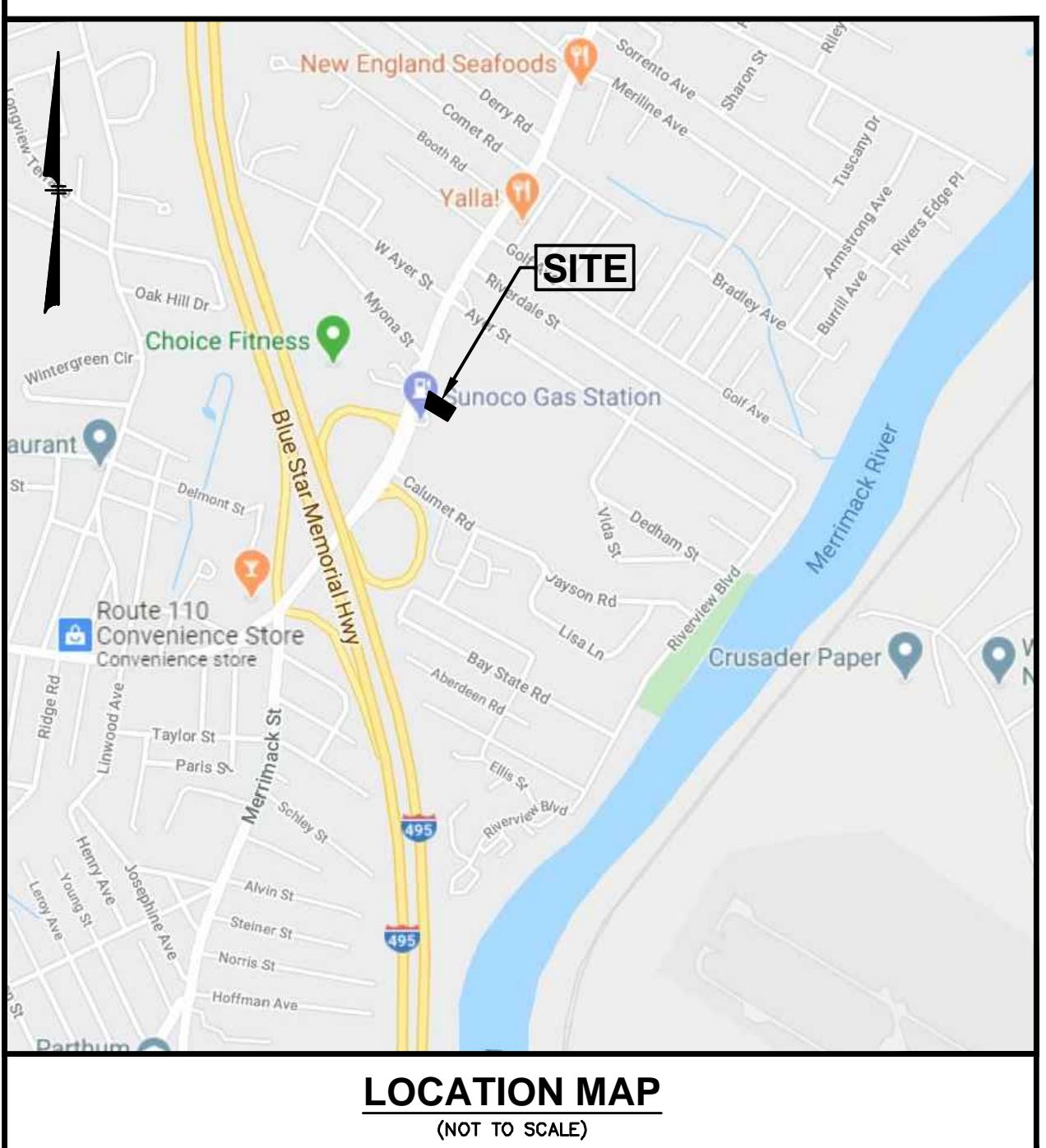


PROPOSED SITE RE-DEVELOPMENT PLANS
for
YE'S TABLE ASIAN CUISINE
METHUEN PARCEL ID 1113-109W-19
125 MERRIMACK STREET
METHUEN, MASSACHUSETTS 01844



Prepared for:



INDEX TO DRAWINGS

1. **TITLE SHEET**
2. **EXISTING CONDITIONS PLAN**
3. **DEMOLITION PLAN**
4. **SITE PLAN**
5. **GRADING & DRAINAGE PLAN**
6. **UTILITY PLAN**
7. **EROSION & SEDIMENT CONTROL PLAN**
8. **LANDSCAPE PLAN**
9. **DETAIL SHEET**
10. **DETAIL SHEET**
11. **DETAIL SHEET**
- 1 OF 1. **LIGHTING PLAN (BY OTHERS)**
- 1 OF 1. **FLOOR PLAN & ELEVATIONS (BY OTHERS)**
- 1 OF 1. **LADDER TRUCK TURN PLAN**
- 1 OF 1. **TRASH TRUCK TURN PLAN**

TITLE SHEET

SCALE:
NOT TO SCALE

PROJECT NO.
NEX-2020159

1 OF 12



REVISIONS	
REVISE SHEETS 1,3-11, ADD SHEET 12 & TRUCK TURN PLANS	5/21/2021
REVISION	DATE
APRIL 7, 2021	
WN/DESIGN BY	CHECKED BY
CCC/DR J	DR J

TITLE SHEET

E: **NOT TO SCALE**

JECT NO. **NEX-2020159**

1 OF 12

125 MERRIMACK STREET
METHUEN, MA 01844

A circular notary seal with a decorative border. The text "NOTARY PUBLIC" is at the top, "MASSACHUSETTS" is in the center, and "RECEIVED" is at the bottom. The name "DAVID R. JORDAN" is in the middle, with "No. 38710" below it. The words "REGISTERED" and "SIGNAL LAND SURVEYOR" are on the left side. A signature is at the bottom.

REVISIONS

NO.	REVISION	DATE
APRIL 7, 2021		
DRAWN/DESIGN BY CCC/DRJ		CHECKED BY DRJ

EXISTING CONDITIONS PLAN

SCALE:

NO.
NEX-2020159

2 OF 12

NOTES:

NOTES:

1) ZONE: HIGHWAY BUSINESS DISTRICT (BH)
MIN. LOT SIZE: 10,000 Sq.Ft.
MIN. LOT FRONTRAGE: 100 Ft.
SETBACKS:
FRONT 25 Ft.
SIDE 30 Ft.
REAR 30 Ft.

REFER TO THE CITY OF METHUEN ZONING ORDINANCE FOR VERIFICATION, ADDITIONAL RESTRICTIONS AND PERMITTED USES. THE ZONING INFORMATION SHOWN HEREON IS BASED ON A REVIEW OF THE METHUEN ZONING ORDINANCE.

2) THIS PLAN IS THE RESULT OF AN ON-THE-GROUND FIELD SURVEY PERFORMED BY THIS OFFICE BETWEEN AUGUST 3 AND AUGUST 10, 2020.

3) WETLAND FLAGS WERE DELINEATED BY NORSE ENVIRONMENTAL SERVICES ON AUGUST 3, 2020 AND LOCATED BY THIS OFFICE.

4) BEARINGS SHOWN HEREON ARE BASED ON NAD83 PER GPS OBSERVATIONS PERFORMED BY THIS OFFICE ON AUGUST 10, 2020.

5) ELEVATIONS SHOWN HEREON ARE BASED ON NAVD88 PER GPS OBSERVATIONS PERFORMED BY THIS OFFICE ON AUGUST 10, 2020.

6) LOCATION OF UNDERGROUND UTILITIES IS APPROXIMATE ONLY. ADDITIONAL UNDERGROUND UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED. INVERTS ARE LISTED IN A CLOCKWISE DIRECTION ENDING WITH THE INVERT OUT (UNLESS OTHERWISE NOTED).

7) THE SURVEY TRACT IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA (100 YEAR FLOOD) PER FLOOD INSURANCE RATE MAP NUMBER 25009C0207F, WITH AN EFFECTIVE DATE OF JULY 3, 2012.

8) A TOTAL OF 25 (23 REGULAR, 2 ACCESSIBLE) CLEARLY IDENTIFIABLE PARKING SPACES WERE OBSERVED IN CONDUCTING THIS SURVEY.

