESIGN CONSULTANTS, INC.**



William Hall, P.E.  
Project Manager

Copy to: Father And Son Construction (1 Copy)  
CDCI File #: 21-10265 (1 Copy)

## **APPLICATION CHECKLIST**

**All petitioners must schedule an appointment with the Assistant Director of Planning prior to submission of an application. Please call 978-983-8560 for an appointment.**

All applications must be complete and submitted to the Community Development Office by 12:00 Noon, one week prior to the meeting where the public hearing date is set. Late or incomplete applications will be not appear on the agenda to set the public hearing date.

- Check for fee made payable to The City of Methuen. See Schedule of Administrative Fees
- Check for \$5000 Project Review Fee made payable to City of Methuen (to be returned if waived)
- 16 copies of completed application form
- 9 sets of 2'X 3' plans
- 8 sets of 11"X 17" plans
- 3 sets of Drainage Calculations and Traffic Studies (if required)
- 1 set of 2'X3' plans, a copy of the application, Drainage Calculations, Traffic Studies (if required), and any other pertinent information or correspondence delivered to the Board's consultant: **TEC, 146 Dascomb Road, Andover, MA 01810**  
Any revised plans should also be delivered to TEC during the review process.
- Certified Abutters list from the Assessor's Office (Copies are not permitted)
- 1 set of address labels for each abutter, the applicant, the applicant's engineer & attorney.

The Community Development Office will prepare a legal notice for publication in the Eagle Tribune and to be mailed to abutters. Three weeks prior to the public hearing the applicant must provide proof of publication and submit the postmarked Certificate of Mailing Receipts in order to appear on the agenda.

- CERTIFICATE OF MAILING - PS Form 3665 (the cost will be the cost of two first class stamps)**
  - Each abutter on the Certified Abutters List
  - The applicant
  - The applicant's engineer & attorney
  - The City of Methuen Community Development Board, the Planning Board of each abutting municipality, the Merrimack Valley Regional Planning Commission and the Department of Housing & Community Development  
See attached list of addresses. DO NOT USE CERTIFIED OR GREEN RETURN RECEIPT CARD
- Proof of payment to Eagle Tribune for advertisement of the Public Hearing

### **ADDITIONAL REQUIREMENTS**

#### **SPECIAL PERMIT APPLICATIONS:**

- The first page of the **DECISION** must be mailed by regular 1<sup>st</sup> class mail to each abutter, the applicant, the applicant's engineer & attorney, the Planning Board of each abutting community, the Merrimack Valley Regional Planning Commission and the Department of Housing & Community Development. Please notify the Community Development Dept. by email when you have mailed the decision. Certificate of Mailing is not required. See attached list of addresses.

#### **ZONING AMENDMENT APPLICATIONS:**

- Copies of the **ORDINANCE** must be mailed as described in the Special Permit requirements above.
- A legal notice advertising a favorable decision must be posted in the Eagle Tribune.

**Building permits will not be issued without proof of mailing and/or advertisement of Decision**



**CITY OF METHUEN, MASSACHUSETTS  
COMMUNITY DEVELOPMENT BOARD**

**APPLICATION FOR SPECIAL PERMIT UNDER THE  
REQUIREMENTS OF THE ZONING ORDINANCE**

**This form must be typewritten**

APPLICANT:
ADDRESS:

1. Application is hereby made for a Special Permit under Section(s) \_\_\_\_\_

Paragraph(s) \_\_\_\_\_ of the Zoning By-Laws.

2. Assessor Parcel ID of all affected parcels, location and general description of property bounded and described as follows:

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b. Premises affected are in Zoning District \_\_\_\_\_.

3. Ownership:

a. Name and address of owner (if joint ownership, give all names):

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b. If applicant is not owner, check his/her interest in the premises:

	Prospective Purchaser Name	Address
	Lessee Name	Address
	Other Explain:	

## 4. General description of structure(s) and outline specifications \*

Site:
Site Amenities:
Exterior Building Construction:
Interior Building Construction:

Refer to plans numbered: \_\_\_\_\_ submitted with this application.

5. Has there been a previous petition, under zoning, on these premises: \_\_\_\_\_.

If so, when: \_\_\_\_\_.

6. Deed recorded in Registry of Deeds in: Book: \_\_\_\_\_, Page: \_\_\_\_\_ or

Land Court Certificate Number: \_\_\_\_\_, Book: \_\_\_\_\_ Page \_\_\_\_\_.

7. How does the special permit meet the general requirements of Section XI-C of the Zoning Ordinance?  
(answer all sub-section and paragraphs in a separate report).


\* (Have additional sheets if necessary)

8. How does the special permit meet the general requirements of Section XI-D? (answer all paragraphs pertaining to requirements in a separate report).

