

PROPOSED SITE RE-DEVELOPMENT PLANS

for

YE'S TABLE ASIAN CUISINE

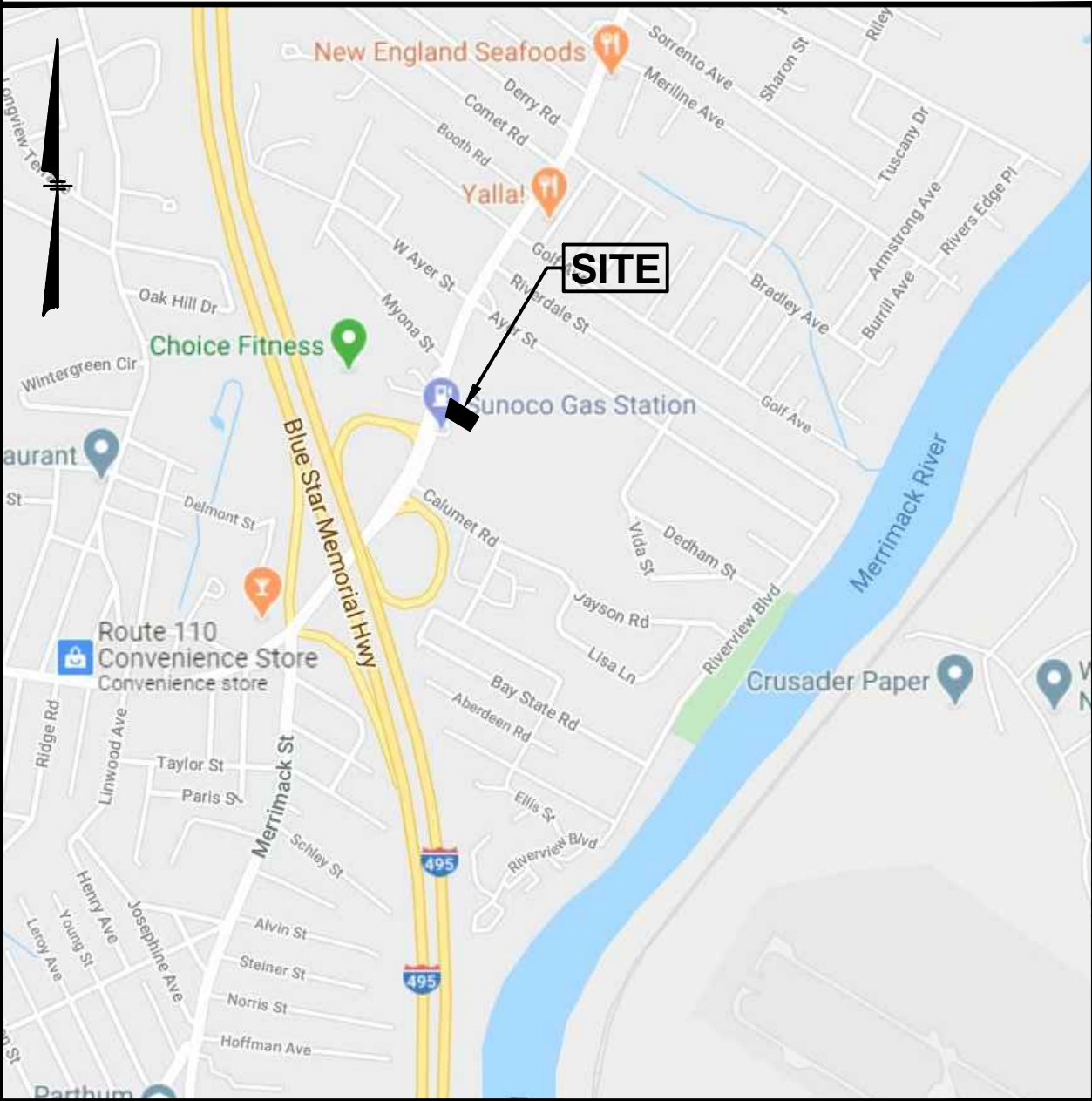
METHUEN PARCEL ID 1113-109W-19

125 MERRIMACK STREET

METHUEN, MASSACHUSETTS 01844



Prepared for:
WAN YAN, LLC
53 MAYFLOWER DRIVE
NORTH ANDOVER, MA 01845



LOCATION MAP
(NOT TO SCALE)

INDEX TO DRAWINGS

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11. DETAIL SHEET
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- 1 OF 1. FLOOR PLAN & ELEVATIONS (BY OTHERS)
- 1 OF 1. LADDER TRUCK TURN PLAN
- 1 OF 1. TRASH TRUCK TURN PLAN

GPI

Engineering
Design
Planning
Construction Management

603.633.0720
Greenman-Pedersen, Inc.
44 Stiles Road, Suite One
Salem, NH 03079

GPINET.COM

PREPARED FOR
WAN YAN, LLC
53 MAYFLOWER DRIVE
NORTH ANDOVER, MA 01845

PARCEL ID: 1113-109W-19
125 MERRIMACK STREET
METHUEN, MA 01844



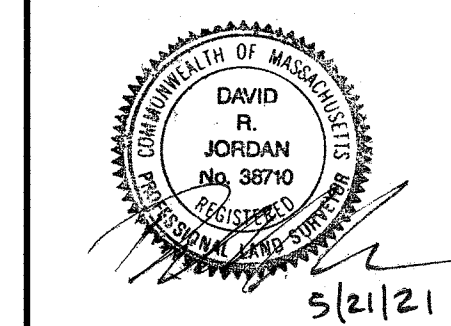
REVISIONS		
NO.	REVISION	DATE
1	REVISE SHEETS 1.3-11, ADD SHEET 12 & TRUCK TURN PLANS	5/21/21
APRIL 7, 2021		
DRAWN/DESIGN BY CCC/DRJ		CHECKED BY DRJ

TITLE SHEET

SCALE: NOT TO SCALE

PROJECT NO.
NEX-2020159

1 OF 12



REVISIONS		
NO.	REVISION	DATE

APRIL 7, 2021

DRAWN/DESIGN BY GCC/DBL	CHECKED BY DBL
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EXISTING CONDITIONS PLAN

SCALE:
PROJECT NO. NEX-2020159
2 OF 12

	SLOPED GRANITE CURB		SIGN		UTILITY POLE
	VERTICAL GRANITE CURB		SPOT ELEVATION		WOOD GUARDRAIL
	VERTICAL CONCRETE CURB		DRAIN MANHOLE		OVERHEAD WIRE
	SINGLE SOLID LINE YELLOW		CATCH BASIN		TREELINE
	SINGLE SOLID LINE WHITE		ROOF DRAIN		PROPERTY LINE
	SINGLE DASHED LINE WHITE		SEWER MANHOLE		ABUTTER PROPERTY LINE
	GAS LINE		MANHOLE		BUILDING SETBACK
	WATER LINE		GAS VALVE		WETLAND LINE
	UNDERGROUND ELECTRIC		WATER VALVE		WETLAND SETBACK
	METAL GUARDRAIL		FIRE HYDRANT		
	CHAIN LINK FENCE		FIRE HYDRANT		
	POST & RAIL FENCE		FIRE HYDRANT		
	CONTOUR ELEVATION		FIRE HYDRANT		
	TREE		FIRE HYDRANT		
			GAS METER		
			LIGHT POLE		

1) ZONE: HIGHWAY BUSINESS DISTRICT (BH)
MIN. LOT SIZE: 10,000 Sq.Ft.
MIN. LOT FRONTAGE: 100 Ft.
SETBACKS:
FRONT 25 Ft.
SIDE 30 Ft.
REAR 30 Ft.

REFER TO THE CITY OF METHUEN ZONING ORDINANCE FOR VERIFICATION, ADDITIONAL RESTRICTIONS AND PERMITTED USES. THE ZONING INFORMATION SHOWN HEREON IS BASED ON A REVIEW OF THE METHUEN ZONING ORDINANCE.

2) THIS PLAN IS THE RESULT OF AN ON-THE-GROUND FIELD SURVEY PERFORMED BY THIS OFFICE BETWEEN AUGUST 3 AND AUGUST 10, 2020.

3) WETLAND FLAGS WERE DELINEATED BY NORSE ENVIRONMENTAL SERVICES ON AUGUST 3, 2020 AND LOCATED BY THIS OFFICE.

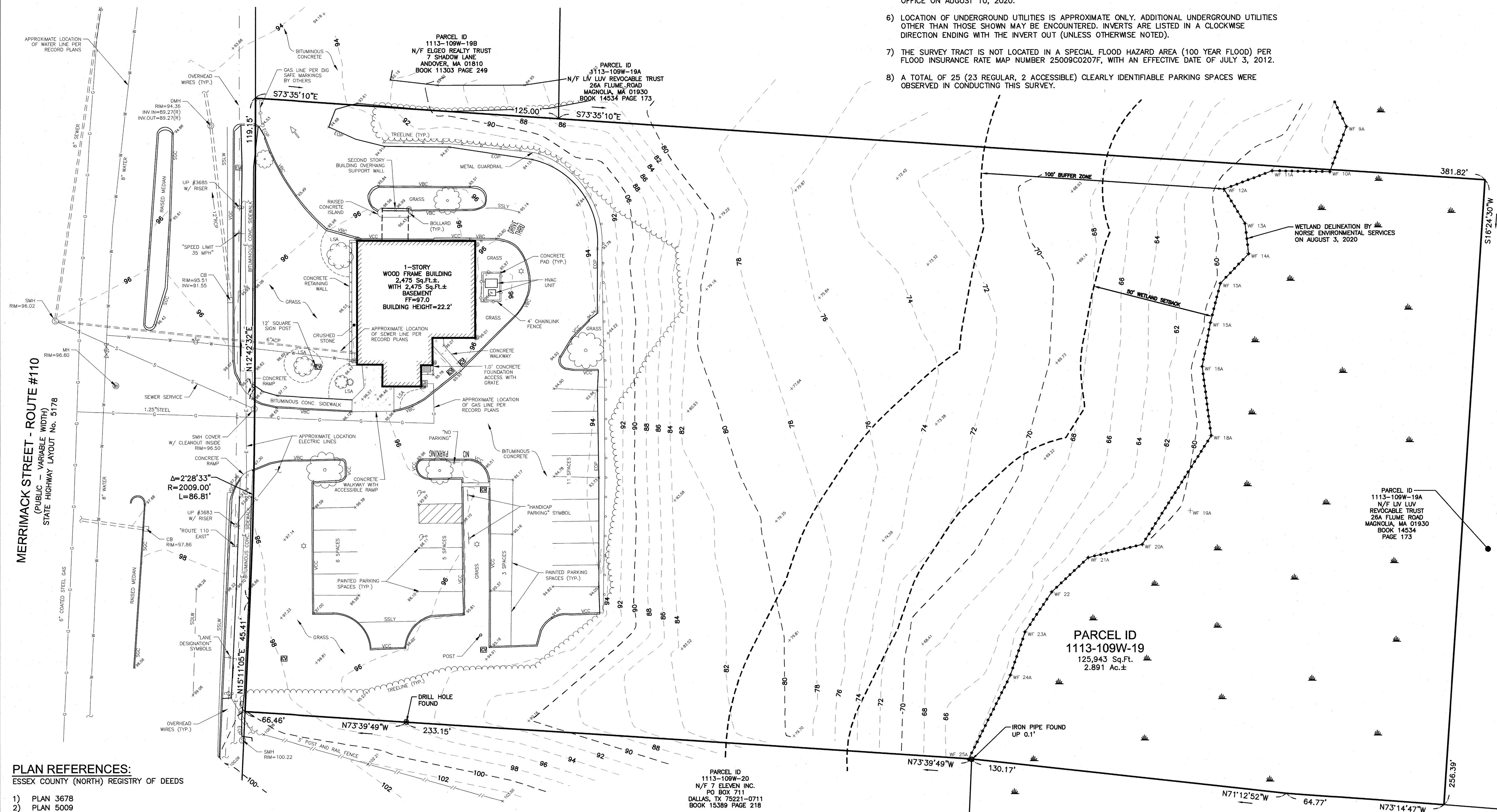
4) BEARINGS SHOWN HEREON ARE BASED ON NAD83 PER GPS OBSERVATIONS PERFORMED BY THIS OFFICE ON AUGUST 10, 2020.

5) ELEVATIONS SHOWN HEREON ARE BASED ON NAVD88 PER GPS OBSERVATIONS PERFORMED BY THIS OFFICE ON AUGUST 10, 2020.

6) LOCATION OF UNDERGROUND UTILITIES IS APPROXIMATE ONLY. ADDITIONAL UNDERGROUND UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED. INVERTS ARE LISTED IN A CLOCKWISE DIRECTION ENDING WITH THE INVERT OUT (UNLESS OTHERWISE NOTED).

7) THE SURVEY TRACT IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA (100 YEAR FLOOD) PER FLOOD INSURANCE RATE MAP NUMBER 25009C0207F, WITH AN EFFECTIVE DATE OF JULY 3, 2012.