<u>LEGEND</u>	
SGC	SLOPED GRANITE CURB
VGC	VERTICAL GRANITE CURB
VCC	VERTICAL CONCRETE CURB
SSLY	SINGLE SOLID LINE YELLOW
SSLW	SINGLE SOLID LINE WHITE
SDLW	SINGLE DASHED LINE WHITE
G	GAS LINE
W	WATER LINE
E	UNDERGROUND ELECTRIC
—○—○—	METAL GUARDRAIL
—○—○—	CHAIN LINK FENCE
—/—/—/—	POST & RAIL FENCE
— 90 —	CONTOUR ELEVATION
 	TREE
	SIGN
	SPOT ELEVATION
	DRAIN MANHOLE
	CATCH BASIN
	ROOF DRAIN
	SEWER MANHOLE
	MANHOLE
	GAS VALVE
	WATER VALVE
	WATER SHUT OFF
	FIRE HYDRANT
°	BOLLARD
	GAS METER
	LIGHT POLE
	UTILITY POLE
	WOOD GUARDRAIL
— — — —	OVERHEAD WIRE
~~~~~	TREELINE
— — — —	PROPERTY LINE
— — — —	ABUTTER PROPERTY LINE
— — — —	BUILDING SETBACK
••••••••••••	WETLAND LINE
— — — —	WETLAND SETBACK

**PLAN REFERENCES:**  
ESSEX COUNTY (NORTH) REGISTRY OF DEEDS

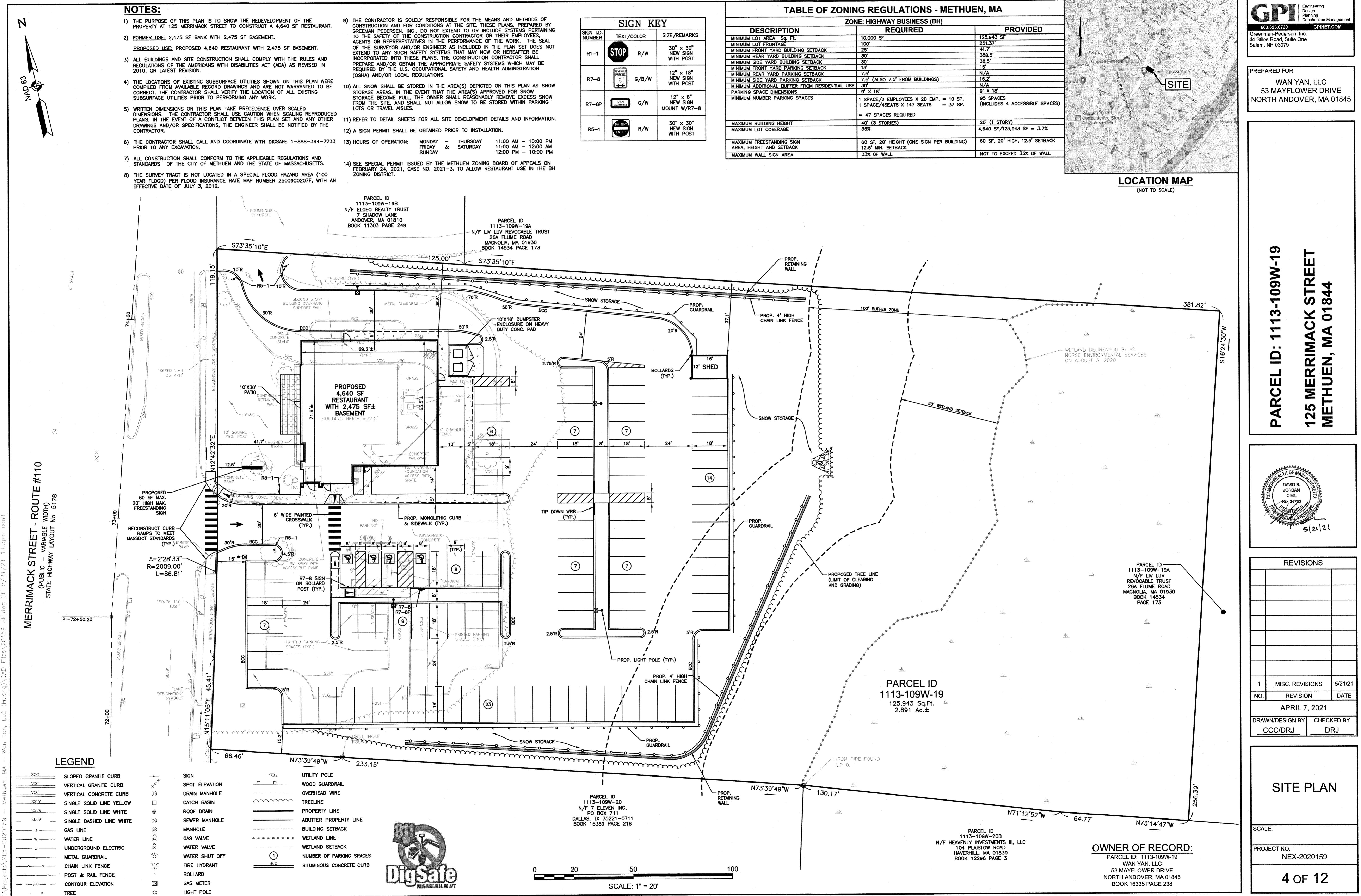
- 1) PLAN 3678
- 2) PLAN 5009
- 3) PLAN 5434
- 4) PLAN 6584
- 5) PLAN 16500
- 6) STATE HIGHWAY LAYOUT 482
- 7) STATE HIGHWAY LAYOUT 2399
- 8) STATE HIGHWAY LAYOUT 3258
- 9) STATE HIGHWAY LAYOUT 5178
- 10) STATE HIGHWAY LAYOUT 5198

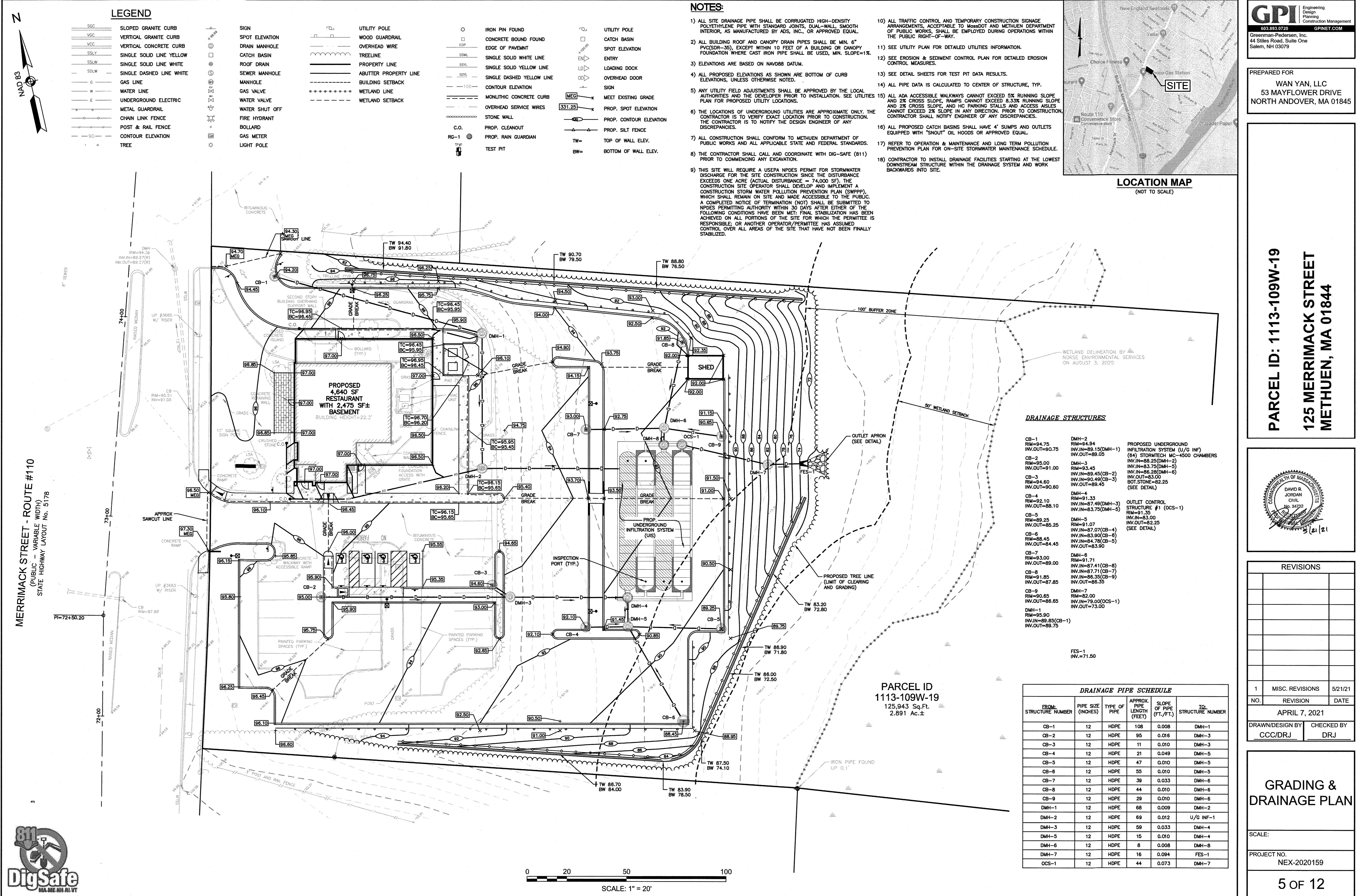
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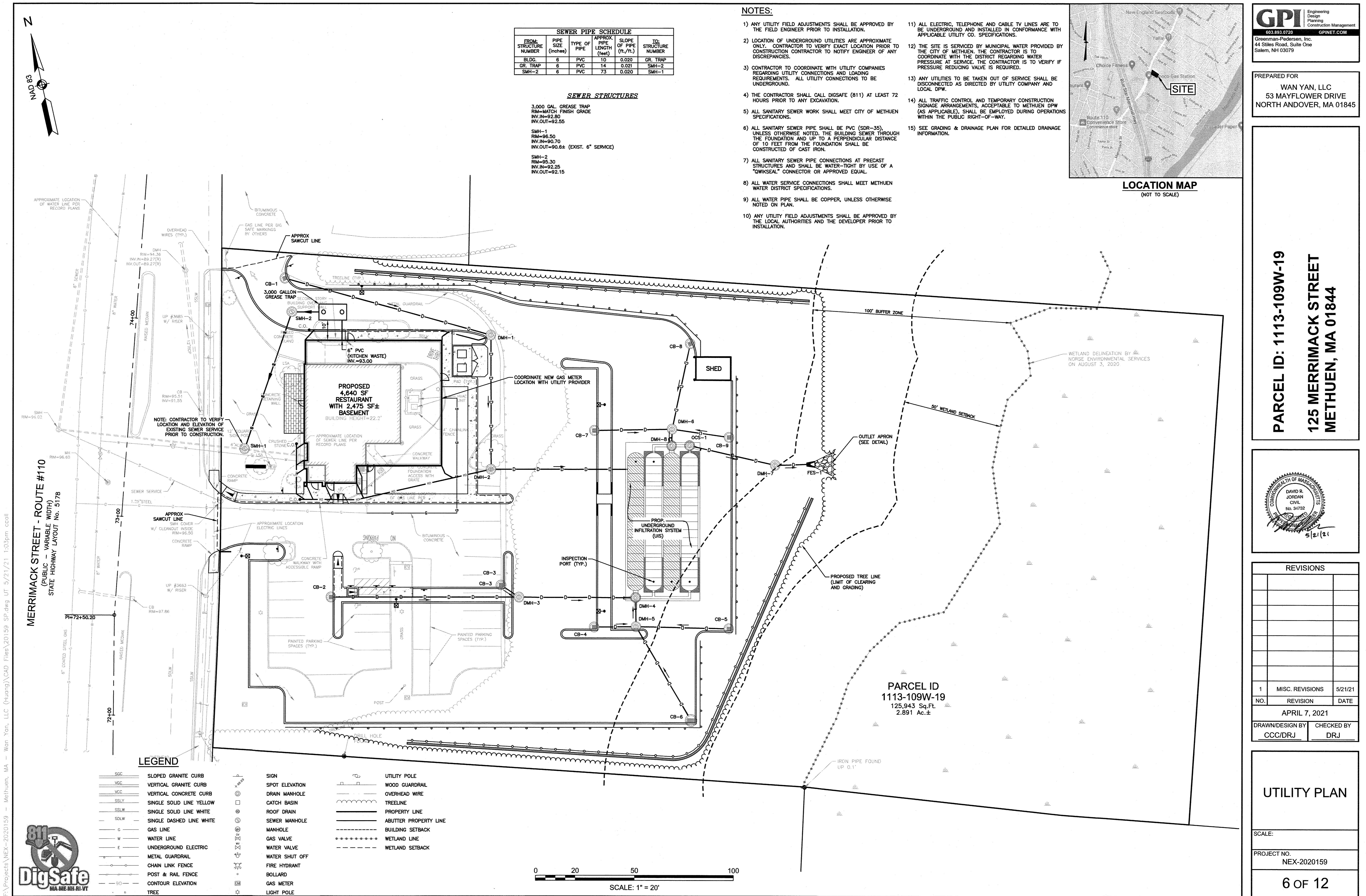
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N/F HEAVENLY INVESTMENTS III, LLC  
104 PLAISTOW ROAD  
HAVERHILL, MA 01830  
BOOK 12296 PAGE 3

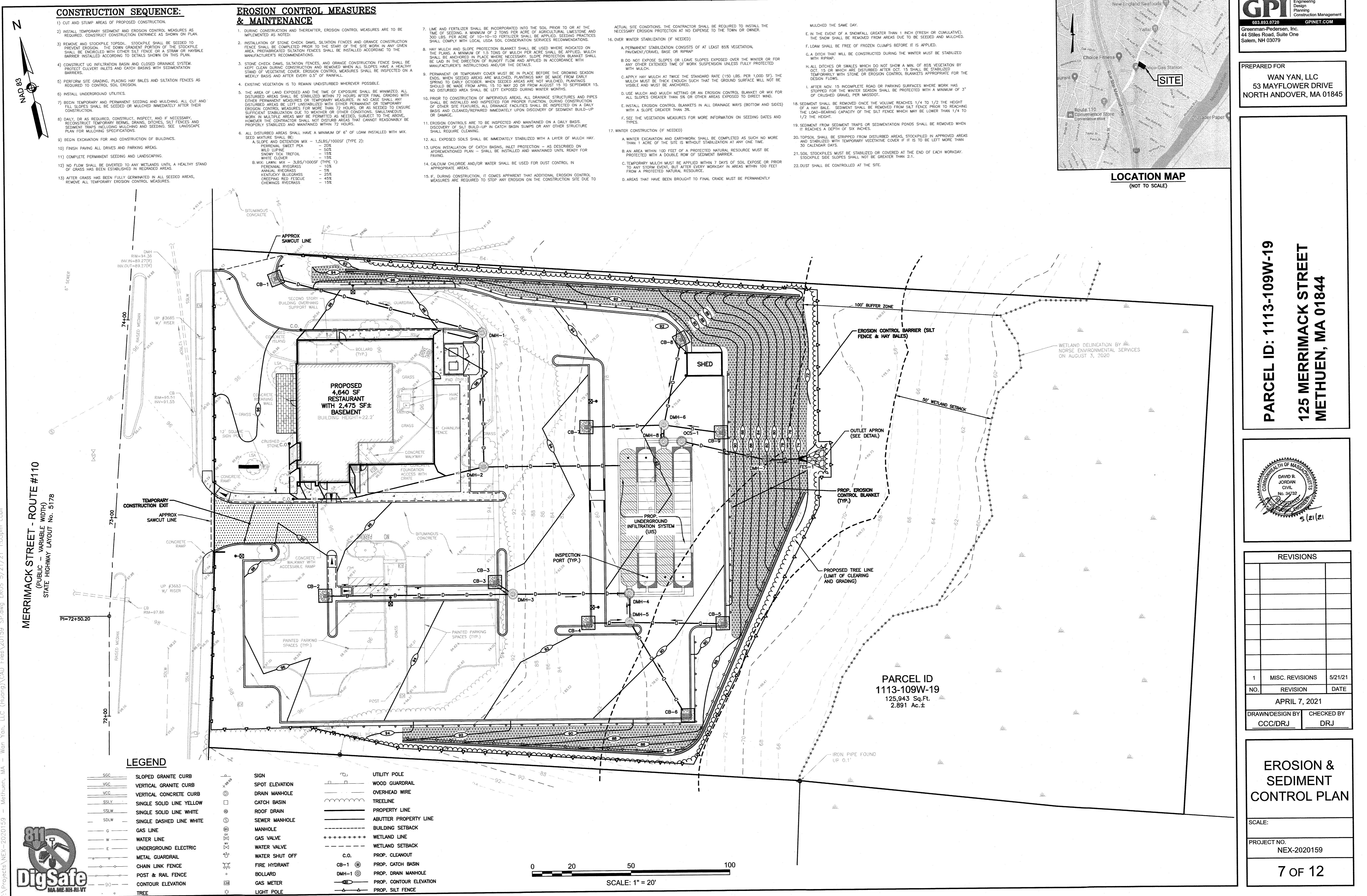
**OWNER OF RECORD:**  
PARCEL ID: 1113-109W-19  
WAN YAN, LLC  
53 MAYFLOWER DRIVE  
NORTH ANDOVER, MA 01845  
BOOK 16335 PAGE 238