I agree to pay for advertising in newspaper and incidental expenses:

APPLICANT(S) SIGNATURE:

Todd Fitzgerald  
TODD FITZGERALD

Print Name

Print Name



Patriot Properties

514-140-37  
134 Edgewood Ave  
Community Development

## Methuen

09/15/2021

### Abutters List

11:48:33AM

**Filter Used:** DataProperty.AccountNumber in  
(26664,26674,26687,101893,26583,26610,26611,101882,26584,26582,26585,26608,26609,101953,100580,100614,101952,26662,26586,26606,26607)

21 SEP 15 PM 12:11

Certified Abutter's List  
Assessor's Office

***Subject Parcel ID:***

***Subject Property Location:***

ParcelID	Location	Owner	Co-Owner	Mailing Address	City	State	Zip
514-140-34	11 EDGEWOOD TER	MAYORGA JORGE A		11 EDGEWOOD TER	METHUEN	MA	01844
514-140-35	7 EDGEWOOD TER	LOTITO DAVID J	LYNCH DOREEN J	7 EDGEWOOD TER	METHUEN	MA	01844
514-140-36	130 EDGEWOOD AVE	KENNEY J RUSSELL	KENNEY GAIL P	130 EDGEWOOD AVE	METHUEN	MA	01844-2431
514-140-37	134 EDGEWOOD AVE	FITZGERALD TODD TR	FATHER AND SON REALTY	85 SOUTH MAIN ST	NEWTON	NH	03858
514-140-38	144 EDGEWOOD AVE	WOOD BRENDA L	SOUCIE JEFFREY M	144 EDGEWOOD AVE	METHUEN	MA	01844-2431
514-140-51G	245 B OAKLAND AVE LT 1	TAIB NAIMA	KAOUKAB ABDALLAH	245 B OAKLAND AVE	METHUEN	MA	01844
514-140-51H	245 A OAKLAND AVE LT 2	SONAALLAH DALAL		245R OAKLAND AVE	METHUEN	MA	01844
514-140-51J	235 OAKLAND AVE 1	GUSTAFSON CHRISTOPHER		235 OAKLAND AVE	METHUEN	MA	01844-2435
514-140-51JMC	233 235 OAKLAND AVE	WRIGHT JAMES W JR	WRIGHT JEFFREY J	25 COX LN	METHUEN	MA	01844
514-140-51K	233 OAKLAND AVE 2	MILLER JONATHAN P		233 OAKLAND AVE	METHUEN	MA	01844-2435
514-140-52A	146 EDGEWOOD AVE 1	FINNEGAN CHRISTOPHER J		146 EDGEWOOD AVE UNIT 1	METHUEN	MA	01844-2431
514-140-52AMC	146 148 EDGEWOOD AVE	EDGEWOOD & OAKLAND LTD PR		30 RIVER ST	METHUEN	MA	01844
514-140-52B	148 EDGEWOOD AVE 2	LEAHY DAVID		148 EDGEWOOD AVE UNIT 2	METHUEN	MA	01844-2431
514-140-54A	229 OAKLAND AVE 2	SOUTHER LISA M		229 OAKLAND AVENUE	METHUEN	MA	01844
514-140-54AMC	229 231 OAKLAND AVE	ASHER DEVELOPMENT & HOMES		30 COPEY DR	METHUEN	MA	01844-7702
514-140-54B	231 OAKLAND AVE A	CLEMENS JOHN	CLEMENS NANCY	231 OAKLAND AVE	METHUEN	MA	01844
514-146-41	145 EDGEWOOD AVE	PERRON PATRICIA A		145 EDGEWOOD AVE	METHUEN	MA	01844-2463
514-146-42	133 EDGEWOOD AVE	PATTERSON MICHAEL J	PATTERSON DAWN M	133 EDGEWOOD AVE	METHUEN	MA	01844
514-146-47D	18 PENOBSCOTT CIR 2	LACASSE RICHARD D TR	LACASSE LINDA D TR	18 PENOBSCOTT CIR	METHUEN	MA	01844
514-146-47DD	20 PENOBSCOTT CIR 1	LEPINE RICHARD		757 BRIDGE ST	LOWELL	MA	01850-2068
514-146-47DMC	18 20 PENOBSCOTT CIR	CORSETTI ROBERT J	WRIGHT JAMES W JR TRS	43 TOLEND RD	DOVER	NH	03820