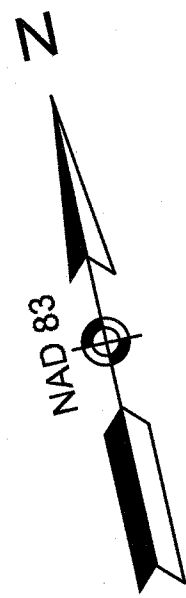
8) A TOTAL OF 25 (23 REGULAR, 2 ACCESSIBLE) CLEARLY IDENTIFIABLE PARKING SPACES WERE OBSERVED IN CONDUCTING THIS SURVEY.



ESSEX COUNTY (NORTH) REGISTRY OF DEEDS

- | | | | | |
|-----|-------|---------|--------|------|
| 1) | PLAN | 3678 | | |
| 2) | PLAN | 5009 | | |
| 3) | PLAN | 5434 | | |
| 4) | PLAN | 6584 | | |
| 5) | PLAN | 16500 | | |
| 6) | STATE | HIGHWAY | LAYOUT | 482 |
| 7) | STATE | HIGHWAY | LAYOUT | 2399 |
| 8) | STATE | HIGHWAY | LAYOUT | 3258 |
| 9) | STATE | HIGHWAY | LAYOUT | 5178 |
| 10) | STATE | HIGHWAY | LAYOUT | 5198 |

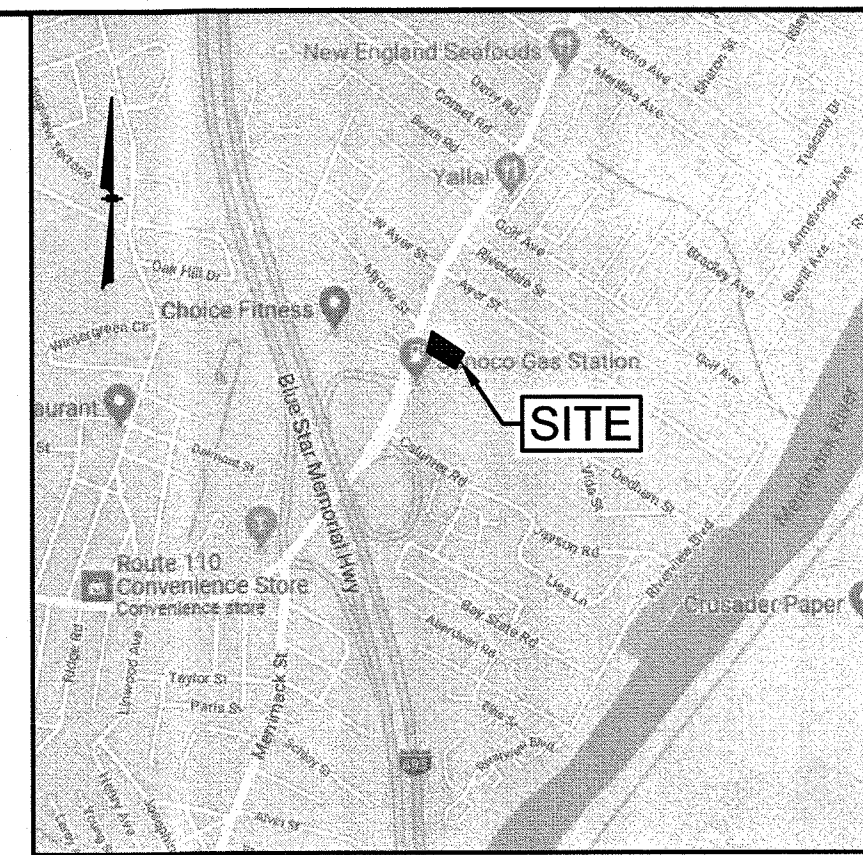
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SEE DETAIL SHEETS FOR CONSTRUCTION SEQUENCE AND TEMPORARY EROSION CONTROL MEASURES. SEE GRADING PLAN FOR LOCATION OF EROSION CONTROL DEVICES. SEE LANDSCAPE PLAN FOR LIMITS OF CLEARING.

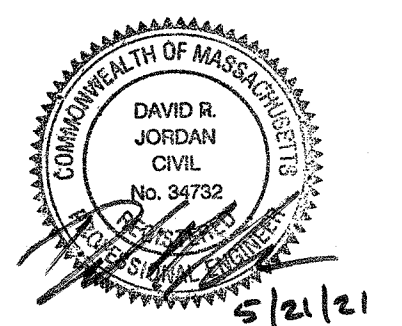
NOTES:

- 1) A DEMOLITION PERMIT MUST BE OBTAINED FROM THE CITY OF METHUEN PRIOR TO COMMENCEMENT OF WORK. ALL EXISTING UTILITY DISCONNECTIONS MUST BE COORDINATED WITH RESPECTIVE UTILITY COMPANIES.
- 2) ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN STRICT ADHERENCE TO ALL FEDERAL, STATE AND LOCAL REGULATIONS. CONTRACTOR TO INSTALL EROSION CONTROL DEVICES IN ACCORDANCE WITH GRADING & DRAINAGE PLAN PRIOR TO BEGINNING DEMOLITION ACTIVITIES.
- 3) PROCEED WITH DEMOLITION IN A SYSTEMATIC MANNER, FROM THE TOP OF THE STRUCTURE(S) TO THE GROUND.
- 4) DEMOLISH CONCRETE IN ALL SECTIONS.
- 5) BREAK UP CONCRETE SLABS-ON-GRADE, UNLESS OTHERWISE DIRECTED BY THE CONSTRUCTION MANAGER.
- 6) CONDUCT ALL DEMOLITION OPERATIONS IN A MANNER THAT WILL PREVENT INJURY, DAMAGE TO STRUCTURES, ADJACENT BUILDINGS AND ALL PERSONS.
- 7) REFRAIN FROM USING EXPLOSIVES WITHOUT PRIOR WRITTEN CONSENT OF THE DEVELOPER AND APPLICABLE GOVERNMENTAL AUTHORITIES.
- 8) CONDUCT DEMOLITION SERVICES IN SUCH A MANNER TO INSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS AND OTHER ADJACENT FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS OR OTHER OCCUPIED FACILITIES WITHOUT PRIOR WRITTEN PERMISSION OF THE DEVELOPER AND APPLICABLE GOVERNMENTAL AUTHORITIES. PROVIDE ALTERNATIVE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC WAYS IF REQUIRED BY APPLICABLE GOVERNMENTAL REGULATIONS.
- 9) USE WATERING, TEMPORARY ENCLOSURES AND OTHER SUITABLE METHODS, AS NECESSARY TO LIMIT THE AMOUNT OF DUST AND DIRT RISING AND SCATTERING IN THE AIR. CLEAN ADJACENT STRUCTURE AND IMPROVEMENTS OF ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. RETURN ALL ADJACENT AREAS TO THE CONDITIONS EXISTING PRIOR TO THE START OF WORK.
- 10) ACCOMPLISH AND PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE UNAUTHORIZED ENTRY OF PERSONS AT ANY TIME.
- 11) COMPLETELY FILL BELOW GRADE AREAS AND VOIDS RESULTING FROM THE DEMOLITION OF STRUCTURES AND FOUNDATIONS WITH SOIL MATERIALS CONSISTING OF STONE, GRAVEL AND SAND, FREE FROM DEBRIS, TRASH, FROZEN MATERIALS, ROOTS AND OTHER ORGANIC MATTER. STONES USED WILL NOT BE LARGER THAN 6 INCHES IN DIMENSION. MATERIAL FROM DEMOLITION MAY NOT BE USED AS FILL. PRIOR TO PLACEMENT OF FILL MATERIALS, UNDERTAKE ALL NECESSARY ACTION IN ORDER TO INSURE THAT AREAS TO BE FILLED ARE FREE OF STANDING WATER, FROZEN MATERIAL, TRASH, DEBRIS. PLACE FILL MATERIALS LAYERS NOT EXCEEDING 6 INCHES IN LOOSE DEPTH AND COMPACT EACH LAYER AT PLACEMENT TO 95% OPTIMUM DENSITY, GRADE SURFACE TO MEET ADJACENT CONTOURS AND TO PROVIDE SURFACE DRAINAGE.
- 12) REMOVE FROM THE DESIGNATED SITE, AT THE EARLIEST POSSIBLE TIME, ALL DEBRIS RUBBISH, SALVAGEABLE ITEMS, HAZARDOUS AND COMBUSTIBLE SERVICES. REMOVED MATERIALS MAY NOT BE STORED, SOLD OR BURNED ON SITE. REMOVAL OF HAZARDOUS AND COMBUSTIBLE MATERIALS SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE PROCEDURES AS AUTHORIZED BY THE FIRE DEPARTMENT OR OTHER APPROPRIATE REGULATORY AGENCIES AND DEPARTMENTS.
- 13) DISCONNECT, SHUT OFF AND SEAL ALL UTILITIES SERVING THE STRUCTURE(S) TO BE DEMOLISHED BEFORE THE COMMENCEMENT OF THE DESIGNATED DEMOLITION. MARK FOR POSITION ALL UTILITY DRAINAGE AND SANITARY LINES AND PROTECT ALL ACTIVE LINES. CLEARLY IDENTIFY BEFORE THE COMMENCEMENT OF DEMOLITION SERVICES THE REQUIRED INTERRUPTION OF ACTIVE SYSTEMS THAT MAY AFFECT OTHER PARTIES, AND NOTIFY ALL APPLICABLE UTILITY COMPANIES TO INSURE THE CONTINUATION OF SERVICE.
- 14) PROTECT EXISTING DRAINAGE SYSTEM(S) AS NECESSARY TO PREVENT SEDIMENT FROM ENTERING DURING CONSTRUCTION. SEE DETAIL SHEETS FOR EROSION CONTROL DEVICES.
- 15) ALL WORK WITHIN ROADWAY RIGHT-OF-WAYS TO CONFORM TO CITY OF METHUEN AND MASSDOT STANDARDS.
- 16) THE LIMITS OF WORK SHALL BE CLEARLY MARKED IN THE FIELD PRIOR TO THE START OF CONSTRUCTION OR SITE CLEARING.
- 17) IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO NOTIFY DIG SAFE (DIAL 811) 72 HOURS PRIOR TO ANY EXCAVATION ON THIS SITE. CONTRACTOR SHALL ALSO NOTIFY LOCAL WATER DEPARTMENT TO MARK OUT THEIR UTILITIES.
- 18) NOTES ON THIS PLAN THAT READ "TBR" REPRESENT FEATURES TO BE REMOVED. ANY FEATURES NOT LABELED "TBR" OR "TO BE REMOVED" SHALL BE CONSIDERED EXISTING TO REMAIN.
- 19) SEE LANDSCAPE PLAN FOR LIMITS OF CLEARING AND GRUBBING. AFTER CLEARING, STRIP AND STOCKPILE TOP SOIL PER LANDSCAPE PLAN, IF APPLICABLE.



LOCATION MAP
(NOT TO SCALE)

PARCEL ID: 1113-109W-19
125 MERRIMACK STREET
METHUEN, MA 01844



REVISIONS

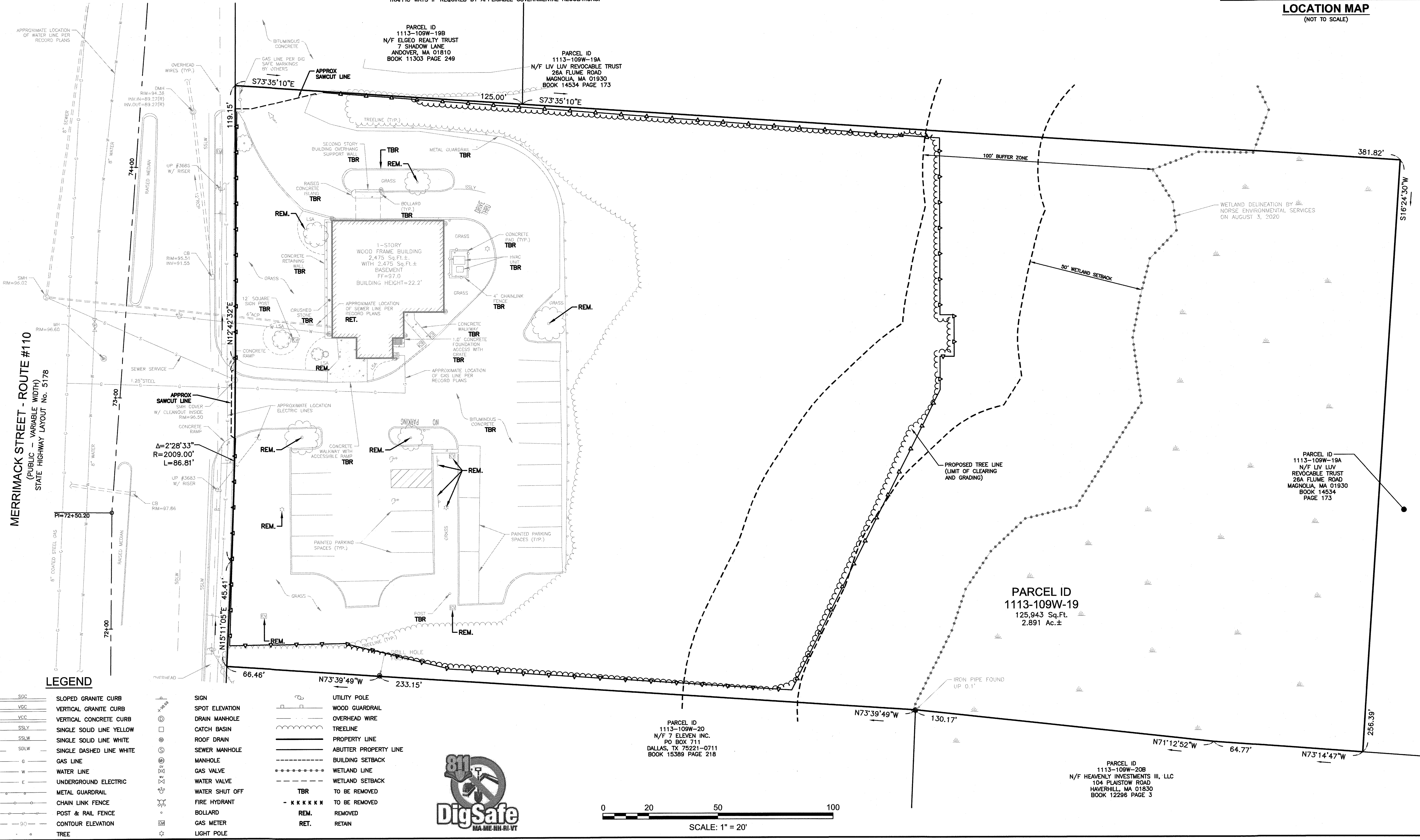
NO.	REVISION	DATE
1	MISC. REVISIONS	5/21/21
APRIL 7, 2021		
DRAWN/DESIGN BY		CHECKED BY
CCC/DRJ		DRJ