PLANTING SCHEDULE				
PLANT	QNTY	BOTANICAL NAME	COMMON NAME	MIN. INSTALL SIZE
AK	5	ACER RUBRUM 'KARRICK'	KARRICK RED MAPLE	2"- 2 1/2" CAL
GS	2	GLEDTISIA TRIACANTHOS 'SHADEMASTER'	SHADEMASTER HONEY LOCUST	2"- 2 1/2" CAL
MS	4	MALUS 'SPRING SNOW'	SPRING SNOW CRABAPPLE	2"- 2 1/2" CAL
PC	6	PRUNUS SARGENTI 'COLUMNARIS'	COLUMNAR SARGENT CHERRY	2"- 2 1/2" CAL
SHRUBS				
CA	14	CLETHRA ALNIFOLIA 'HUMMINGBIRD'	HUMMINGBIRD SUMMERSWEET	18"-24" HT. 3 GALLONS
CS	18	CORNUS SERICEA 'ARCTIC FIRE'	ARCTIC FIRE RED TWIG DOGWOOD	3 GALLONS
JB	28	JUNIPERUS 'SHAMROCK'	SHAMROCK JUNIPER	30"-48" HT. MAX/RED TWIG/COMPACT FORM
JB	12	JUNIPERUS HORIZONTALIS 'BAR HARBOR'	BAR HARBOR JUNIPER	18"-24" SPR.
TE	7	TAXUS X MEDIA 'EVER-LOW'	EVER-LOW YEW	18"-24" SPR.
PERENNIALS & GRASSES				
HB	7	HOSTA 'BLUE CADET'	BLUE CADET HOSTA	1 GALLON
HD	94	HEMEROCALLIS 'STELLA DE ORO'	DAWFL YELLOW DAYLILY	1 GALLON
PL	65	PENNISETUM AFRICANUM 'LITTLE BUNNY'	LITTLE BUNNY FOUNTAIN GRASS	1 GALLON
1 PLANT QUANTITY XX PLANT DESIGNATION				
PROPOSED SOD PROPOSED LANDSCAPE STONE				

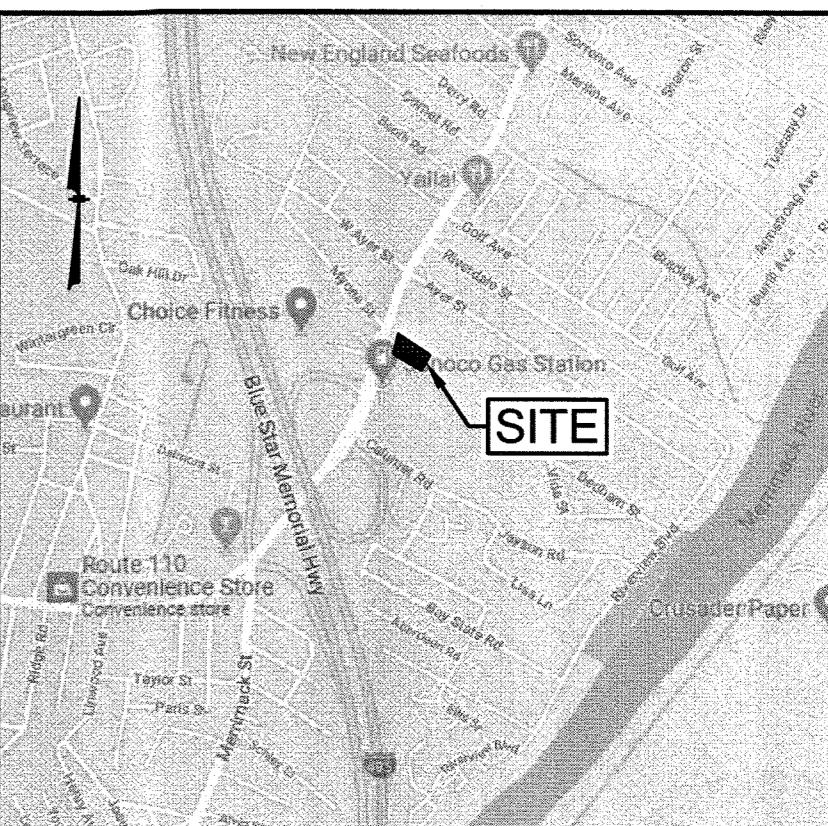
### NOTES:

- 1) ALL PLANT STOCK SHALL CONFORM TO ANSI Z260.1 - NURSERY STOCK, LATEST EDITION (AMERICAN ASSOCIATION OF NURSERYMEN, INC.).
- 2) 4" AGED PINEBARK MULCH AND A WEED BARRIER (TY-PAR FABRIC OR APPROVED EQUAL) SHALL BE APPLIED TO ALL SHRUB AND GROUNDCOVER BEDS. INSTALL WEED BARRIER AS PER MANUFACTURERS RECOMMENDATIONS.