Parcel Count: **21**

***End of Report***

11	EDGEGOOD TIR	514-140-34	LUC: 101	146	EDGEGOOD AVE 1	514-140-52A	LUC: 996	1820 PENOBSCOTT CIR	514-146-47DMC
LOTITO DAVID J				146	EDGEGOOD AVE	514-140-52AMC	LUC: 996		
LYNCH DOREEN J				EDGEGOOD & OAKLAND LTD PRTSP					
7 EDGEGOOD TIR				30 RIVER ST					
METHUEN, MA 01844				METHUEN, MA 01844					
130	EDGEGOOD AVE	514-140-36	LUC: 101	148	EDGEGOOD AVE 2	514-140-52B	LUC: 102		
KENNEY J RUSSELL				LEAHY DAVID					
KENNEY GAIL P				148 EDGEGOOD AVE UNIT 2					
130 EDGEGOOD AVE				METHUEN, MA 01844-2431					
METHUEN, MA 01844									
134	EDGEGOOD AVE	514-140-37	LUC: 101	229	OAKLAND AVE 2	514-140-54A	LUC: 102		
WOOD BRENDA L				SOUTHER LISAM					
SOUICIE JEFFREY M				229 OAKLAND AVENUE					
144 EDGEGOOD AVE				METHUEN, MA 01844					
METHUEN, MA 01844-2431									
245 B OAKLAND AVE LT 1		514-140-51G	LUC: 102	231	OAKLAND AVE A	514-140-54B	LUC: 996		
TAIB NAIMA				CLEMENS JOHN					
KAOUKAB ABDALLAH				CLEMENS NANCY					
245 B OAKLAND AVE				231 OAKLAND AVE					
METHUEN, MA 01844				METHUEN, MA 01844					
245 A OAKLAND AVE LT 2		514-140-51H	LUC: 102	145	EDGEGOOD AVE	514-146-41	LUC: 101		
SONAVALLAH DALAL				PERRON PATRICIA A					
245B OAKLAND AVE				145 EDGEGOOD AVE					
METHUEN, MA 01844				METHUEN, MA 01844-2463					
235 OAKLAND AVE 1		514-140-51J	LUC: 102	133	EDGEGOOD AVE	514-146-42	LUC: 101		
GUJSTAFSON CHRISTOPHER				PATTERSON MICHAEL J					
235 OAKLAND AVE				PATTERSON DAWN M					
METHUEN, MA 01844-2435				133 EDGEGOOD AVE					
233 235 OAKLAND AVE		514-140-51MC	LUC: 996	18	PENOBSCOTT CIR 2	514-146-47D	LUC: 102		
WRIGHT JAMES W JR				LACASSE RICHARD D TR					
WRIGHT JEFFREY J				LACASSE LINDA D TR					
25 COX LN				18 PENOBSCOTT CIR					
METHUEN, MA 01844				METHUEN, MA 01844					
233 OAKLAND AVE 2		514-140-51K	LUC: 102	20	PENOBSCOTT CIR 1	514-146-47DD	LUC: 102		
MILLER JONATHAN P				LEPINNE RICHARD					
233 OAKLAND AVE				757 BRIDGE ST					
METHUEN, MA 01844-2435				LOWELL, MA 01850-2068					

MAYORGA JORGE A  
11 EDGEWOOD TER  
METHUEN, MA 01844

LOTITO DAVID J  
LYNCH DOREEN J  
7 EDGEWOOD TER  
METHUEN, MA 01844

KENNEY J RUSSELL  
KENNEY GAIL P  
130 EDGEWOOD AVE  
METHUEN, MA 01844-2431

FITZGERALD TODD TR  
FATHER AND SON REALTY TR 2017  
85 SOUTH MAIN ST  
NEWTON, NH 03858

WOOD BRENDA L  
SOUCIE JEFFREY M  
144 EDGEWOOD AVE  
METHUEN, MA 01844-2431

TAIB NAIMA  
KAOUKAB ABDALLAH  
245 B OAKLAND AVE  
METHUEN, MA 01844

SONAALLAH DALAL  
245R OAKLAND AVE  
METHUEN, MA 01844

GUSTAFSON CHRISTOPHER  
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METHUEN, MA 01844-2435

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WRIGHT JEFFREY J  
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METHUEN, MA 01844

MILLER JONATHAN P  
233 OAKLAND AVE  
METHUEN, MA 01844-2435

FINNEGAN CHRISTOPHER J  
146 EDGEWOOD AVE UNIT 1  
METHUEN, MA 01844-2431

EDGEWOOD & OAKLAND LTD PRTSP  
30 RIVER ST  
METHUEN, MA 01844

LEAHY DAVID  
148 EDGEWOOD AVE UNIT 2  
METHUEN, MA 01844-2431

SOUTHER LISA M  
229 OAKLAND AVENUE  
METHUEN, MA 01844

ASHER DEVELOPMENT & HOMES INC  
30 COPLEY DR  
METHUEN, MA 01844-7702

CLEMENS JOHN  
CLEMENS NANCY  
231 OAKLAND AVE  
METHUEN, MA 01844

PERRON PATRICIA A  
145 EDGEWOOD AVE  
METHUEN, MA 01844-2463

PATTERSON MICHAEL J  
PATTERSON DAWN M  
133 EDGEWOOD AVE  
METHUEN, MA 01844

LACASSE RICHARD D TR  
LACASSE LINDA D TR  
18 PENOBSCOTT CIR  
METHUEN, MA 01844

LEPINE RICHARD  
757 BRIDGE ST  
LOWELL, MA 01850-2068

CORSETTI ROBERT J  
WRIGHT JAMES W JR TRS  
43 TOLEND RD  
DOVER, NH 03820

**APPLICANT**  
Father And Son Construction  
85 South Main Street  
Newton, NH 03858

**APPLICANT'S ENGINEER**  
CIVIL DESIGN CONSULTANTS INC.  
344 NORTH MAIN STREET  
ANDOVER, MA 01810

**APPLICANT'S ATTORNEY**  
N/A

The City of Methuen Community  
Development Board  
41 Pleasant St #217  
Methuen, MA 01844