DEMOLITION PLAN

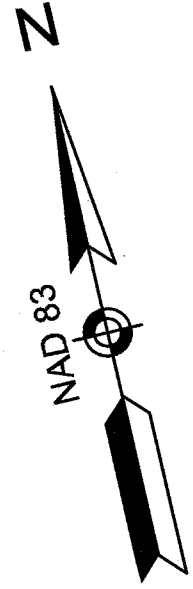
SCALE:

PROJECT NO.
NEX-2020159

3 OF 12



0 20 50 100
SCALE: 1" = 20'



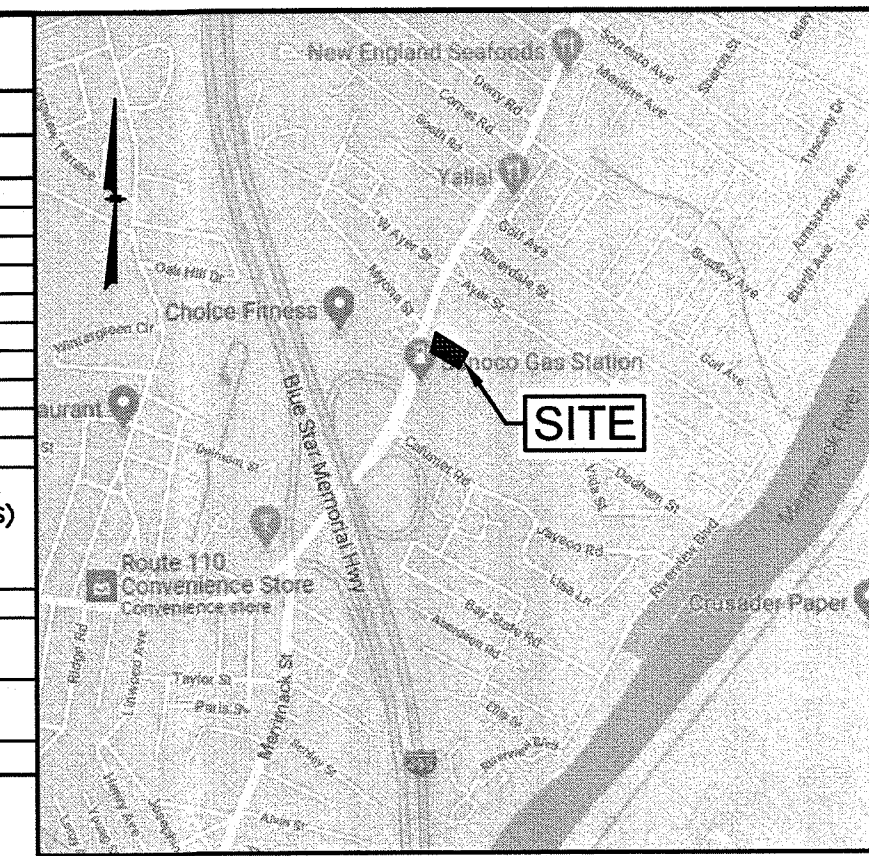
NOTES:

- 1) THE PURPOSE OF THIS PLAN IS TO SHOW THE REDEVELOPMENT OF THE PROPERTY AT 125 MERRIMACK STREET TO CONSTRUCT A 4,640 SF RESTAURANT.
- 2) FORMER USE: 2,475 SF BANK WITH 2,475 SF BASEMENT.
PROPOSED USE: PROPOSED 4,640 RESTAURANT WITH 2,475 SF BASEMENT.
- 3) ALL BUILDINGS AND SITE CONSTRUCTION SHALL COMPLY WITH THE RULES AND REGULATIONS OF THE AMERICANS WITH DISABILITIES ACT (ADA) AS REVISED IN 2010, OR LATEST REVISION.
- 4) THE LOCATIONS OF EXISTING SUBSURFACE UTILITIES SHOWN ON THIS PLAN WERE COMPILED FROM AVAILABLE RECORD DRAWINGS AND ARE NOT WARRANTED TO BE CORRECT. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING SUBSURFACE UTILITIES PRIOR TO PERFORMING ANY WORK.
- 5) WRITTEN DIMENSIONS ON THIS PLAN TAKE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL USE CAUTION WHEN SCALING REPRODUCED PLANS. IN THE EVENT OF A CONFLICT BETWEEN THIS PLAN SET AND ANY OTHER DRAWINGS AND/OR SPECIFICATIONS, THE ENGINEER SHALL BE NOTIFIED BY THE CONTRACTOR.
- 6) THE CONTRACTOR SHALL CALL AND COORDINATE WITH DIGSAFE 1-888-344-7233 PRIOR TO ANY EXCAVATION.
- 7) ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE CITY OF METHUEN AND THE STATE OF MASSACHUSETTS.
- 8) THE SURVEY TRACT IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA (100 YEAR FLOOD) PER FLOOD INSURANCE RATE MAP NUMBER 25009C0207F, WITH AN EFFECTIVE DATE OF JULY 3, 2012.
- 9) THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THESE PLANS, PREPARED BY GREENMAN PEDERSEN, INC., DO NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE SEAL OF THE SURVEYOR AND/OR ENGINEER AS INCLUDED IN THE PLAN SET DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PREPARE AND/OR OBTAIN THE APPROPRIATE SAFETY SYSTEMS WHICH MAY BE REQUIRED BY THE U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL REGULATIONS.
- 10) ALL SNOW SHALL BE STORED IN THE AREA(S) DEPICTED ON THIS PLAN AS SNOW STORAGE AREAS. IN THE EVENT THAT THE AREA(S) APPROVED FOR SNOW STORAGE BECOME FULL, THE OWNER SHALL REASONABLY REMOVE EXCESS SNOW FROM THE SITE, AND SHALL NOT ALLOW SNOW TO BE STORED WITHIN PARKING LOTS OR TRAVEL AISLES.
- 11) REFER TO DETAIL SHEETS FOR ALL SITE DEVELOPMENT DETAILS AND INFORMATION.
- 12) A SIGN PERMIT SHALL BE OBTAINED PRIOR TO INSTALLATION.
- 13) HOURS OF OPERATION: MONDAY - THURSDAY 11:00 AM - 10:00 PM
FRIDAY & SATURDAY 11:00 AM - 12:00 AM
SUNDAY 12:00 PM - 10:00 PM
- 14) SEE SPECIAL PERMIT ISSUED BY THE METHUEN ZONING BOARD OF APPEALS ON FEBRUARY 24, 2021, CASE NO. 2021-3, TO ALLOW RESTAURANT USE IN THE BH ZONING DISTRICT.

SIGN KEY		
SIGN I.D. NUMBER	TEXT/COLOR	SIZE/REMARKS
R1-1	STOP R/W	30" x 30" NEW SIGN WITH POST
R7-8	G/B/W	12" x 18" NEW SIGN WITH POST
R7-8P	G/W	12" x 6" NEW SIGN MOUNT W/R7-8
R5-1	R/W	30" x 30" NEW SIGN WITH POST

TABLE OF ZONING REGULATIONS - METHUEN, MA

ZONE: HIGHWAY BUSINESS (BH)		
DESCRIPTION	REQUIRED	PROVIDED
MINIMUM LOT AREA - Sq. Ft.	10,000 SF	125,943 SF
MINIMUM LOT FRONTAGE	100'	251.37'
MINIMUM FRONT YARD BUILDING SETBACK	25'	41.7'
MINIMUM REAR YARD BUILDING SETBACK	30'	388.5'
MINIMUM SIDE YARD BUILDING SETBACK	30'	38.5'
MINIMUM FRONT YARD PARKING SETBACK	15'	15'
MINIMUM REAR YARD PARKING SETBACK	7.5' (ALSO 7.5' FROM BUILDINGS)	15.2'
MINIMUM SIDE YARD PARKING SETBACK	7.5' (ALSO 7.5' FROM BUILDINGS)	N/A
MINIMUM ADDITIONAL BUFFER FROM RESIDENTIAL USE	30'	9' x 18'
PARKING SPACE DIMENSIONS	1 SPACE/2 EMPLOYEES X 20 EMP. = 10 SP. 1 SPACE/4SEATS X 147 SEATS = 37 SP. = 47 SPACES REQUIRED	95 SPACES (INCLUDES 4 ACCESSIBLE SPACES)
MINIMUM NUMBER PARKING SPACES		
MAXIMUM BUILDING HEIGHT	40' (3 STORIES)	20' (1 STORY)
MAXIMUM LOT COVERAGE	35%	4,640 SF/125,943 SF = 3.7%
MAXIMUM FREESTANDING SIGN AREA, HEIGHT AND SETBACK	60 SF, 20' HEIGHT (ONE SIGN PER BUILDING) 12.5' MIN. SETBACK	60 SF, 20' HIGH, 12.5' SETBACK
MAXIMUM WALL SIGN AREA	33% OF WALL	NOT TO EXCEED 33% OF WALL

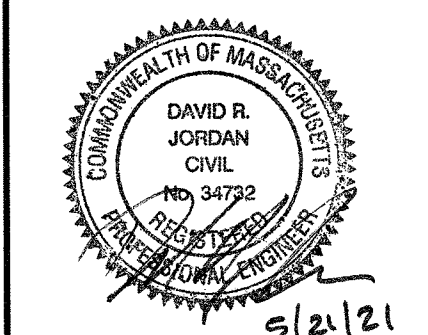


LOCATION MAP
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Construction Management
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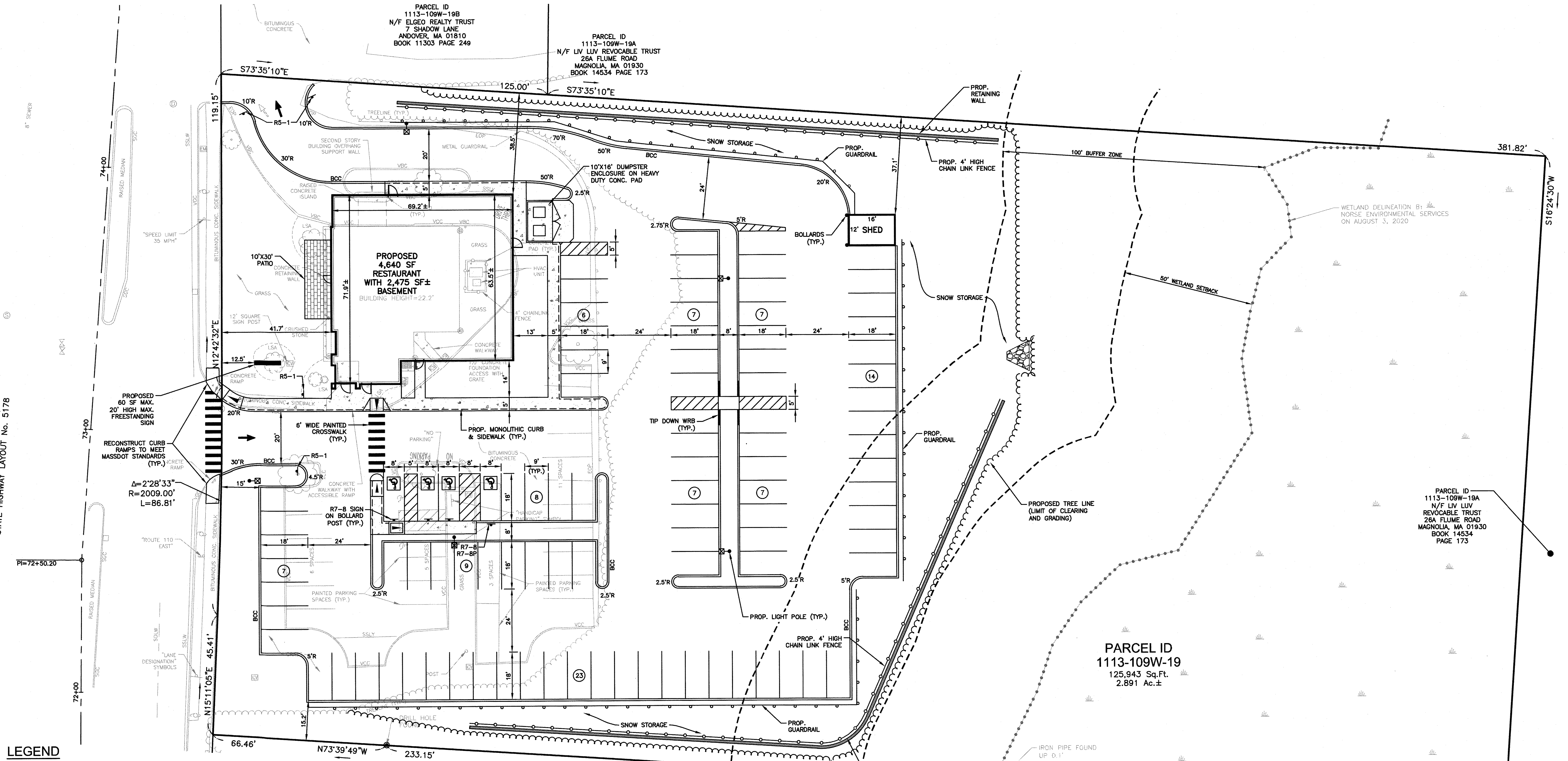