- 3) PLANT PIT BACKFILL SHALL BE MIXED AT A RATE OF 7 PARTS OF TOPSOIL TO 2 PART OF DEHYDRATED COM MANURE. SLOW RELEASE FERTILIZER SHALL BE APPLIED AS PER MANUFACTURERS RECOMMENDATIONS. USE EXISTING ON-SITE TOPSOIL AS PART OF BACKFILL WHEN AVAILABLE.
- 4) ALL LANDSCAPED AREAS NOT PLANTED WITH TREES, SHRUBS OR GROUNDCOVER SHALL BE RESTORED WITH SEED OR SOIL AS INDICATED ON PLANS.
- 5) ALL SOD, SEED, SHRUB AND TREE AREAS SHALL RECEIVE 4" PH CORRECTED TOPSOIL. AFTER TOPSOIL IS SPREAD EVENLY OVER ENTIRE AREA, ALL LUMPS, STONES AND OTHER DELETERIOUS MATERIAL SHALL BE RAKED UP AND REMOVED.
- 6) APPLICATION OF GRASS SEED, FERTILIZERS AND MULCH SHALL BE ACCOMPLISHED BY BROADCAST SEEDING OR HYDROSEEDING AT THE RATES OUTLINED BELOW:

LIMESTONE:	100 LBS/1,000 SQUARE FEET
FERTILIZER:	500 LBS/ACRE OF 10-20-20 OR 1000 LBS/ACRE OF 5-10-10.
MULCH:	HAY MULCH APPROXIMATELY 3 TONS/ACRE

SEED MIX (SLOPES LESS THAN 4:1)	LBS/ACRE
CREEPING RED FESCUE	20
TALL FESCUE	15
PERENNIAL RYEGRASS	5
REDTOP	42
SLOPE MIX (SLOPES GREATER THAN 4:1)	LBS/ACRE
CREEPING RED FESCUE	20
TALL FESCUE	20
BIRDSFOOT TREFOIL	48

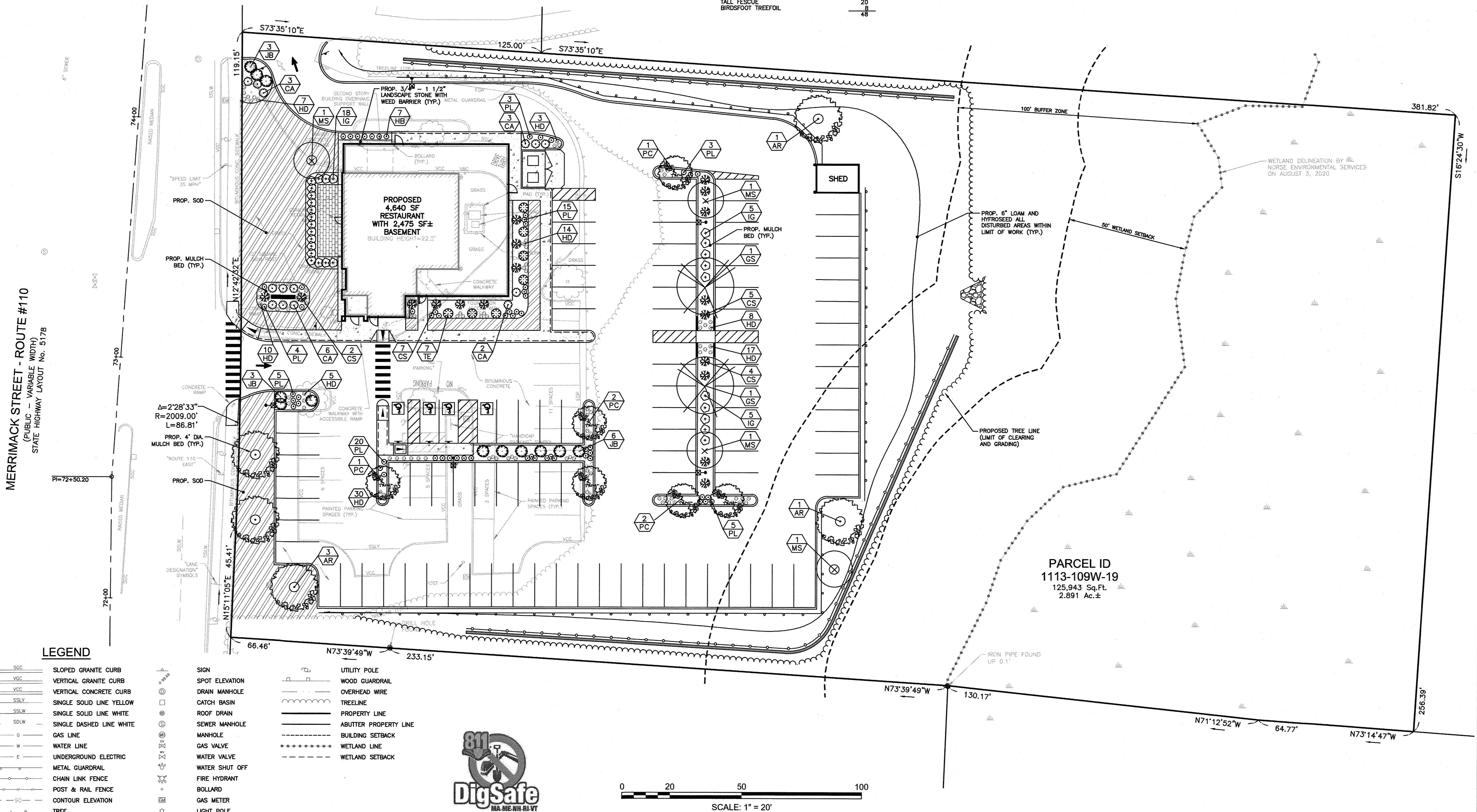
- 7) FOR TEMPORARY EROSION CONTROL NOTES, SEE DETAIL SHEET.
- 8) NEWLY GRADED AREAS REQUIRING SLOPE PROTECTION OUTSIDE OF NORMAL SEEDING SEASON SHALL RECEIVE STRAW MULCH AT THE APPROXIMATE RATE OF NO MORE THAN 3 TONS PER ACRE.
- 9) ANY CHANGES IN PLANT LOCATIONS OR TYPES SHALL BE APPROVED BY THE DEVELOPER, LANDOWNER AND CITY PRIOR TO INSTALLATION.