Haverhill Planning Board  
4 Summer St # 201  
Haverhill, MA 01830

North Andover Planning Board  
120 Main Street  
North Andover, MA 01845

Lawrence Planning Board  
200 Common Street  
Lawrence, MA 01840

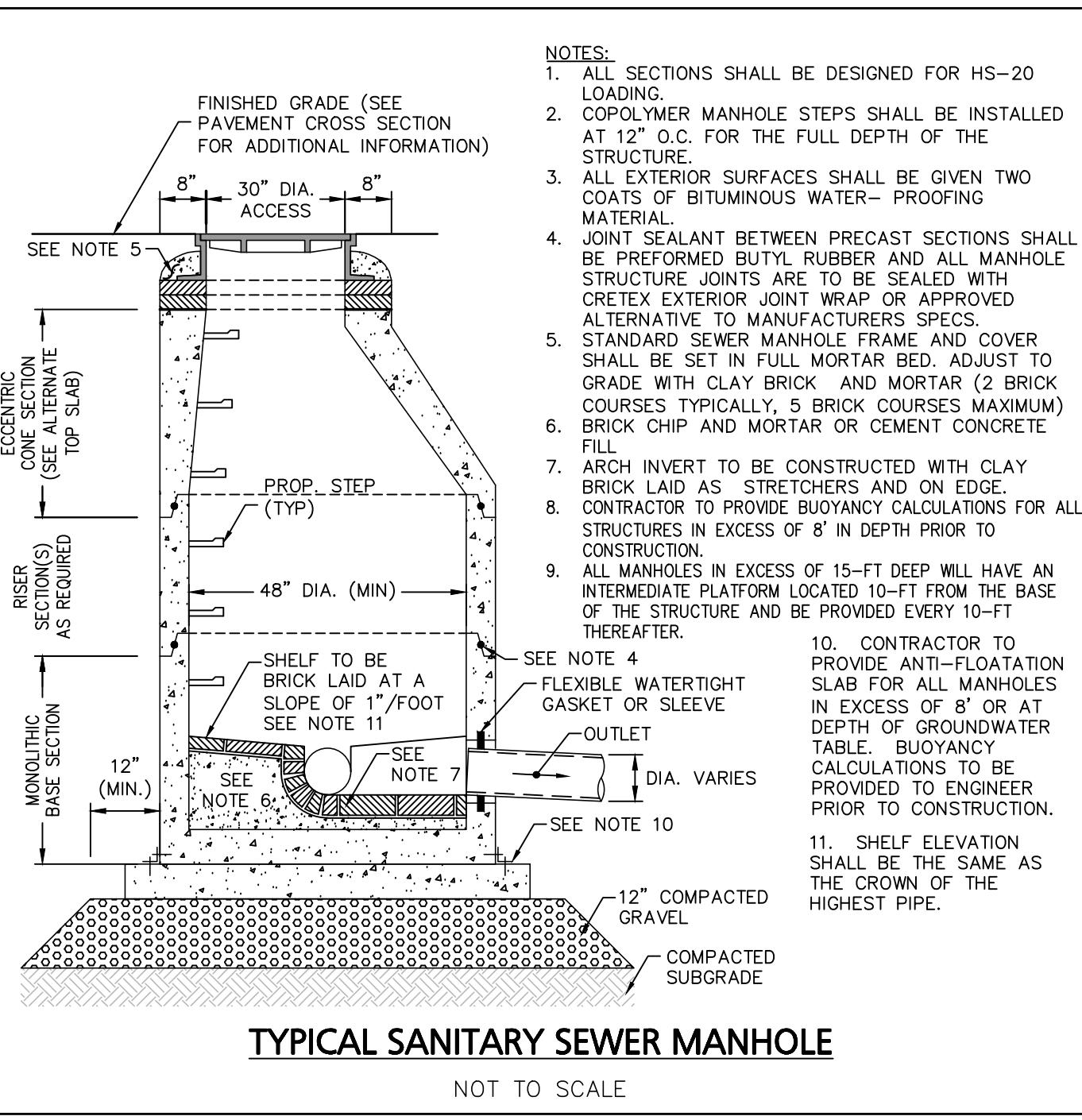
Andover Planning Board  
36 Bartlet Street  
Andover, MA 01810