REVISIONS		
NO.	REVISION	DATE
1	MISC. REVISIONS	5/21/21
APRIL 7, 2021		
DRAWN/DESIGN BY		CHECKED BY
CCC/DRJ		DRJ

SITE PLAN

SCALE:
PROJECT NO.
NEX-2020159
4 OF 12

MERRIMACK STREET - ROUTE #110
(PUBLIC - VARIABLE WIDTH)
STATE HIGHWAY LAYOUT No. 5178



LEGEND

- | | | |
|------|--------------------------|--------------------------|
| SGC | SLOPED GRANITE CURB | UTILITY POLE |
| VCC | VERTICAL GRANITE CURB | WOOD GUARDRAIL |
| VCC | VERTICAL CONCRETE CURB | OVERHEAD WIRE |
| SSLY | SINGLE SOLID LINE YELLOW | TREELINE |
| SSLW | SINGLE SOLID LINE WHITE | PROPERTY LINE |
| SSLW | SINGLE DASHED LINE WHITE | ABUTTER PROPERTY LINE |
| G | GAS LINE | BUILDING SETBACK |
| W | WATER LINE | WETLAND LINE |
| E | UNDERGROUND ELECTRIC | WETLAND SETBACK |
| M | METAL GUARDRAIL | NUMBER OF PARKING SPACES |
| C | CHAIN LINK FENCE | BITUMINOUS CONCRETE CURB |
| P | POST & RAIL FENCE | |
| 90 | CONTOUR ELEVATION | |
| T | TREE | |
| SIGN | SPOT ELEVATION | |
| DR | DRAIN MANHOLE | |
| CB | CATCH BASIN | |
| RD | ROOF DRAIN | |
| SM | SEWER MANHOLE | |
| MA | MANHOLE | |
| GV | GAS VALVE | |
| WV | WATER VALVE | |
| WSO | WATER SHUT OFF | |
| FH | FIRE HYDRANT | |
| B | BOLLARD | |
| GM | GAS METER | |
| LP | LIGHT POLE | |

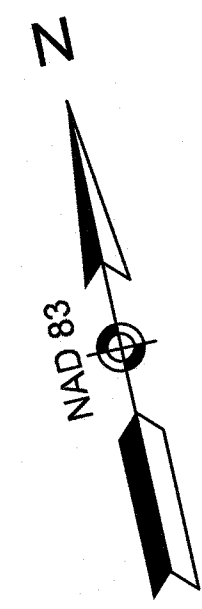


0 20 50 100
SCALE: 1" = 20'

PARCEL ID
1113-109W-19
125,943 Sq.Ft.
2.891 Ac.±

PARCEL ID
1113-109W-20B
N/F HEAVENLY INVESTMENTS III, LLC
104 PLAISTOW ROAD
HAVERHILL, MA 01830
BOOK 12296 PAGE 3

OWNER OF RECORD:
PARCEL ID: 1113-109W-19
WAN YAN, LLC
53 MAYFLOWER DRIVE
NORTH ANDOVER, MA 01845
BOOK 16335 PAGE 238














MERRIMACK STREET - ROUTE #110
(PUBLIC - VARIABLE WIDTH)
STATE HIGHWAY LAYOUT NO. 5178

LEGEND

SGC	SLOPED GRANITE CURB		SIGN		UTILITY POLE
VGC	VERTICAL GRANITE CURB		SPOT ELEVATION		WOOD GUARDRAIL
VCC	VERTICAL CONCRETE CURB		DRAIN MANHOLE		OVERHEAD WIRE
SSLY	SINGLE SOLID LINE YELLOW		CATCH BASIN		TREELINE
SSLW	SINGLE SOLID LINE WHITE		ROOF DRAIN		PROPERTY LINE
SSDLW	SINGLE DASHED LINE WHITE		SEWER MANHOLE		ABUTTER PROPERTY
G	GAS LINE		MANHOLE		BUILDING SETBACK
W	WATER LINE		GAS VALVE		WETLAND LINE
E	UNDERGROUND ELECTRIC		WATER VALVE		WETLAND SETBACK
	METAL GUARDRAIL		WATER SHUT OFF		
	CHAIN LINK FENCE		FIRE HYDRANT		
	POST & RAIL FENCE		BOLLARD		
	CONTOUR ELEVATION		GAS METER		
	TREE		LIGHT POLE		

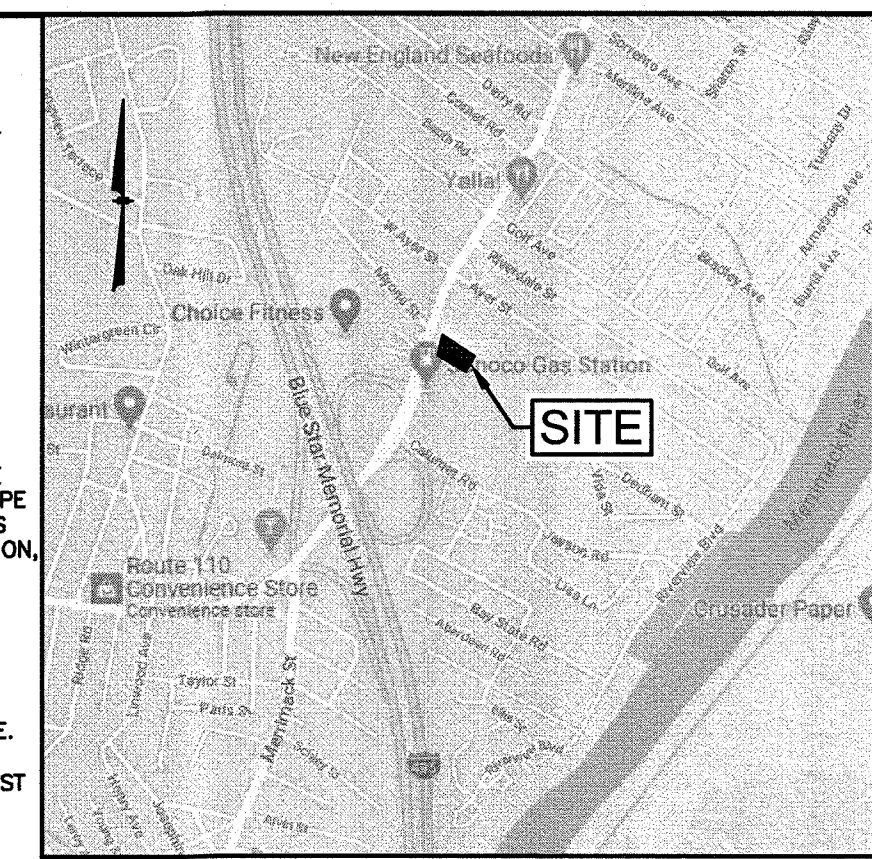
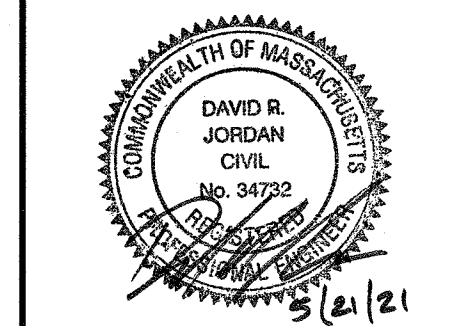
SIGN	SPOT ELEVATION
DRAIN MANHOLE	CATCH BASIN
ROOF DRAIN	SEWER MANHOLE
MANHOLE	GAS VALVE
WATER VALVE	WATER SHUT OFF
FIRE HYDRANT	BOLLARD
GAS METER	LIGHT POLE

UTILITY POLE	WOOD GUARDRAIL
OVERHEAD WIRE	TREELINE
PROPERTY LINE	ABUTTER PROPERTY LINE
BUILDING SETBACK	WETLAND LINE
WETLAND SETBACK	

	IRON PIN FOUND
	CONCRETE BOUND FOUND
	EDGE OF PAVEMENT
	SINGLE SOLID WHITE LINE
	SINGLE SOLID YELLOW LINE
	SINGLE DASHED YELLOW LINE
	CONTOUR ELEVATION
	MONOLITHIC CONCRETE CURB
	OVERHEAD SERVICE WIRES
	STONE WALL
	PROP. CLEANOUT
	PROP. RAIN GUARDIAN
	TEST PIT

NOTES:

- ALL SITE DRAINAGE PIPE SHALL BE CORRUGATED HIGH-DENSITY POLYETHYLENE PIPE WITH STANDARD JOINTS, DUAL-WALL, SMOOTH INTERIOR, AS MANUFACTURED BY ADS, INC., OR APPROVED EQUAL.
- ALL BUILDING ROOF AND CANOPY DRAIN PIPES SHALL BE MIN. 6" PVC(SDR-35), EXCEPT WITHIN 10 FEET OF A BUILDING OR CANOPY FOUNDATION WHERE CAST IRON PIPE SHALL BE USED, MIN. SLOPE=1%.
- ELEVATIONS ARE BASED ON NAVD83 DATUM.
- ALL PROPOSED ELEVATIONS AS SHOWN ARE BOTTOM OF CURB ELEVATIONS, UNLESS OTHERWISE NOTED.
- ANY UTILITY FIELD ADJUSTMENTS SHALL BE APPROVED BY THE LOCAL AUTHORITIES AND THE DEVELOPER PRIOR TO INSTALLATION. SEE UTILITIES PLAN FOR PROPOSED UTILITY LOCATIONS.
- THE LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE ONLY. THE CONTRACTOR IS TO VERIFY EXACT LOCATION PRIOR TO CONSTRUCTION. THE CONTRACTOR IS TO NOTIFY THE DESIGN ENGINEER OF ANY DISCREPANCIES.
- ALL CONSTRUCTION SHALL CONFORM TO METHUEN DEPARTMENT OF PUBLIC WORKS AND ALL APPLICABLE STATE AND FEDERAL STANDARDS.
- THE CONTRACTOR SHALL CALL AND COORDINATE WITH DIG-SAFE (811) PRIOR TO COMMENCING ANY EXCAVATION.
- THIS SITE WILL REQUIRE A USEPA NPDES PERMIT FOR STORMWATER DISCHARGE FOR THE SITE CONSTRUCTION SINCE THE DISTURBANCE EXCEEDS ONE ACRE (ACTUAL DISTURBANCE = 74,000 SF). THE CONSTRUCTION SITE OPERATOR SHALL DEVELOP AND IMPLEMENT A CONSTRUCTION STORM WATER POLLUTION PREVENTION PLAN (SWPPP), WHICH SHALL REMAIN ON SITE AND MADE ACCESSIBLE TO THE PUBLIC. A COMPLETED NOTICE OF TERMINATION (NOT) SHALL BE SUBMITTED TO NPDES PERMITTING AUTHORITY WITHIN 30 DAYS AFTER EITHER OF THE FOLLOWING CONDITIONS HAVE BEEN MET: FINAL STABILIZATION HAS BEEN ACHIEVED ON ALL PORTIONS OF THE SITE FOR WHICH THE PERMITEE IS RESPONSIBLE OR ANOTHER OPERATOR/PERMITEE HAS ASSUMED CONTROL OVER ALL AREAS OF THE SITE THAT HAVE NOT BEEN FINALLY STABILIZED.
- ALL TRAFFIC CONTROL AND TEMPORARY CONSTRUCTION SIGNAGE ARRANGEMENTS, ACCEPTABLE TO MASSDOT AND METHUEN DEPARTMENT OF PUBLIC WORKS, SHALL BE EMPLOYED DURING OPERATIONS WITHIN THE PUBLIC RIGHT-OF-WAY.
- SEE UTILITY PLAN FOR DETAILED UTILITIES INFORMATION.
- SEE EROSION & SEDIMENT CONTROL PLAN FOR DETAILED EROSION CONTROL MEASURES.
- SEE DETAIL SHEETS FOR TEST PIT DATA RESULTS.
- ALL PIPE DATA IS CALCULATED TO CENTER OF STRUCTURE, TYP.
- ALL ADA ACCESSIBLE WALKWAYS CANNOT EXCEED 5% RUNNING SLOPE AND 2% CROSS SLOPE, RAMPS CANNOT EXCEED 8.33% RUNNING SLOPE AND 2% CROSS SLOPE, AND HC PARKING STALLS AND ACCESS AISLES CANNOT EXCEED 2% SLOPE IN ANY DIRECTION. PRIOR TO CONSTRUCTION, CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES.
- ALL PROPOSED CATCH BASINS SHALL HAVE 4" SUMPS AND OUTLETS EQUIPPED WITH "SNOUT" OIL HOODS OR APPROVED EQUAL.
- REFER TO OPERATION & MAINTENANCE AND LONG TERM POLLUTION PREVENTION PLAN FOR ON-SITE STORMWATER MAINTENANCE SCHEDULE.
- CONTRACTOR TO INSTALL DRAINAGE FACILITIES STARTING AT THE LOWEST DOWNSTREAM STRUCTURE WITHIN THE DRAINAGE SYSTEM AND WORK BACKWARDS INTO SITE.