- 10) CLEAR AND GRUB (TO LINES REQUIRED ON GRADING PLAN) TO REMOVE VEGETATION, ROCKS, DEBRIS, ROOTS, ETC. STUMPS SHALL BE REMOVED AND DISPOSED OF OFF SITE IN ACCORDANCE WITH STATE REGULATIONS. AFTER CLEARING, ROTOTILL, STRIP AND STOCKPILE ALL ON-SITE TOPSOIL FOR REUSE TO THE MAXIMUM EXTENT POSSIBLE.
- 11) FOR SEED & SOD AREAS USE EXISTING TOPSOIL, IF AVAILABLE. FOR A 4" DEPTH AND TOP DRESS WITH 2" SLOW RELEASE FERTILIZER, OTHERWISE NOTED ON PLAN. ALL LOAM OR TOPSOIL IMPORTED OR RE-UTILIZED FROM ON SITE, BE TESTED AND AMENDED AS DIRECTED BY DEVELOPER TO MEET MINIMUM REQUIREMENTS.
- 12) PLANTINGS SHALL BE GUARANTEED BY THE CONTRACTOR FOR ONE YEAR AFTER WRITTEN ACCEPTANCE OF THE DEVELOPER.
- 13) SLOPES GREATER THAN 3:1 SHALL RECEIVE JUTE MESH OR WOOD EXCELSIOR MATTING NO MORE THAN 24 HOURS AFTER SEEDING. MATTING SHALL BE INSTALLED AS PER MANUFACTURERS RECOMMENDATIONS.
- 14) EXPOSED SOILS SHALL BE SEADED OR HAY MULCHED WITHIN 72 HOURS OF FINAL GRADING.
- 15) ALL WORK SHALL BE COORDINATED WITH APPLICABLE EPA NPDES/SWP/PP PERMIT WORK AS REQUIRED.
- 16) THE CONTRACTOR SHALL INSTALL AN IRRIGATION SYSTEM TO PROVIDE COMPLETE COVERAGE OF ALL SEED AREAS AND SHRUB BEDS WITHIN THE LEASE AREA. THE SYSTEM SHALL INCLUDE A TIMER AND SHALL BE INSTALLED IN ACCORDANCE WITH LOCAL CODES.



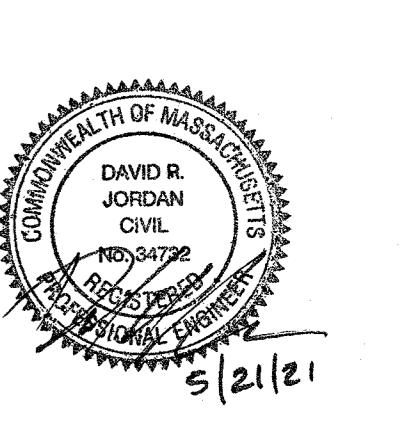
LOCATION MAP  
(NOT TO SCALE)

### LANDSCAPE REQUIREMENTS

METHUEN CODE	REQUIRED	PROVIDED
SECTION VIII-B-5-b INTERIOR PARKING	(1) TREE PER (2,000) SF OF PARKING AREA 28,500 SF/300 SF = 14 TREES	14 TREES



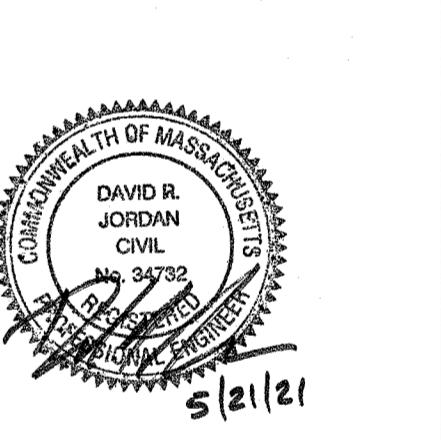