Dracut Planning Board  
11 Spring Park Ave  
Dracut, MA 01826

Pelham Planning Board  
6 Village Green  
Pelham, NH 03076

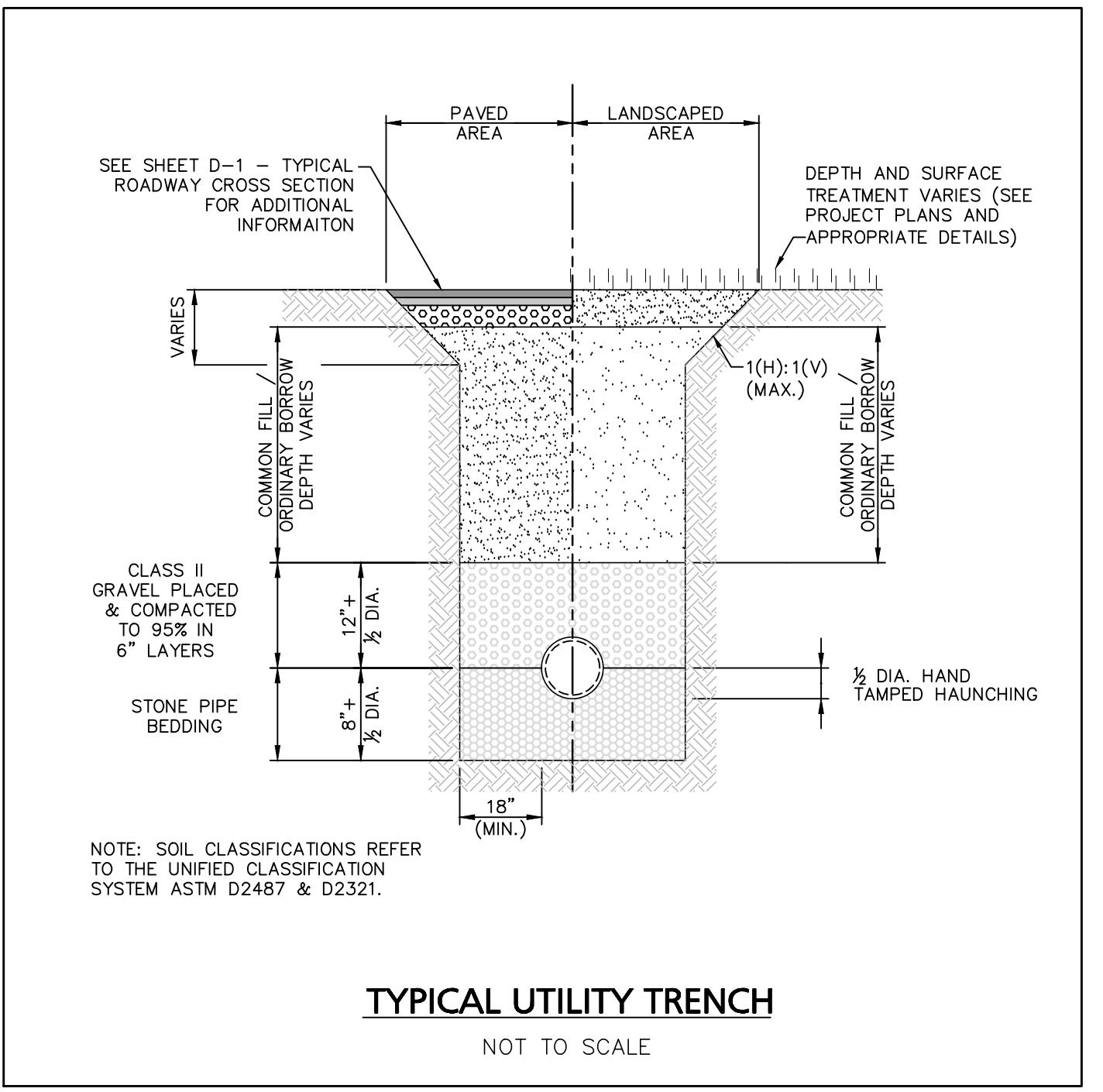
Salem Planning Board  
33 Geremonty Drive  
Salem, NH 03079