LOCATION MAP
(NOT TO SCALE)PARCEL ID: 1113-109W-19
125 MERRIMACK STREET
METHUEN, MA 01844

REVISIONS

NO.	REVISION	DATE
1	MISC. REVISIONS	5/21/21

APRIL 7, 2021

DRAWN/DESIGN BY	CHECKED BY
CCC/DRJ	DRJ

GRADING &
DRAINAGE PLAN

SCALE:

PROJECT NO.
NEX-2020159

5 OF 12

DRAINAGE STRUCTURES

CB-1 RIM=94.75 INV.OUT=90.75	DMH-2 RIM=94.94 INV.IN=89.15(DMH-1) INV.OUT=89.05	PROPOSED UNDERGROUND INFILTRATION SYSTEM (U/G INF) (84) STORMTECH MC-4500 CHAMBERS
CB-2 RIM=95.00 INV.OUT=91.00	DMH-3 RIM=93.45 INV.IN=88.25(DMH-2) INV.IN=83.75(DMH-5)	OUTLET CONTROL STRUCTURE #1 (OCS-1)
CB-3 RIM=94.60 INV.OUT=90.60	DMH-4 RIM=91.33 INV.IN=87.49(DMH-3) INV.IN=83.75(DMH-5)	RIM=91.35 INV.IN=83.00 INV.OUT=82.25 (SEE DETAIL)
CB-4 RIM=92.10 INV.OUT=88.10	DMH-5 RIM=91.07 INV.IN=87.07(CB-4) INV.IN=83.90(CB-6) INV.IN=84.78(CB-5)	INV.OUT=83.90
CB-5 RIM=89.25 INV.OUT=85.25	DMH-6 RIM=91.71 INV.IN=87.41(CB-8) INV.IN=87.71(CB-9)	INV.OUT=86.35
CB-6 RIM=88.45 INV.OUT=84.45	DMH-7 RIM=82.00 INV.IN=79.00(OCS-1) INV.OUT=73.00	
CB-7 RIM=93.00 INV.OUT=89.00		
CB-8 RIM=91.85 INV.OUT=87.85		
CB-9 RIM=90.65 INV.IN=86.65		
DMH-1 RIM=95.90 INV.IN=89.85(CB-1) INV.OUT=89.75		

FES-1
INV.=71.50PARCEL ID
1113-109W-19
125,943 Sq.Ft.
2.891 Ac.±

DRAINAGE PIPE SCHEDULE

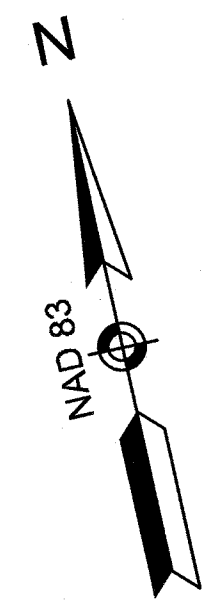
FROM STRUCTURE NUMBER	PIPE SIZE (INCHES)	PIPE TYPE	APPROX. LENGTH (FEET)	SLOPE OF PIPE (FT./FT.)	TO STRUCTURE NUMBER
CB-1	12	HDPE	108	0.008	DMH-1
CB-2	12	HDPE	95	0.016	DMH-3
CB-3	12	HDPE	11	0.010	DMH-3
CB-4	12	HDPE	21	0.049	DMH-5
CB-5	12	HDPE	47	0.010	DMH-5
CB-6	12	HDPE	55	0.010	DMH-5
CB-7	12	HDPE	39	0.033	DMH-6
CB-8	12	HDPE	44	0.010	DMH-6
CB-9	12	HDPE	29	0.010	DMH-6
DMH-1	12	HDPE	68	0.009	DMH-2
DMH-2	12	HDPE	69	0.012	U/G INF-1
DMH-3	12	HDPE	59	0.033	DMH-4
DMH-5	12	HDPE	15	0.010	DMH-4
DMH-6	12	HDPE	8	0.008	DMH-8
DMH-7	12	HDPE	16	0.094	FES-1
OCS-1	12	HDPE	44	0.073	DMH-7

0 20 50 100

SCALE: 1" = 20'



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MERRIMACK STREET - ROUTE #110
(PUBLIC - VARIABLE WIDTH)
STATE HIGHWAY LAYOUT No. 5178



SEWER PIPE SCHEDULE					
FROM: STRUCTURE NUMBER	PIPE SIZE (Inches)	TYPE OF PIPE	APPROX. PIPE LENGTH (feet)	SLOPE OF PIPE (ft./ft.)	TO: STRUCTURE NUMBER
BLDG.	6	PVC	10	0.020	GR. TRAP
GR. TRAP	6	PVC	14	0.021	SMH-2
SMH-2	6	PVC	73	0.020	SMH-1

SEWER STRUCTURES

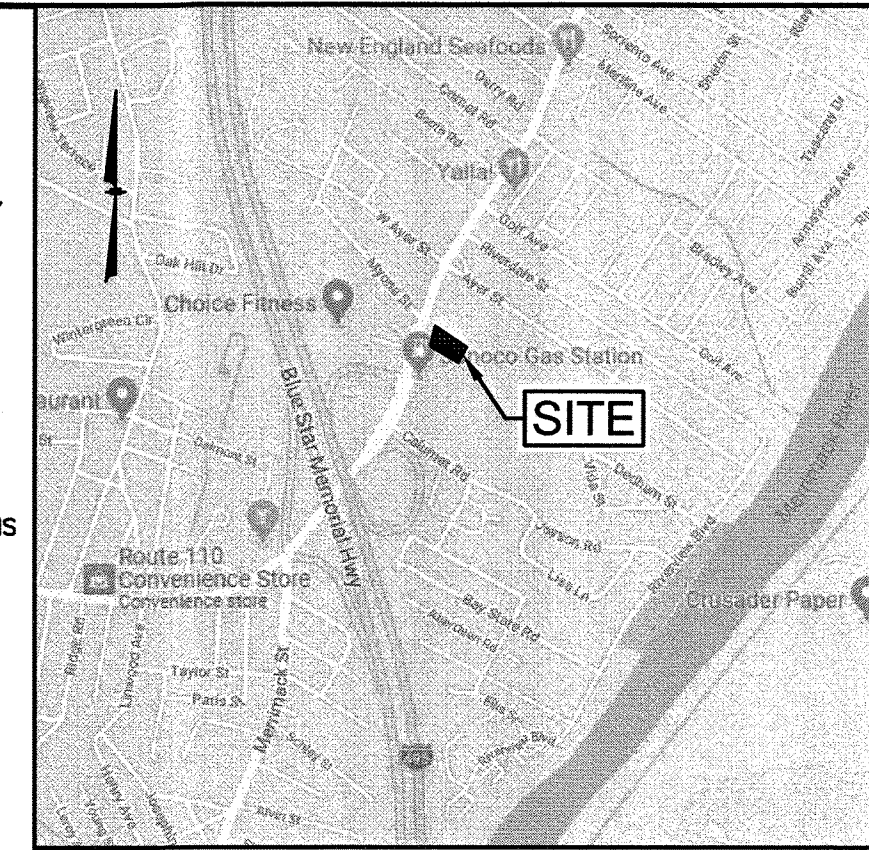
3,000 GAL. GREASE TRAP
RIM=92.80
INV.IN=92.80
INV.OUT=92.55

SMH-1
RIM=96.50
INV.IN=90.70
INV.OUT=90.64 (EXIST. 6" SERVICE)

SMH-2
RIM=95.30
INV.IN=92.25
INV.OUT=92.15

NOTES:

- 1) ANY UTILITY FIELD ADJUSTMENTS SHALL BE APPROVED BY THE FIELD ENGINEER PRIOR TO INSTALLATION.
- 2) LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE ONLY. CONTRACTOR TO VERIFY EXACT LOCATION PRIOR TO CONSTRUCTION. CONTRACTOR TO NOTIFY ENGINEER OF ANY DISCREPANCIES.
- 3) CONTRACTOR TO COORDINATE WITH UTILITY COMPANIES REGARDING UTILITY CONNECTIONS AND LOADING REQUIREMENTS. ALL UTILITY CONNECTIONS TO BE UNDERGROUND.
- 4) THE CONTRACTOR SHALL CALL DIGSAFE (811) AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION.
- 5) ALL SANITARY SEWER WORK SHALL MEET CITY OF METHUEN SPECIFICATIONS.
- 6) ALL SANITARY SEWER PIPE SHALL BE PVC (SDR-35), UNLESS OTHERWISE NOTED. THE BUILDING SEWER THROUGH THE FOUNDATION AND UP TO A PERPENDICULAR DISTANCE OF 10 FEET FROM THE FOUNDATION SHALL BE CONSTRUCTED OF CAST IRON.
- 7) ALL SANITARY SEWER PIPE CONNECTIONS AT PRECAST STRUCTURES AND SHALL BE WATER-TIGHT BY USE OF A "WIKISEAL" CONNECTOR OR APPROVED EQUAL.
- 8) ALL WATER SERVICE CONNECTIONS SHALL MEET METHUEN WATER DISTRICT SPECIFICATIONS.
- 9) ALL WATER PIPE SHALL BE COPPER, UNLESS OTHERWISE NOTED ON PLAN.
- 10) ANY UTILITY FIELD ADJUSTMENTS SHALL BE APPROVED BY THE LOCAL AUTHORITIES AND THE DEVELOPER PRIOR TO INSTALLATION.
- 11) ALL ELECTRIC, TELEPHONE AND CABLE TV LINES ARE TO BE UNDERGROUND AND INSTALLED IN CONFORMANCE WITH APPLICABLE UTILITY CO. SPECIFICATIONS.
- 12) THE SITE IS SERVED BY MUNICIPAL WATER PROVIDED BY THE CITY OF METHUEN. THE CONTRACTOR IS TO COORDINATE WITH THE DISTRICT REGARDING WATER PRESSURE AT SERVICE. THE CONTRACTOR IS TO VERIFY IF PRESSURE REDUCING VALVE IS REQUIRED.
- 13) ANY UTILITIES TO BE TAKEN OUT OF SERVICE SHALL BE DISCONNECTED AS DIRECTED BY UTILITY COMPANY AND LOCAL DPW.
- 14) ALL TRAFFIC CONTROL AND TEMPORARY CONSTRUCTION SIGNAGE ARRANGEMENTS, ACCEPTABLE TO METHUEN DPW (AS APPLICABLE), SHALL BE EMPLOYED DURING OPERATIONS WITHIN THE PUBLIC RIGHT-OF-WAY.
- 15) SEE GRADING & DRAINAGE PLAN FOR DETAILED DRAINAGE INFORMATION.