**PARCEL ID: 1113-109W-19**  
**125 MERRIMACK STREET**  
**METHUEN, MA 01844**



REVISIONS		
1	MISC. REVISIONS	5/21/21
NO.	REVISION	DATE
	APRIL 7, 2021	
DRAWN/DESIGN BY	CCC/DRJ	CHECKED BY DRJ

LANDSCAPE PLAN	
SCALE:	
PROJECT NO.	NEX-2020159

8 OF 12



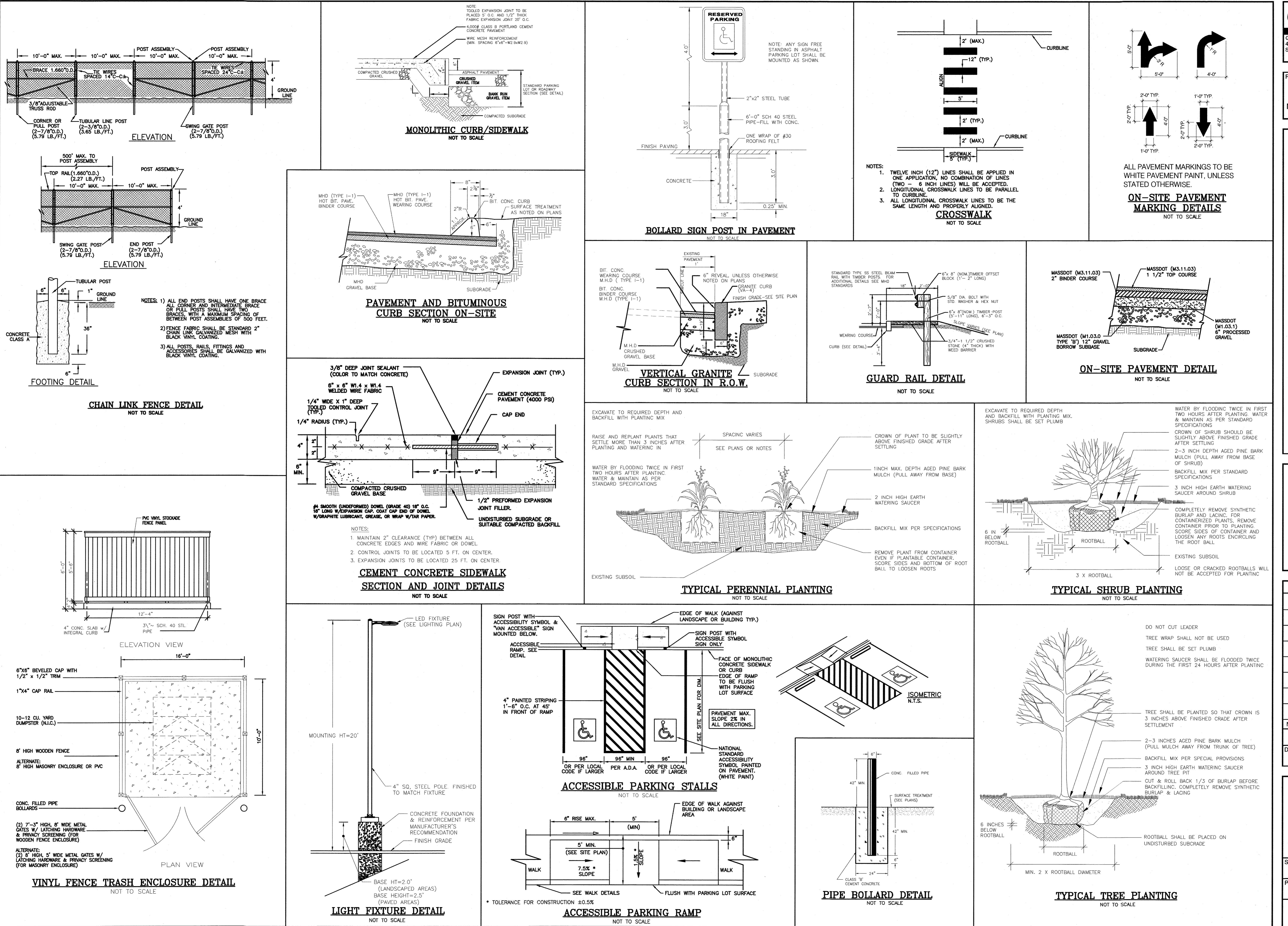
## REVISIONS

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NO.	REVISION	DATE
APRIL 7, 2021		
DRAWN/DESIGN BY CCC/DR. I		CHECKED BY DR. I

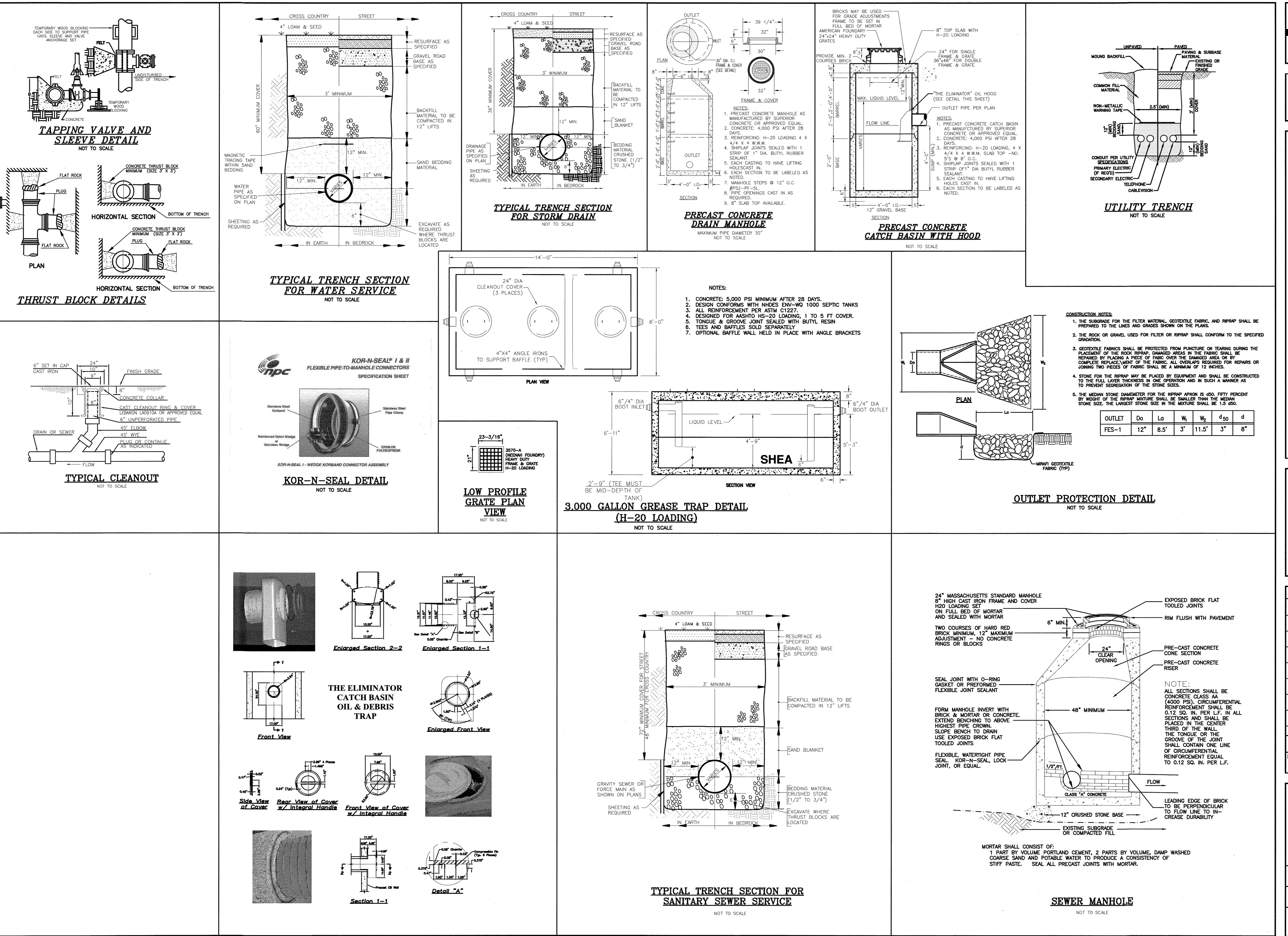
## DETAIL SHEET

CALE:	AS NOTED
PROJECT NO.	NEX-2020159

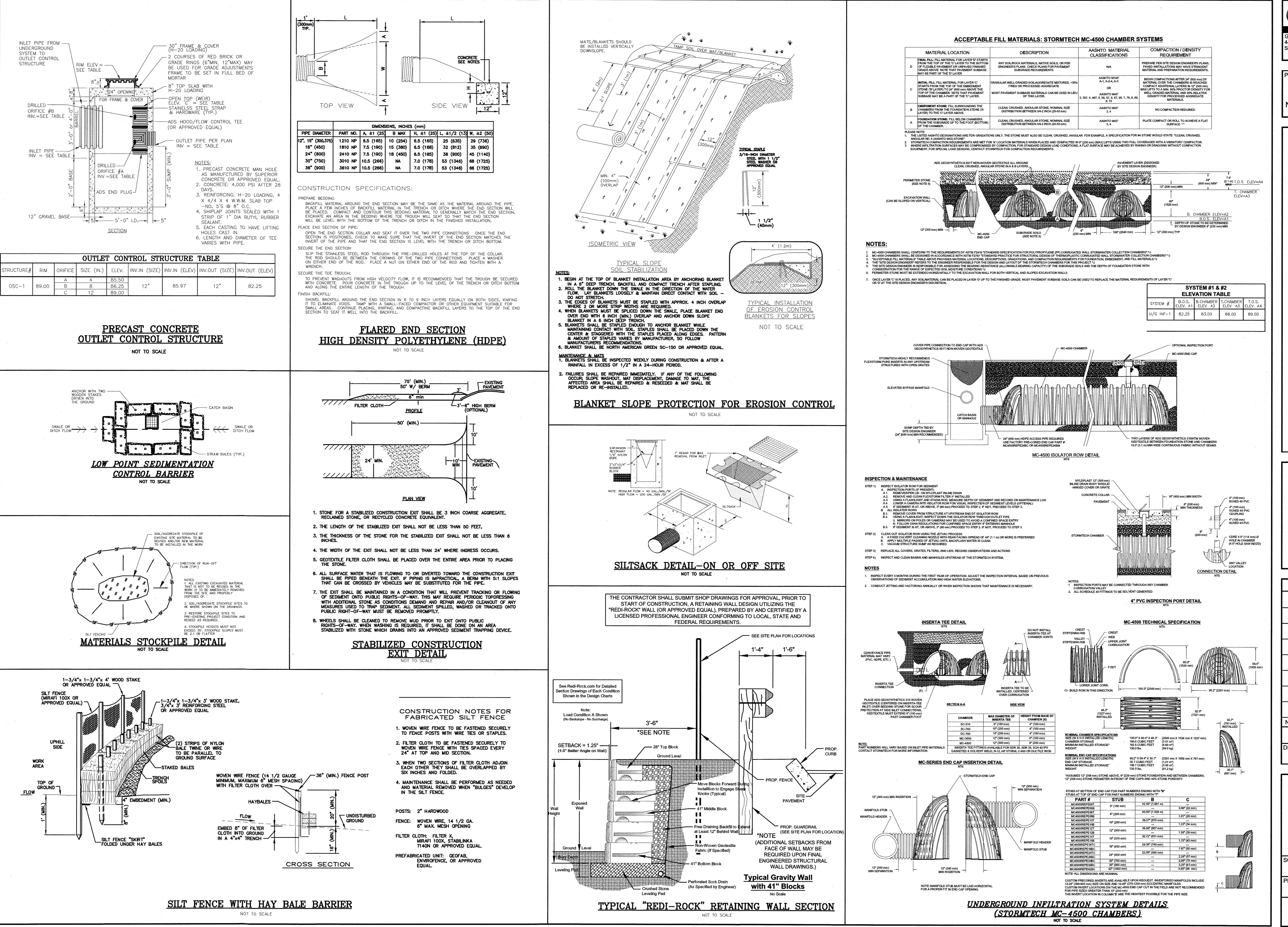
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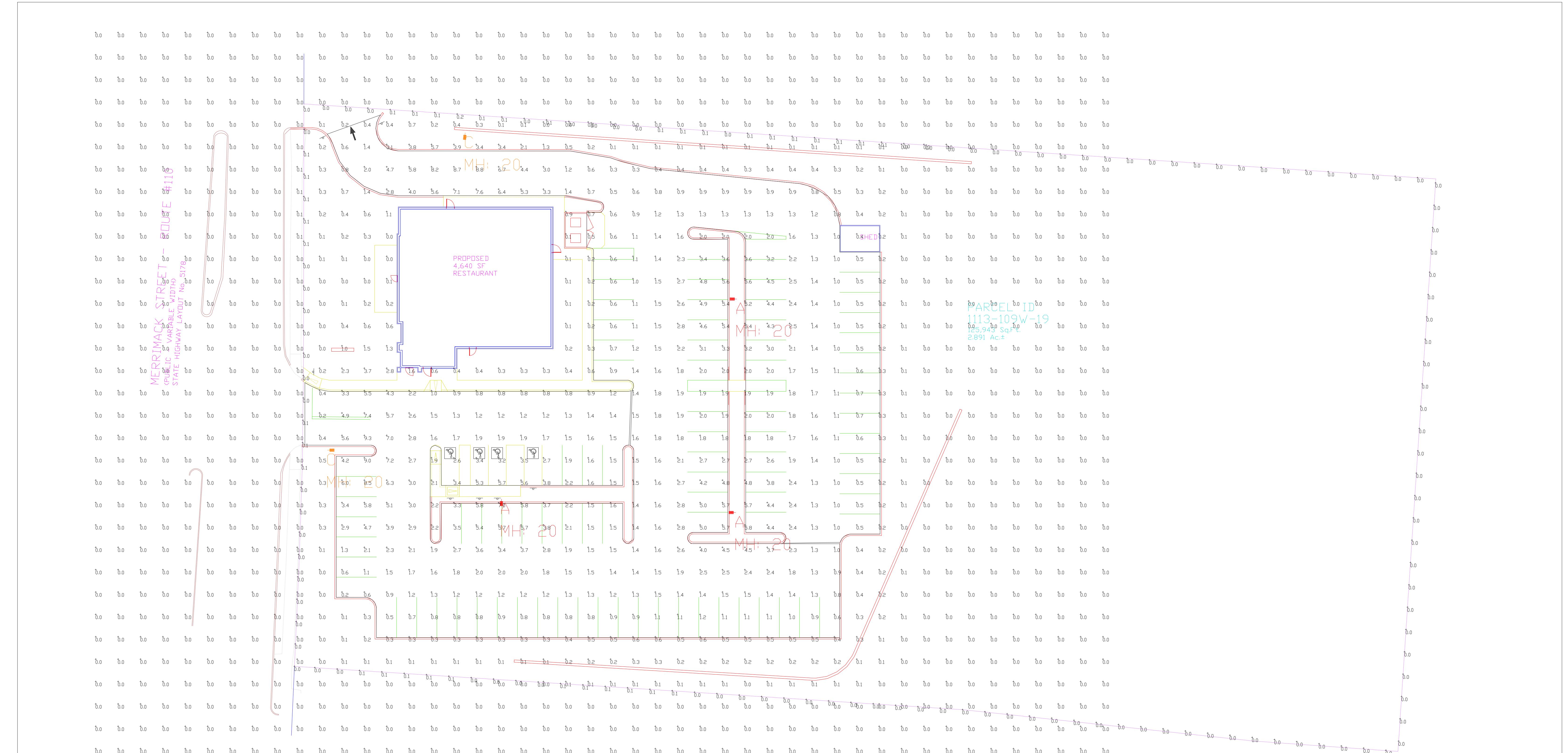
PARCEL ID: 1113-109W-19  
125 MERRIMACK STREET  
METHUEN, MA 01844



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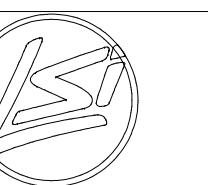
Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
ALL POINTS AT GRADE 10'X10'	Illuminance	Fc	0.68	9.3	0.0	N.A.	N.A.
PROPERTY LINE	Illuminance	Fc	0.02	0.2	0.0	N.A.	N.A.
PARKING SUMMARY	Illuminance	Fc	2.07	9.3	0.2	10.35	46.50

Luminaire Schedule										
Symbol	Qty	Label	Arrangement	Description	LLD	UDF	LLF	Arr. Lum. Lumens	Arr. Watts	BUG Rating
■	3	A	SINGLE	SLM-LED-24L-SIL-5W-40-70CRI-D180-20'MH	1.000	1.000	0.940	24950	176	B5-U0-G3
■	2	C	SINGLE	SLM-LED-24L-SIL-3-40-70CRI-IL-SINGLE-20'MH	1.000	1.000	0.960	16990	176	B1-U0-G3

Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine the applicability of the layout to existing or future field conditions.