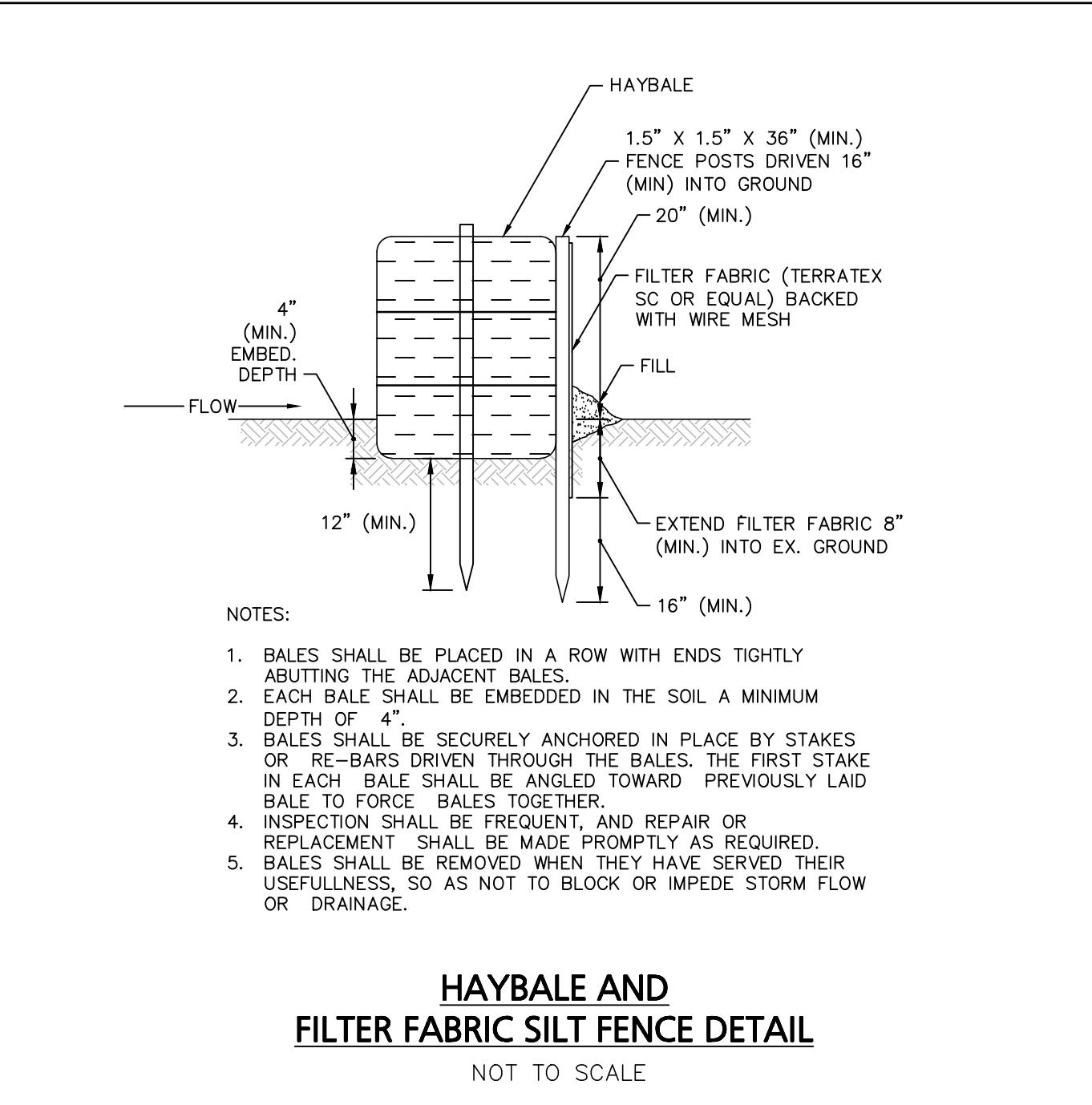
## **TYPICAL SANITARY SEWER MANHOLE**

NOT TO SCALE



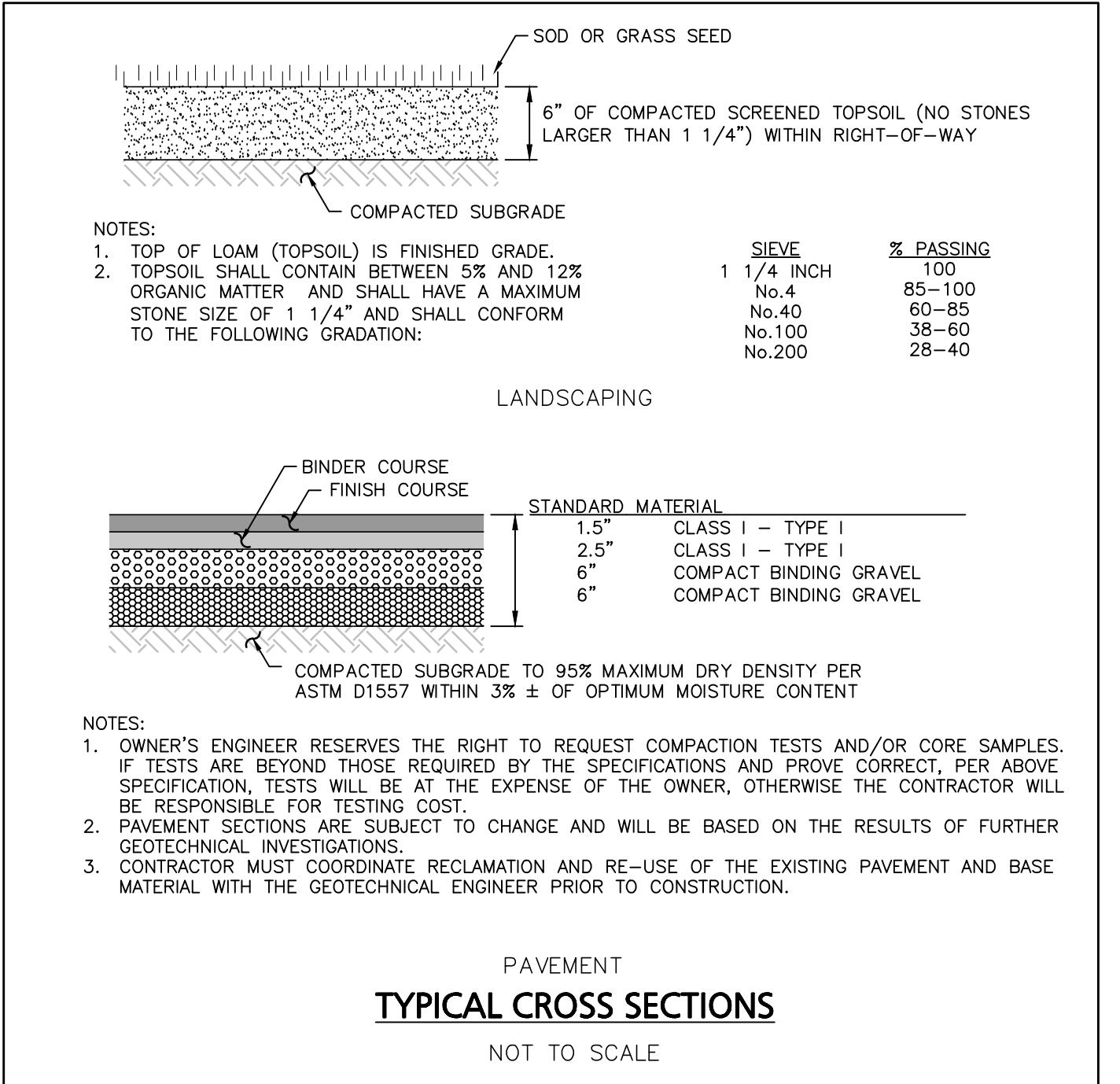