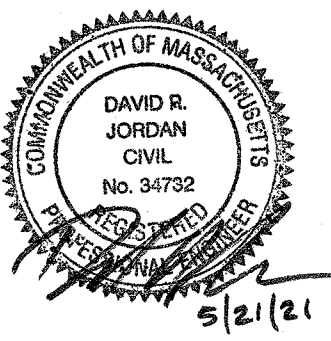


LOCATION MAP
(NOT TO SCALE)



PREPARED FOR
WAN YAN, LLC
53 MAYFLOWER DRIVE
NORTH ANDOVER, MA 01845

PARCEL ID: 1113-109W-19
125 MERRIMACK STREET
METHUEN, MA 01844



REVISIONS

NO.	REVISION	DATE
1	MISC. REVISIONS	5/21/21

APRIL 7, 2021

DRAWN/DESIGN BY CCC/DRJ	CHECKED BY DRJ
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UTILITY PLAN

SCALE:

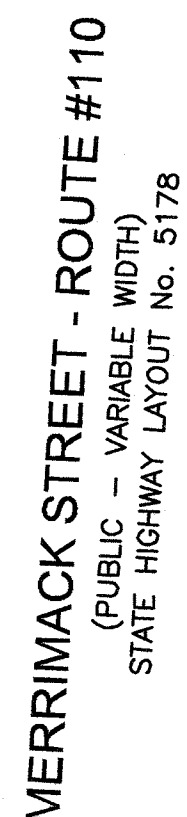
PROJECT NO.
NEX-2020159

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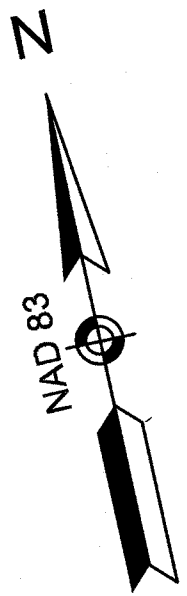
EROSION &
SEDIMENT
CONTROL PLAN

7 OF 12

- E. IN THE EVENT OF A SNOWMELT GREATER THAN 1 INCH (FRESH OR CUMULATIVE), THE SNOW SHALL BE REMOVED FROM AREAS DUE TO BE SEEDED AND MULCHED.
- F. LOAM SHALL BE FREE OF FROZEN CLUMPS BEFORE IT IS APPLIED.
- G. A DITCH THAT WILL BE CONSTRUCTED DURING THE WINTER MUST BE STABILIZED WITH RIAPAP.
- H. ALL DITCHES OR SWALES WHICH DO NOT SHOW A MIN. OF 85K VEGETATION BY OCTOBER 15TH MUST BE DESTROYED AFTER OCT. 15 SHALL BE STABILIZED TEMPORARILY WITH TROPIC OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW.
- I. AFTER NOISE IS INCOMPLETE ROAD OR PARKING SURFACES WHERE WORK WILL BE STOPPED FOR THE WINTER SEASON SHALL BE PROTECTED WITH A MINIMUM OF 3" OF CRUSHED GRAVEL PER MASSDOT.
- J. SEDIMENT SHALL BE REMOVED ONCE THE VOLUME REACHES 1/4 TO 1/2 THE HEIGHT OF THE POND OR REMOVED FROM SILT FENCE PRIOR TO REACHING THE LOAD-BEARING CAPACITY OF THE SILT FENCE WHICH MAY LOWER THAN 1/4 TO 1/2 THE HEIGHT.
- K. SEDIMENT FROM SEDIMENT TRAPPS OR SEDIMENTATION PONDS SHALL BE REMOVED WHEN IT REACHES 1/4 TO 1/2 THE HEIGHT OF SIX ROWS.
- L. TOPSOIL SHALL BE STRIPPED FROM DISTURBED AREAS, STOCKPILED IN APPROVED AREAS AND STABILIZED WITH TEMPORARY VEGETATIVE COVER IF IT IS TO BE LEFT MORE THAN 30 CALENDAR DAYS.
- M. STOCKPILES MUST BE STABILIZED OR COVERED AT THE END OF EACH WORKDAY.
- N. STOCKPILE SIDE SLOPES SHALL NOT BE GREATER THAN 2:1.
- O. DUST SHALL BE CONTROLLED AT THE SITE.



MERRIMACK STREET - ROUTE #110
(PUBLIC - VARIABLE WIDTH)
STATE HIGHWAY LAYOUT NO. 5178



PLANTING SCHEDULE					
PLANT	QNTY	BOTANICAL NAME	COMMON NAME	MIN. INSTALL SIZE	MATURE SIZE/REMARKS
TREES					
AR	5	ACER RUBRUM 'KARPIK'	KARPIK RED MAPLE	2"- 2 1/2" CAL	- /SHADE-NARROW-STREET
GS	2	GLEDITSIA TRIACANTHOS 'SHADEMASTER'	SHADEMASTER HONEY LOCUST	2"- 2 1/2" CAL	- /STREET-THORNLESS
MS	4	MALUS 'SPRING SNOW'	SPRING SNOW CRABAPPLE	2"- 2 1/2" CAL	20' HT. MAX./WHITE FLOWERS-AVOID FRUIT
PC	6	PRUNUS SARGENTII 'COLUMNARIS'	COLUMNAR SARGENT CHERRY	2"- 2 1/2" CAL	- /NARROW-PINK FLOWERS
SHRUBS					
CA	14	CLETHRA ALNIFOLIA 'HUMMINGBIRD'	HUMMINGBIRD SUMMERSWEET	18"-24" HT. 3 GAL.	3'-4' HT. MAX./WHITE FLOWERS
CS	18	CORNUS SERICEA 'ARCTIC FIRE'	ARCTIC FIRE RED TWIG DOGWOOD	3 GAL. 18"-24" HT.	30" HT. MAX./RED TWIG/COMPACT FORM
IG	28	ILEX GLABRA 'SHAMROCK'	SHAMROCK HIBERNY	2"- 2 1/2" HT.	- /EVERGREEN-BERRIES
JB	12	JUNIPERUS HORIZONTALIS 'BAR HARBOR'	BAR HARBOR JUNIPER	18"-24" SPR.	1' HT. MAX./GROUNDCOVER/BLUE GREEN-SALT TOLERANT
TE	7	TAXUS X MEDIA 'EVER-LOW'	EVER-LOW YEW	18"-24" SPR.	1'-2' HT. MAX./SPREADING
PERENNIALS & GRASSES					
HB	7	HOSTA 'BLUE CADET'	BLUE CADET HOSTA	1 GAL.	BLUE-GREEN LEAVES/LAVENDER FLOWERS
HD	84	HEMEROCALLIS 'STELLA DE ORO'	DWARF YELLOW DAYLILY	1 GAL.	YELLOW FLOWERS/CONTINUOUS BLOOMS
PL	55	PENISSETUM ALOPECUROIDES 'LITTLE BUNNY'	LITTLE BUNNY FOUNTAIN GRASS	1 GAL.	COMPACT WITH BUFF COLORED BLOOMS

1 XX PLANT QUANTITY
XX PLANT DESIGNATION
PROPOSED SOD
PROPOSED LANDSCAPE STONE

LANDSCAPE REQUIREMENTS

METHUEN CODE	REQUIRED	PROVIDED
SECTION VIII-B-5-b INTERIOR PARKING	(1) TREE PER (2,000) SF OF PARKING AREA 28,500 SF/300 SF = 14 TREES	14 TREES

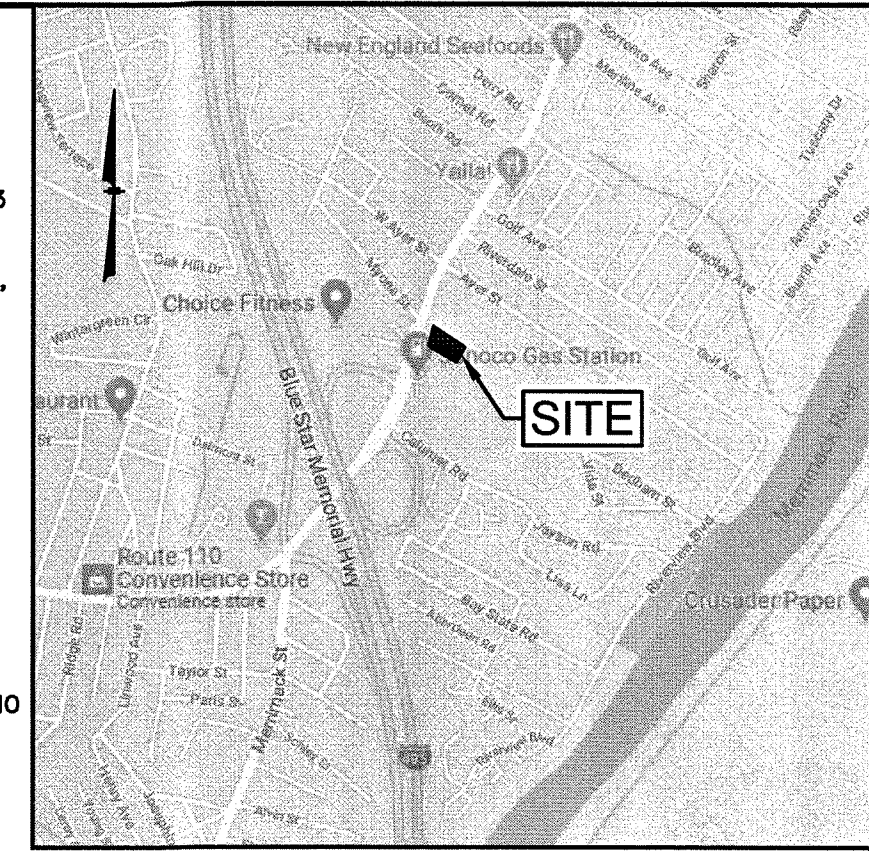
NOTES:

- ALL PLANT STOCK SHALL CONFORM TO ANSI Z260.1 - NURSERY STOCK, LATEST EDITION (AMERICAN ASSOCIATION OF NURSERMEN, INC.).
- 4" AGED PINEBARK MULCH AND A WEED BARRIER (TY-PAR FABRIC OR APPROVED EQUAL) SHALL BE APPLIED TO ALL SHRUB AND GROUNDCOVER BEDS. INSTALL WEED BARRIER AS PER MANUFACTURERS RECOMMENDATIONS.
- PLANT PIT BACKFILL SHALL BE MIXED AT A RATE OF 7 PARTS OF TOPSOIL TO 2 PARTS OF DEHYDRATED COW MANURE. SLOW RELEASE FERTILIZER SHALL BE APPLIED AS PER MANUFACTURERS RECOMMENDATIONS. USE EXISTING ON-SITE TOPSOIL AS PART OF BACKFILL WHEN AVAILABLE.
- ALL LANDSCAPED AREAS NOT PLANTED WITH TREES, SHRUBS OR GROUNDCOVER SHALL BE RESTORED WITH SEED OR SOD AS INDICATED ON PLANS.
- ALL SOD, SEED, SHRUB AND TREE AREAS SHALL RECEIVE 6" PH CORRECTED TOPSOIL. AFTER TOPSOIL IS SPREAD EVENLY OVER ENTIRE AREA, ALL CLODS, LUMPS, STONES AND OTHER DELETERIOUS MATERIAL SHALL BE RAKED UP AND REMOVED.
- APPLICATION OF GRASS SEED, FERTILIZERS AND MULCH SHALL BE ACCOMPISHED BY BROADCAST SEEDING OR HYDROSEEDING AT THE RATES OUTLINED BELOW:

LIMESTONE:	100 LBS./1,000 SQUARE FEET.
FERTILIZER:	500 LBS./ACRE OF 10-20-20 OR 1000 LBS./ACRE OF 5-10-10.
MULCH:	HAY MULCH APPROXIMATELY 3 TONS/ACRE

SEED MIX (SLOPES LESS THAN 4:1)	LBS./ACRE
CREeping RED FESCUE	20
TALL FESCUE	15
PERENNIAL RYEGRASS	5
REDTOP	42

SLOPE MIX (SLOPES GREATER THAN 4:1)	LBS./ACRE
CREeping RED FESCUE	20
TALL FESCUE	20
BIRDSFOOT TREEFOIL	48
- FOR TEMPORARY EROSION CONTROL NOTES, SEE DETAIL SHEET.
- NEWLY GRADED AREAS REQUIRING SLOPE PROTECTION OUTSIDE OF NORMAL SEEDING SEASON SHALL RECEIVE STRAW MULCH AT THE APPROXIMATE RATE OF NO MORE THAN 3 TONS PER ACRE.
- ANY CHANGES IN PLANT LOCATIONS OR TYPES SHALL BE APPROVED BY THE DEVELOPER, LANDOWNER AND CITY PRIOR TO INSTALLATION.
- CLEAR AND GRUB (TO LIMITS REQUIRED ON GRADING PLAN) TO REMOVE VEGETATION, TREES, ROCKS, DEBRIS, ROOTS, ETC. STUMPS SHALL BE REMOVED AND DISPOSED OF OFF SITE IN ACCORDANCE WITH STATE REGULATIONS. AFTER CLEARING, ROTOTILL, STRIP AND STOCKPILE ALL ON-SITE TOPSOIL FOR REUSE TO THE MAXIMUM EXTENT POSSIBLE.
- FOR SEED & SOD AREAS USE EXISTING TOPSOIL, IF AVAILABLE, FOR A 4" DEPTH AND TOP DRESS WITH 2" OF SCREENED TOPSOIL, UNLESS OTHERWISE NOTED ON PLAN. ALL LOAM OR TOPSOIL IMPORTED OR RE-UTILIZED FROM ON SITE SHALL BE TESTED AND AMENDED AS DIRECTED BY DEVELOPER TO MEET MINIMUM REQUIREMENTS.
- PLANTINGS SHALL BE GUARANTEED BY THE CONTRACTOR FOR ONE YEAR AFTER WRITTEN ACCEPTANCE OF THE DEVELOPER.
- SLOPES GREATER THAN 3:1 SHALL RECEIVE JUTE MESH OR WOOD EXCELSIOR MATTING NO MORE THAN 24 HOURS AFTER SEEDING. MATTING SHALL BE INSTALLED AS PER MANUFACTURERS RECOMMENDATIONS.
- EXPOSED SOILS SHALL BE SEEDED OR HAY MULCHED WITHIN 72 HOURS OF FINAL GRADING.
- ALL WORK SHALL BE COORDINATED WITH APPLICABLE EPA NPDES/SWPPP PERMIT WORK AS REQUIRED.
- THE CONTRACTOR SHALL INSTALL AN IRRIGATION SYSTEM TO PROVIDE COMPLETE COVERAGE OF ALL SEED AREAS AND SHRUB BEDS WITHIN THE LEASE AREA. THE SYSTEM SHALL INCLUDE A TIMER AND SHALL BE INSTALLED IN ACCORDANCE WITH LOCAL CODES.