This lighting plan represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with the Illuminating Engineering Society (IES) approved methods. Actual performance of the fixture in the field may vary due to changes in electrical voltage, tolerance in lamps/LED's and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping, or any other architectural elements unless noted. Fixture nomenclature noted does not include mounting hardware or poles. This drawing is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering product.

Total Project Watts_1  
Total Watts = 880



WWW.ALLENBROS.COM • CANTON, MA 01721 USA  
TEL: 781-329-8000 • FAX: 781-329-4023  
LITING PROPOSAL L-153445  
WAN YAN  
125 MERRIMACK ST.  
METHUEN, MA  
BY GEF DATE: 3/19/21 REV: 0 SHEET 1 OF 1  
SCALE: 1"=20' 0 20

125 MERRIMACK STREET  
RESTAURANT

Enter address here

FLOOR PLANS & ELEVATIONS

prepared for:  
location: Approver

LYF 2020 ©  
ALL PLANS, SPECIFICATIONS AND IDEAS ARE THE PROPERTY OF LYF. RIGHTS OF USE ARE CONFINED TO THE PROJECT FOR WHICH THEY ARE PROVIDED. FULL COMPENSATION AND LIMITED TO A ONE-TIME USE IS SO INDICATED. USE OF THESE PLANS AND IDEAS IN ANY OTHER PROJECT IS PROHIBITED. THE USE OR REPRODUCTION OF THESE PLANS FOR OTHER PROJECTS IS PROHIBITED. THE USE OR REPRODUCTION OF THESE PLANS FOR ANY OTHER PURPOSE THAN THE PROJECT FOR WHICH THEY ARE PROVIDED IS PROHIBITED. ANY APPLICATION IS STRICTLY PROHIBITED WITHOUT PRIOR WRITTEN PERMISSION OF LYF.