## TYPICAL UTILITY TRENCH

NOT TO SCALE



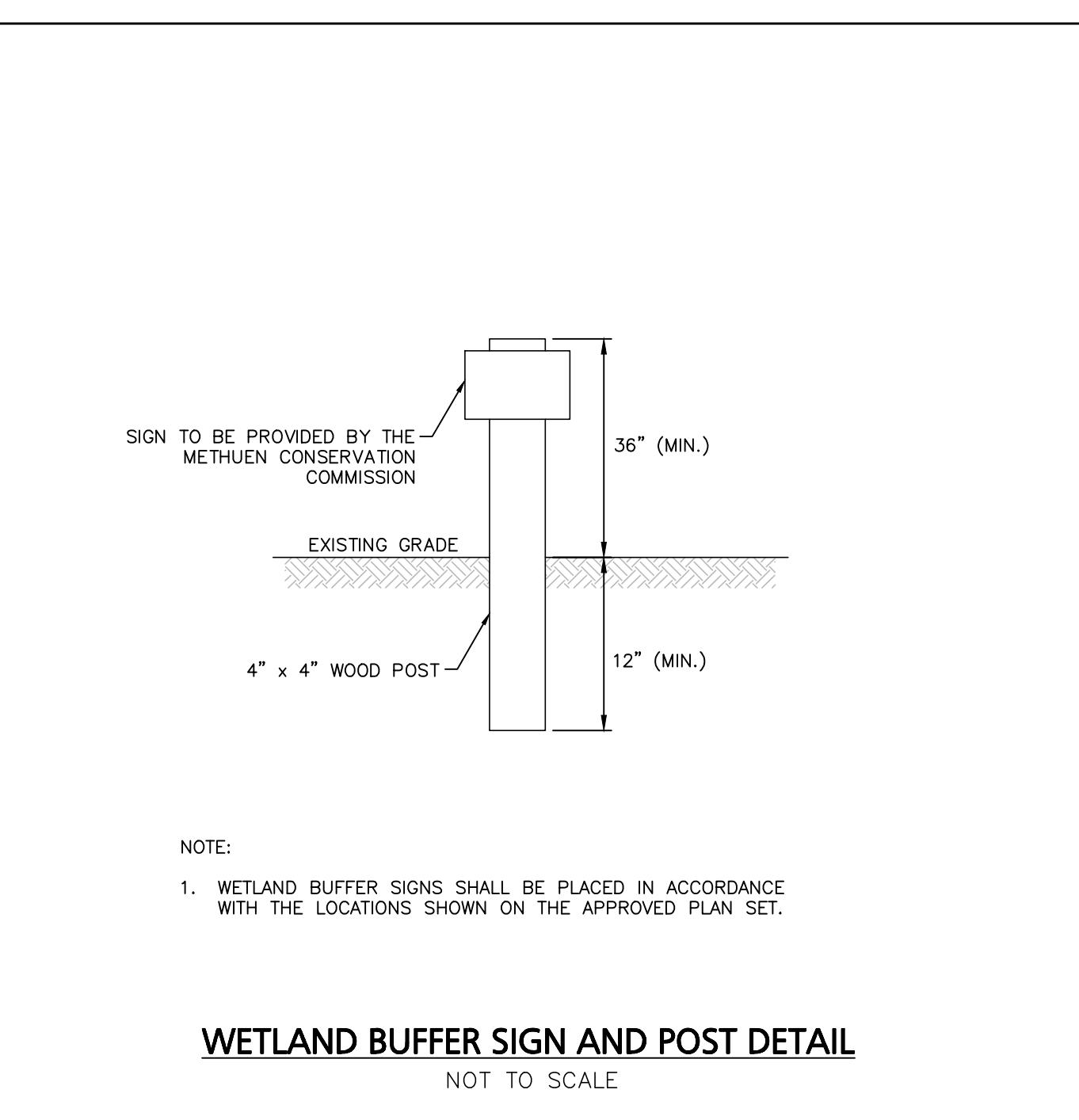
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NOT TO SCALE