Mark: Date  
REVISIONS  
Date: 04-01-2021  
Scale: As indicated  
Job No.: 2196  
Sheet No.:  
N

A100



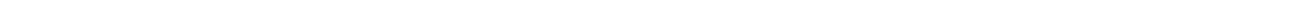
9 3D View 1



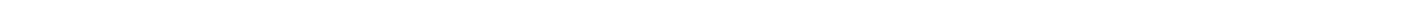
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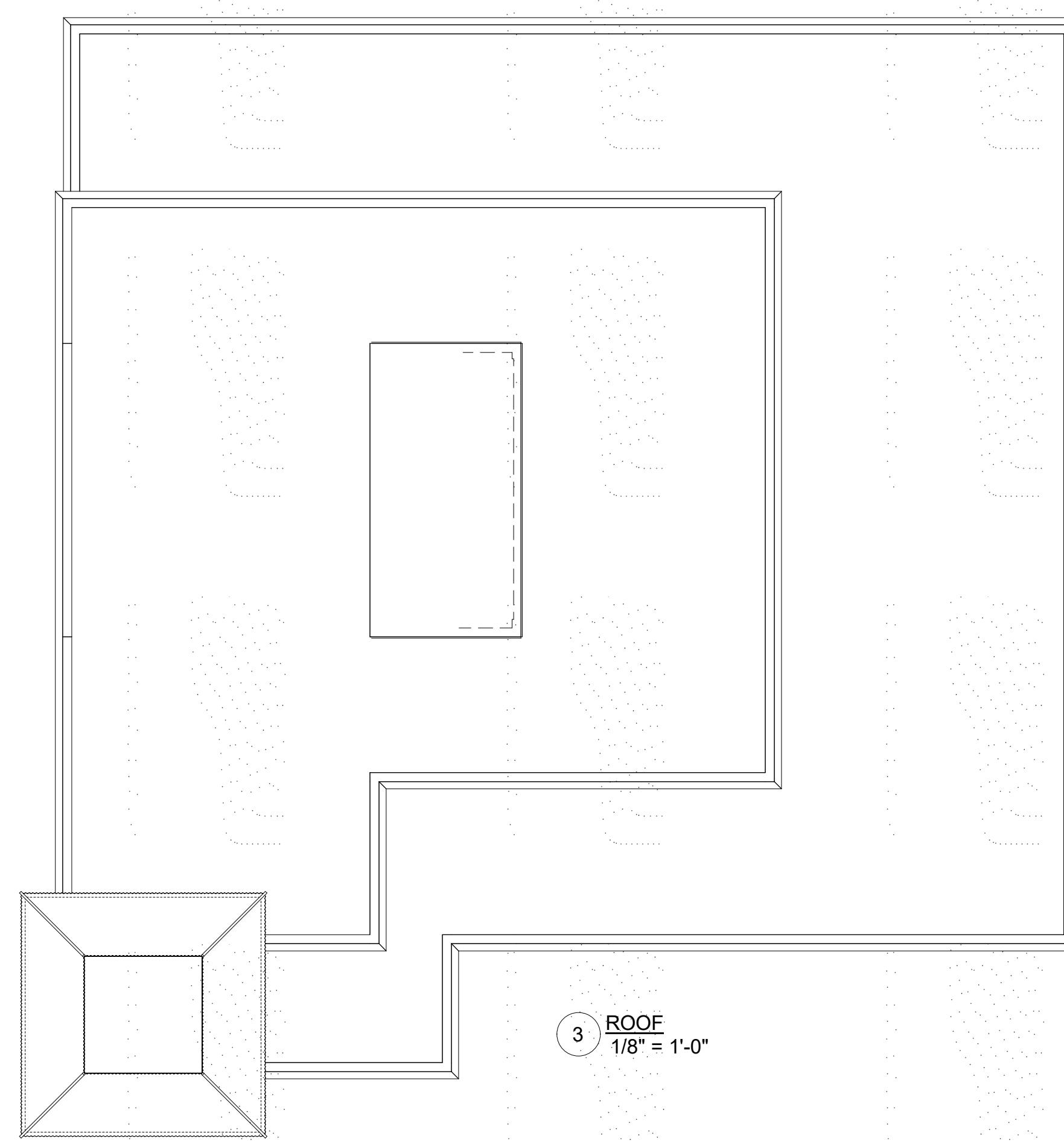
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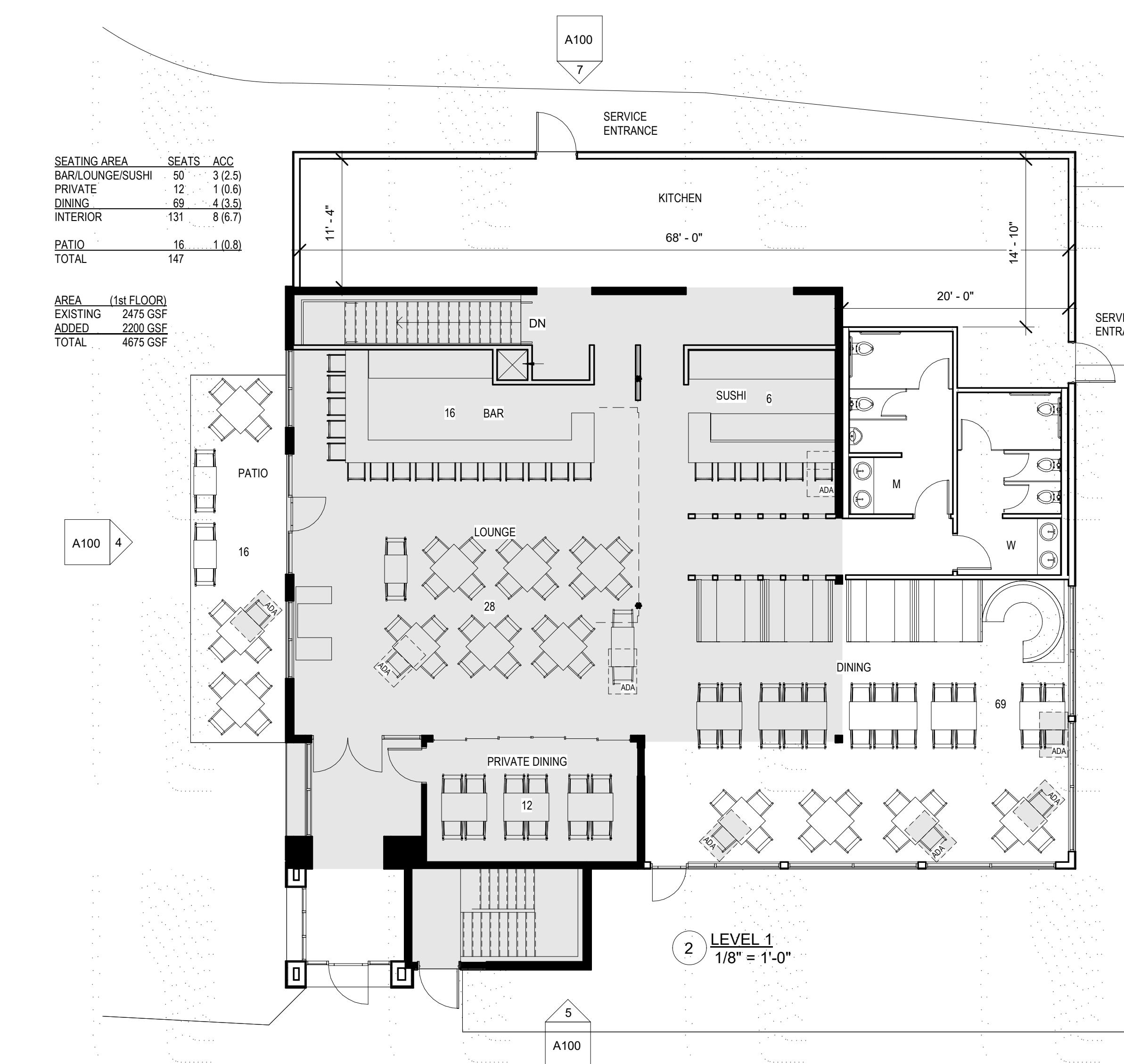
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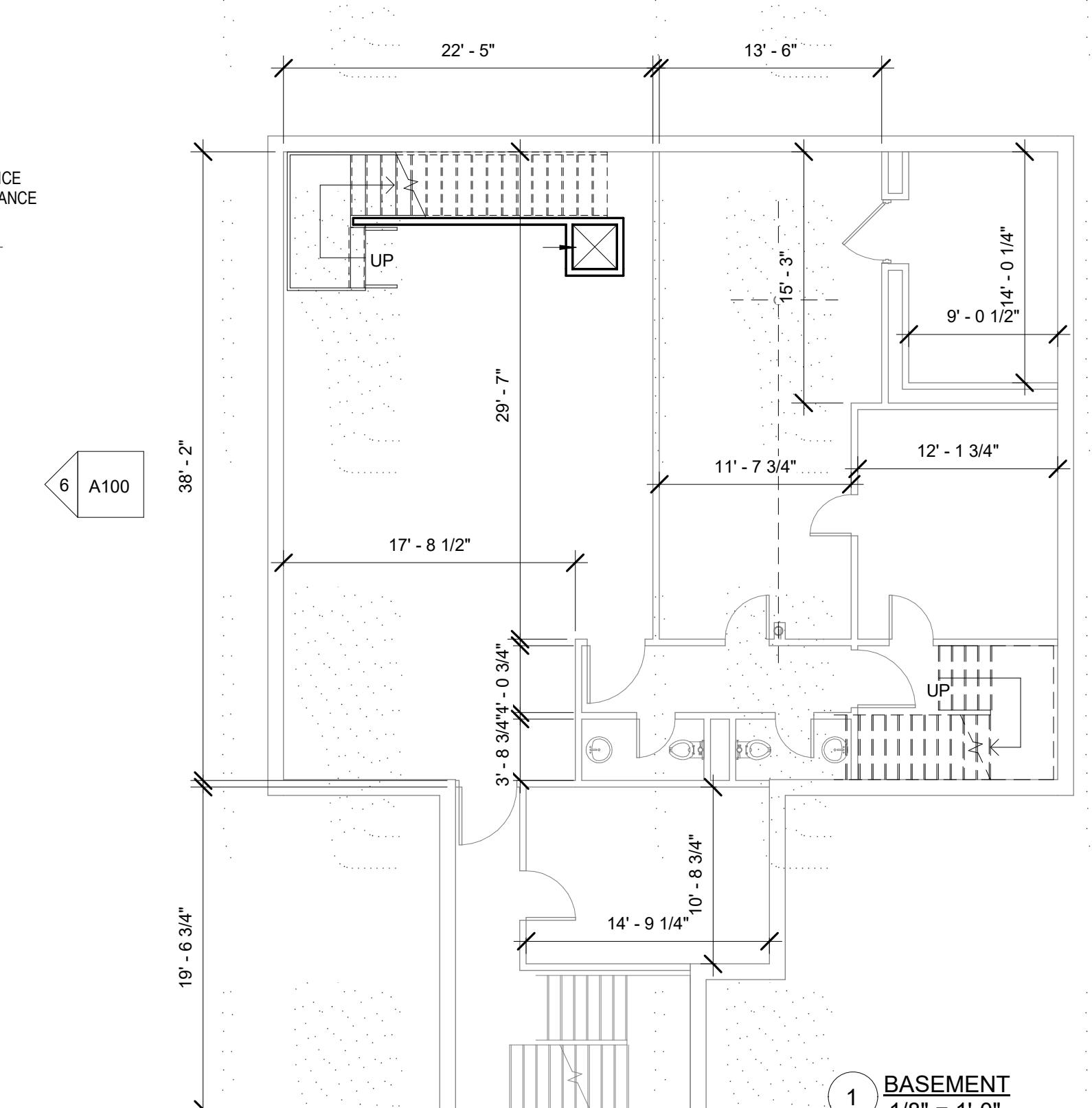
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3/32" = 1'-0"



3 ROOF  
1/8" = 1'-0"



2 LEVEL 1  
1/8" = 1'-0"

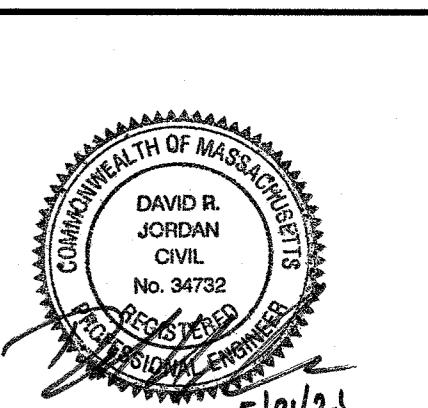


1 BASEMENT  
1/8" = 1'-0"

A100

REARED FOR  
WAN YAN, LLC  
53 MAYFLOWER DRIVE  
NORTH ANDOVER, MA 01845

125 MERRIMACK STREET  
METHUEN, MA 01844



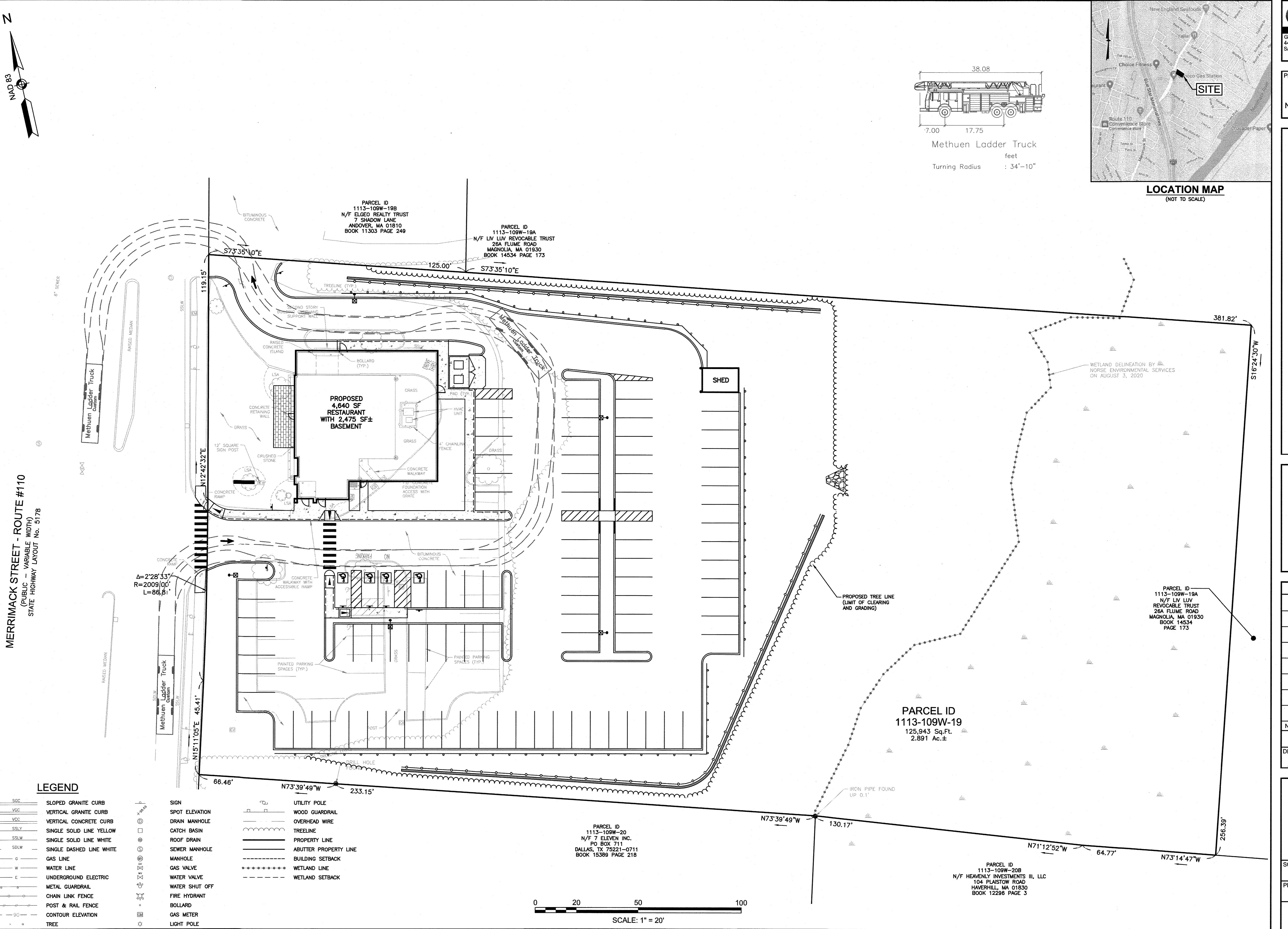
## REVISIONS

# FIRE EVACUATION PLAN

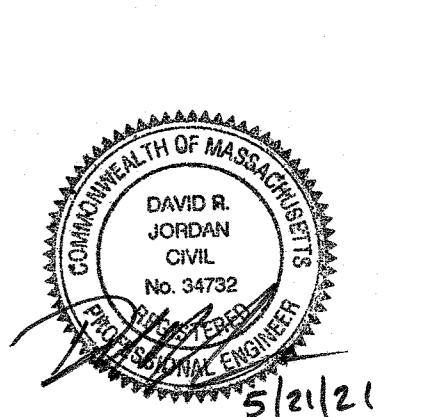
CALE:

1 OF 1

**MERRIMACK STREET - ROUTE #110**  
(PUBLIC - VARIABLE WIDTH)  
STATE HIGHWAY LAYOUT No. 5178



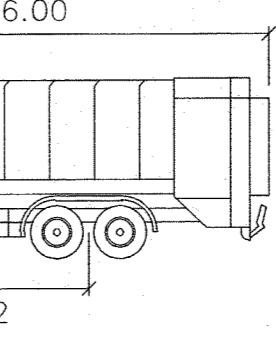
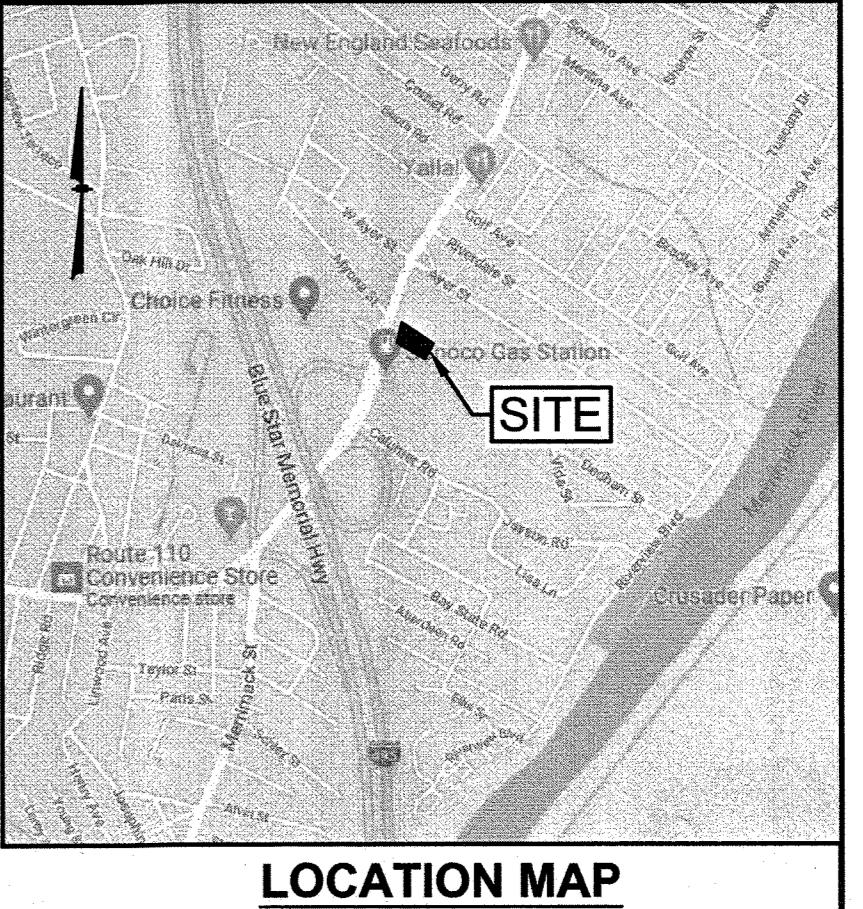
**PARCEL ID: 1113-109W-19  
125 MERRIMACK STREET  
METHUEN, MA 01844**



**REVISIONS**

NO. REVISION DATE  
MAY 21, 2021  
DRAWN/DESIGN BY CCC/DRJ CHECKED BY DRJ

TRASH  
TRUCK TURN  
PLAN  
SCALE:  
PROJECT NO.  
NEX-2020159  
1 OF 1



Garbage-Front Load  
feet  
Width : 9.33  
Track : 9.33  
Lock to Lock Time : 6.0  
Steering Angle : 23.0

**LOCATION MAP**  
(NOT TO SCALE)