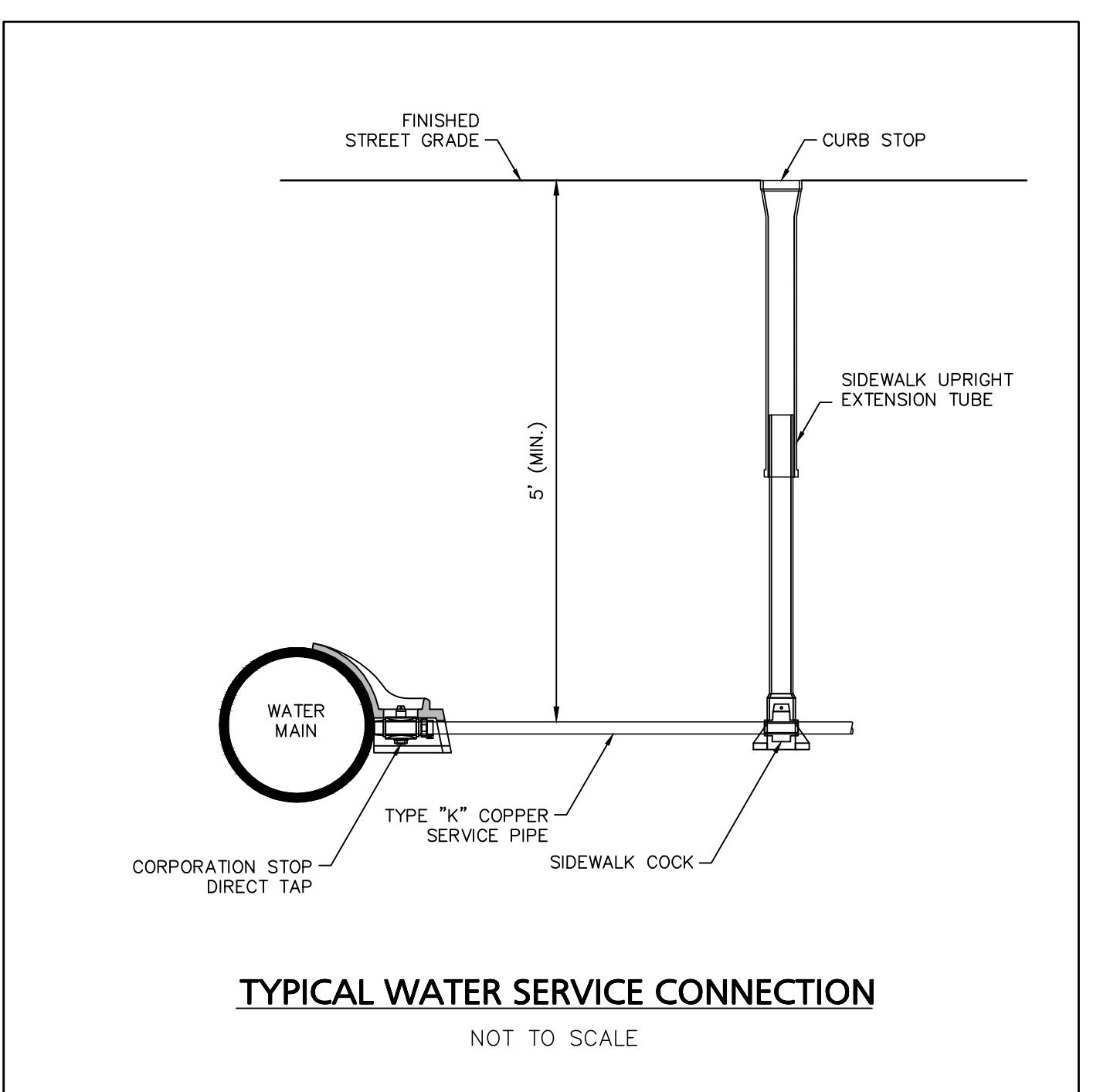
## PAVEMENT TYPICAL CROSS SECTIONS

NOT TO SCALE



## WETLAND BUFFER SIGN AND POST DETAIL

NOT TO SCALE



## **TYPICAL WATER SERVICE CONNECTION**

NOT TO SCALE

09/28/21	REV. FOR CDB SUBMISSION
09/09/21	REV. PER CON. COM.
DATE	DESCRIPTION
REVISIONS	
PREPARED FOR: <b>FATHER AND SON CONSTRUCTION</b> 85 SOUTH MAIN STREET NEWTON, NH 03858	
PROJECT: <b>134 EDGEWOOD AVENUE</b> METHUEN, MA 01844	
DATE ISSUED:	JULY 9, 2021
PROJECT #:	21-10265
PREPARED BY:	TWS
	
PROFESSIONAL ENGINEER FOR CIVIL DESIGN CONSULTANTS, INC.	
 <b>CIVIL DESIGN</b> <b>Consultants, Inc.</b>	
SURVEY • DESIGN • PERMITTING • CONSTRUCTION ADMINISTRATION	
344 North Main Street Andover, MA 01810	Tel: (978) 416-0920 Fax: (978) 416-7865
DRAWING TITLE: <b>CONSTRUCTION DETAILS</b>	
DRAWING #:	