LOCATION MAP
(NOT TO SCALE)

GPI Engineering
Design
Planning
Construction Management
603.893.0720 GPINET.COM
Greenman-Pedersen, Inc.
44 Stiles Road, Suite One
Salem, NH 03079

PREPARED FOR
WAN YAN, LLC
53 MAYFLOWER DRIVE
NORTH ANDOVER, MA 01845

PARCEL ID: 1113-109W-19
125 MERRIMACK STREET
METHUEN, MA 01844

DAVID R. JORDAN
CIVIL
REGISTERED PROFESSIONAL ENGINEER
5/21/21

REVISIONS		
NO.	REVISION	DATE
1	MISC. REVISIONS	5/21/21

APRIL 7, 2021
DRAWN/DESIGN BY: CCC/DRJ
CHECKED BY: DRJ

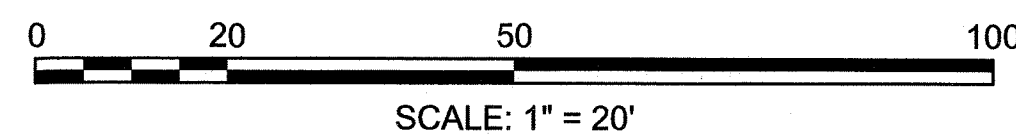
LANDSCAPE PLAN

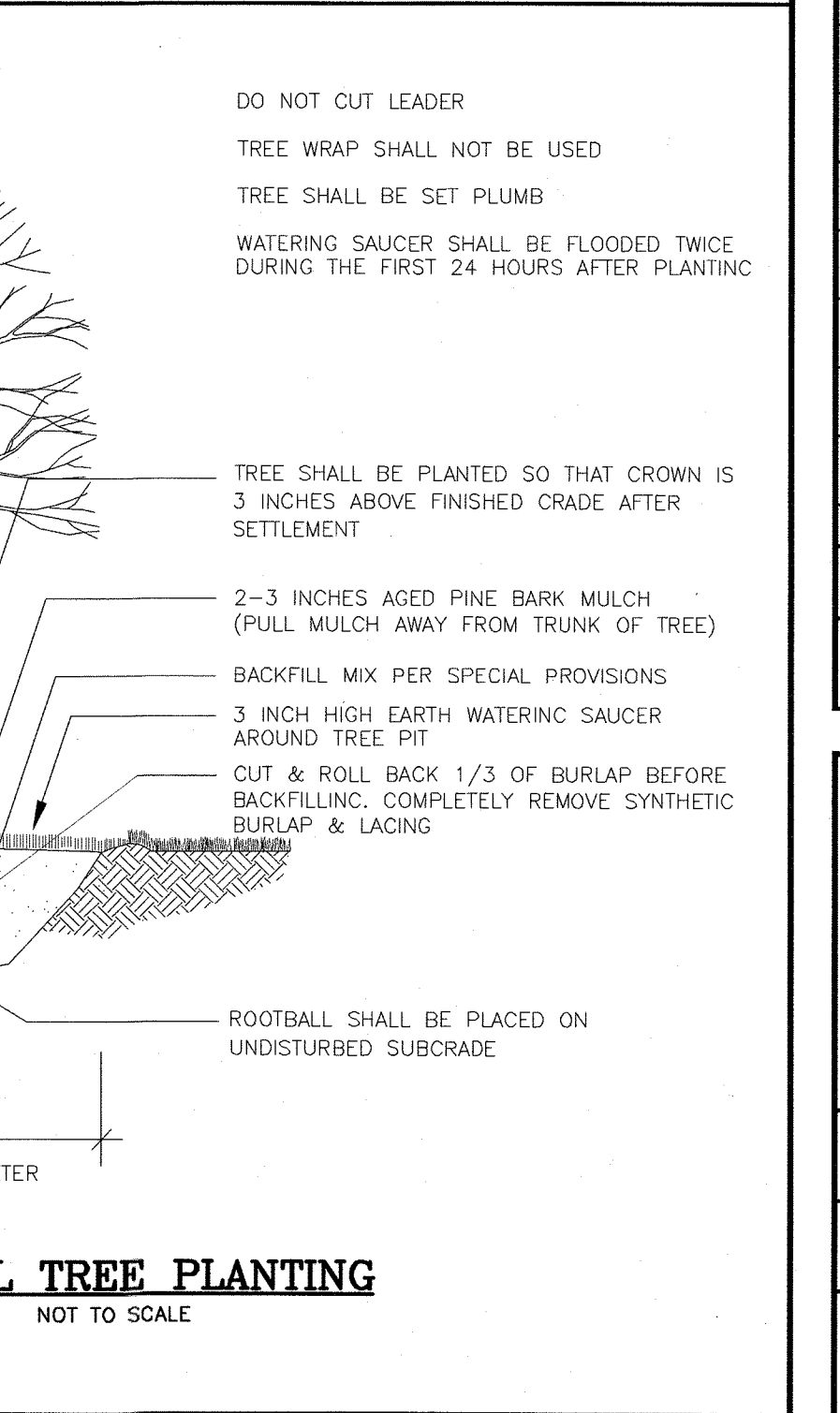
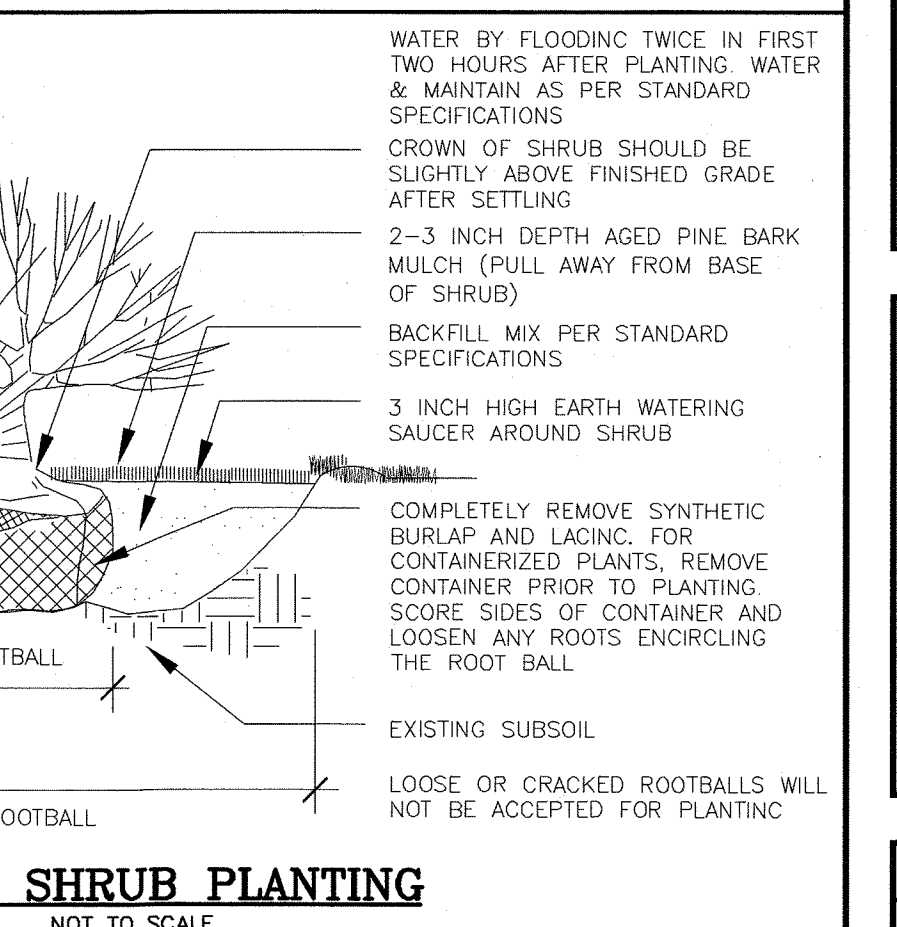
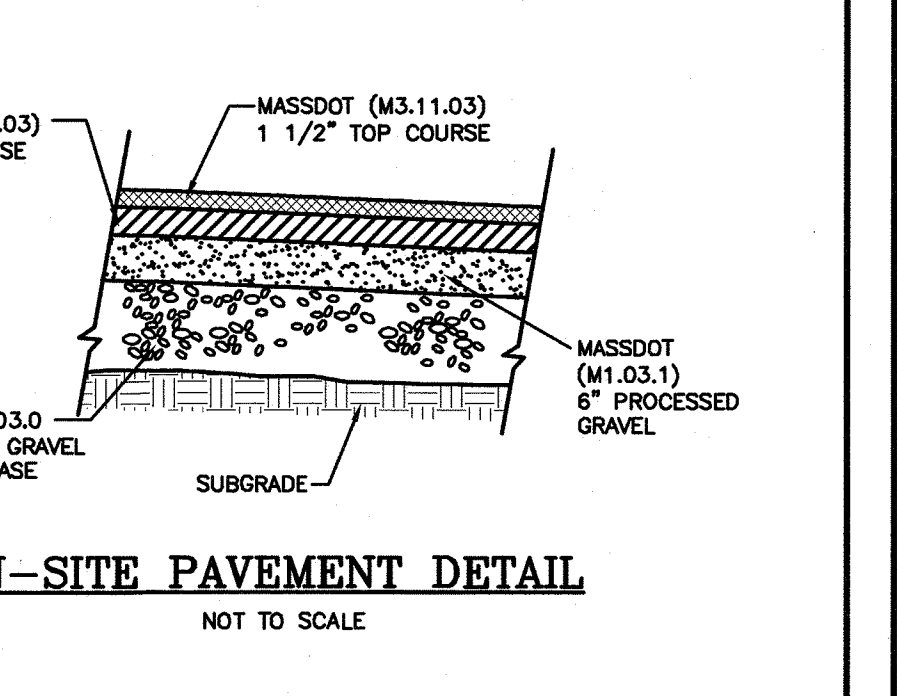
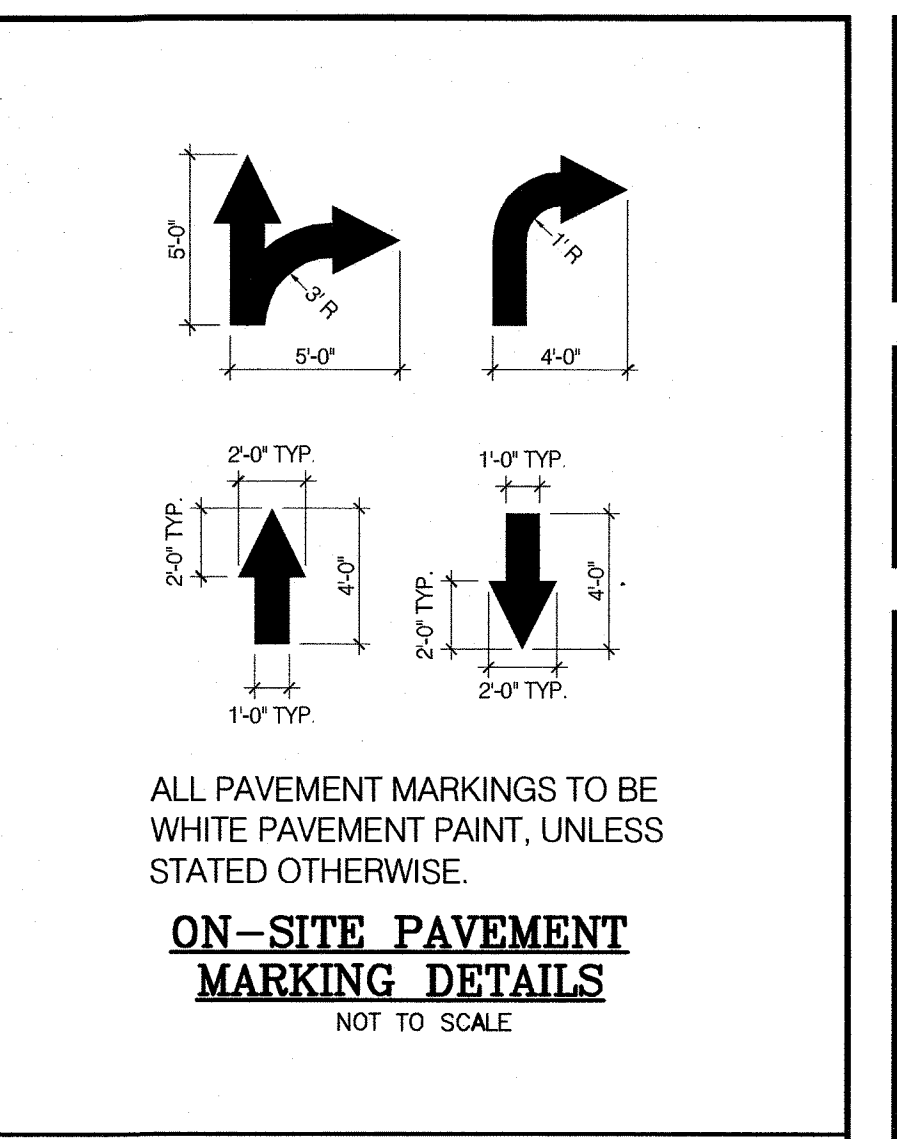
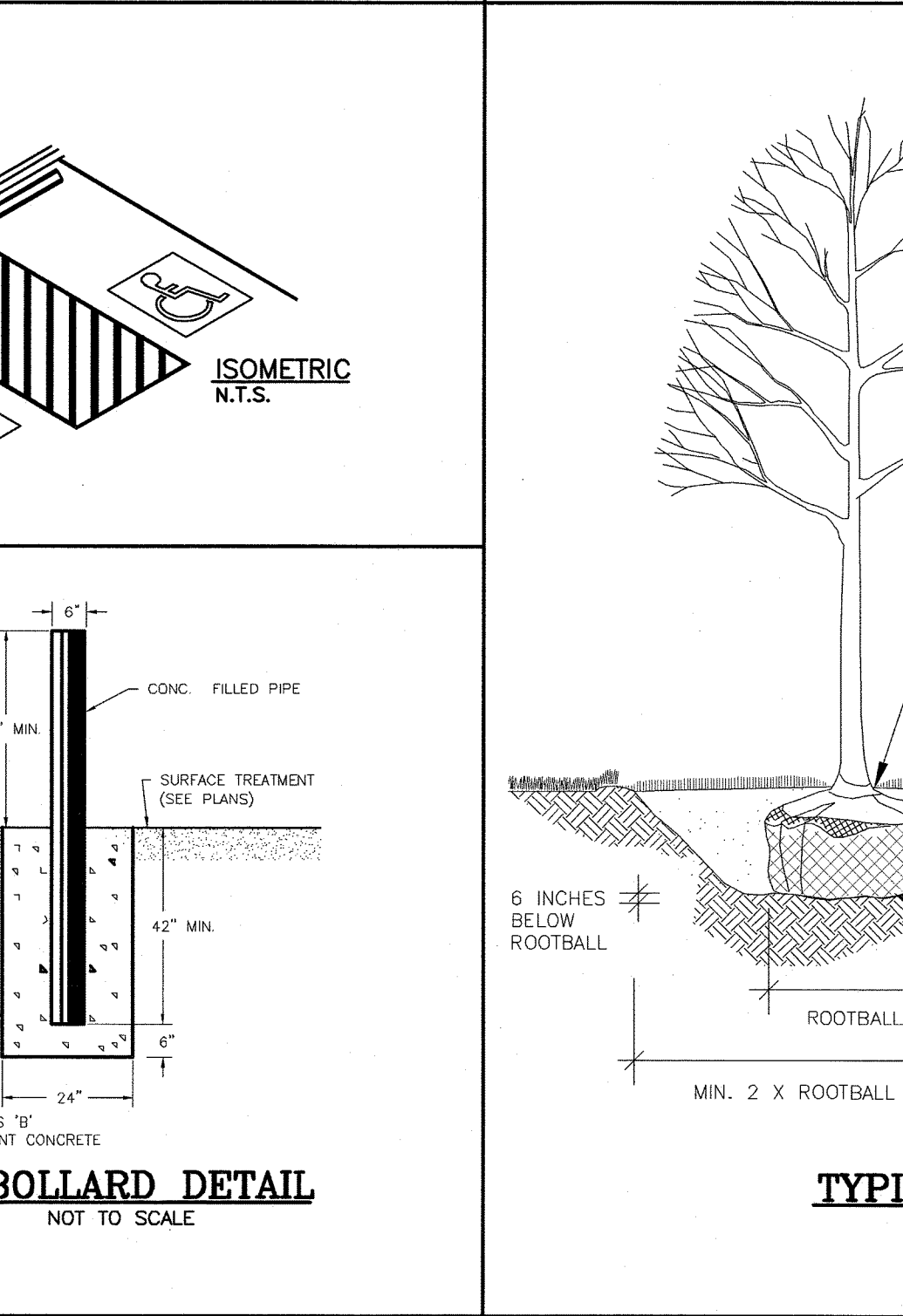
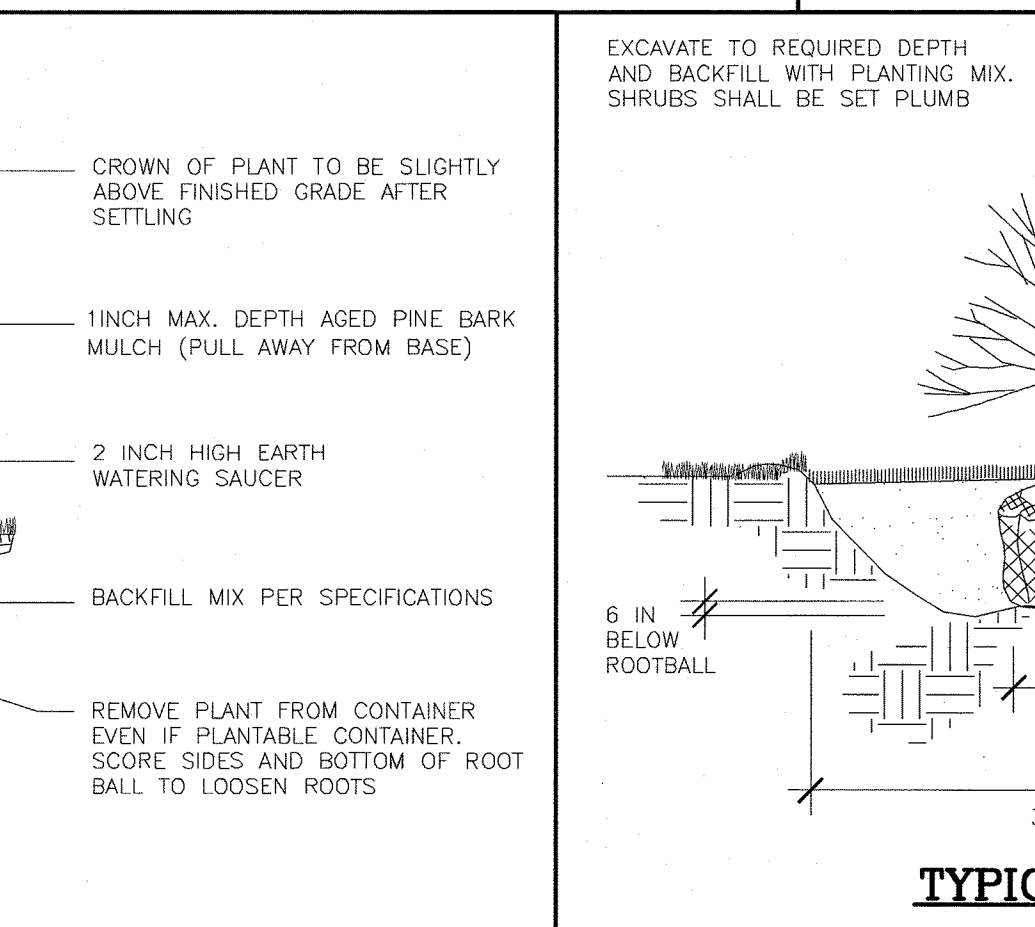
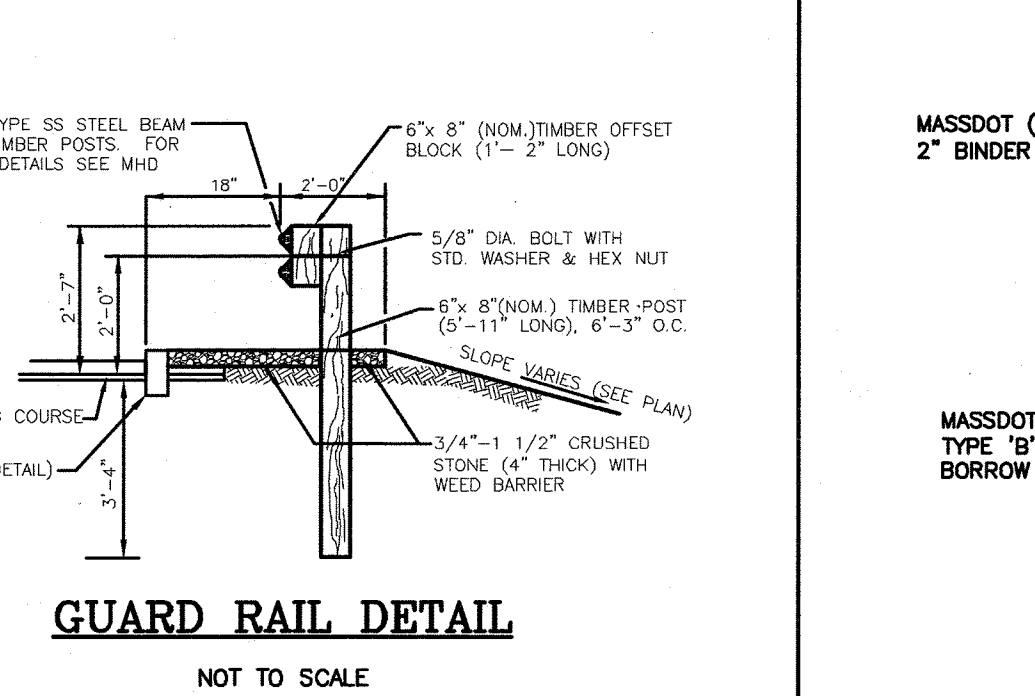
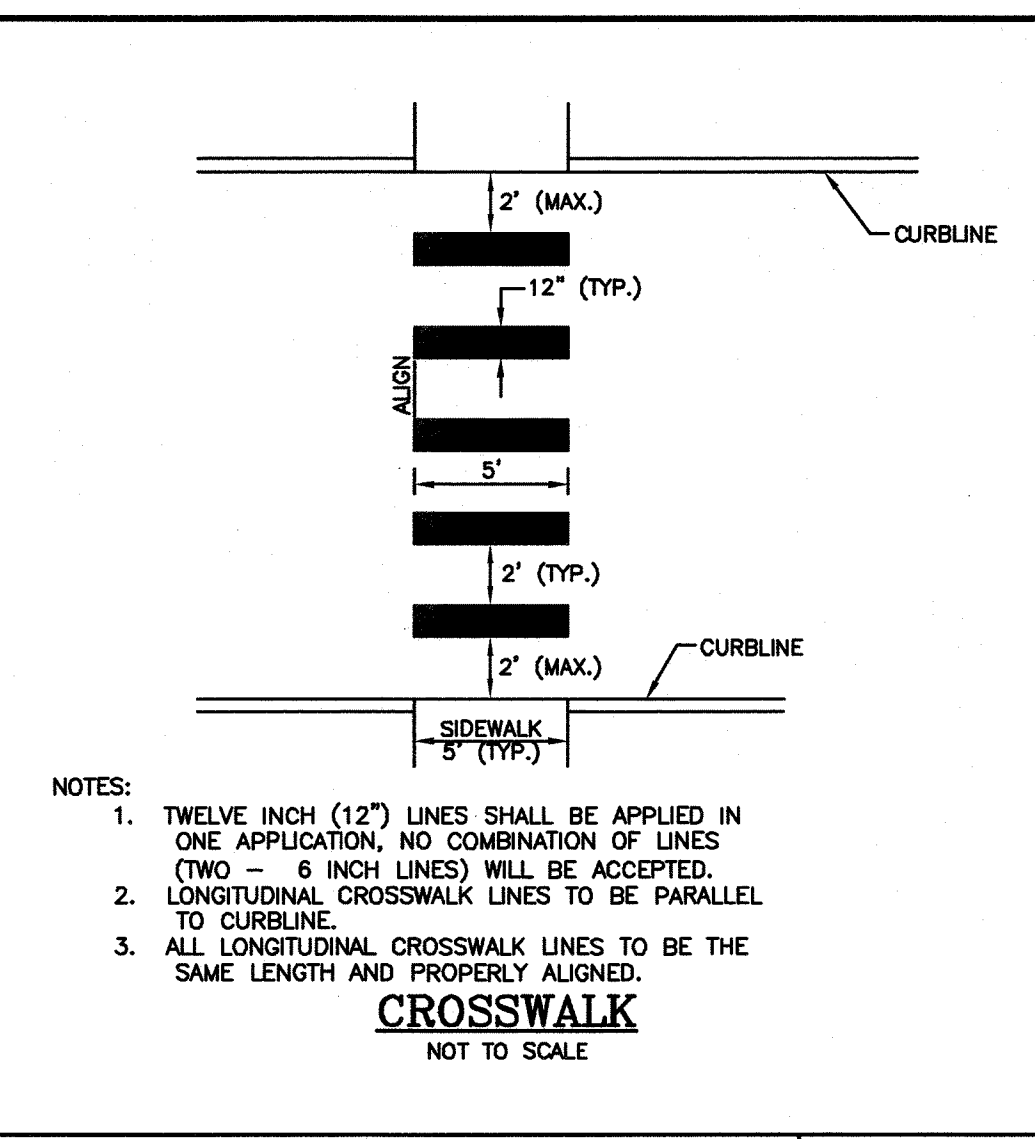
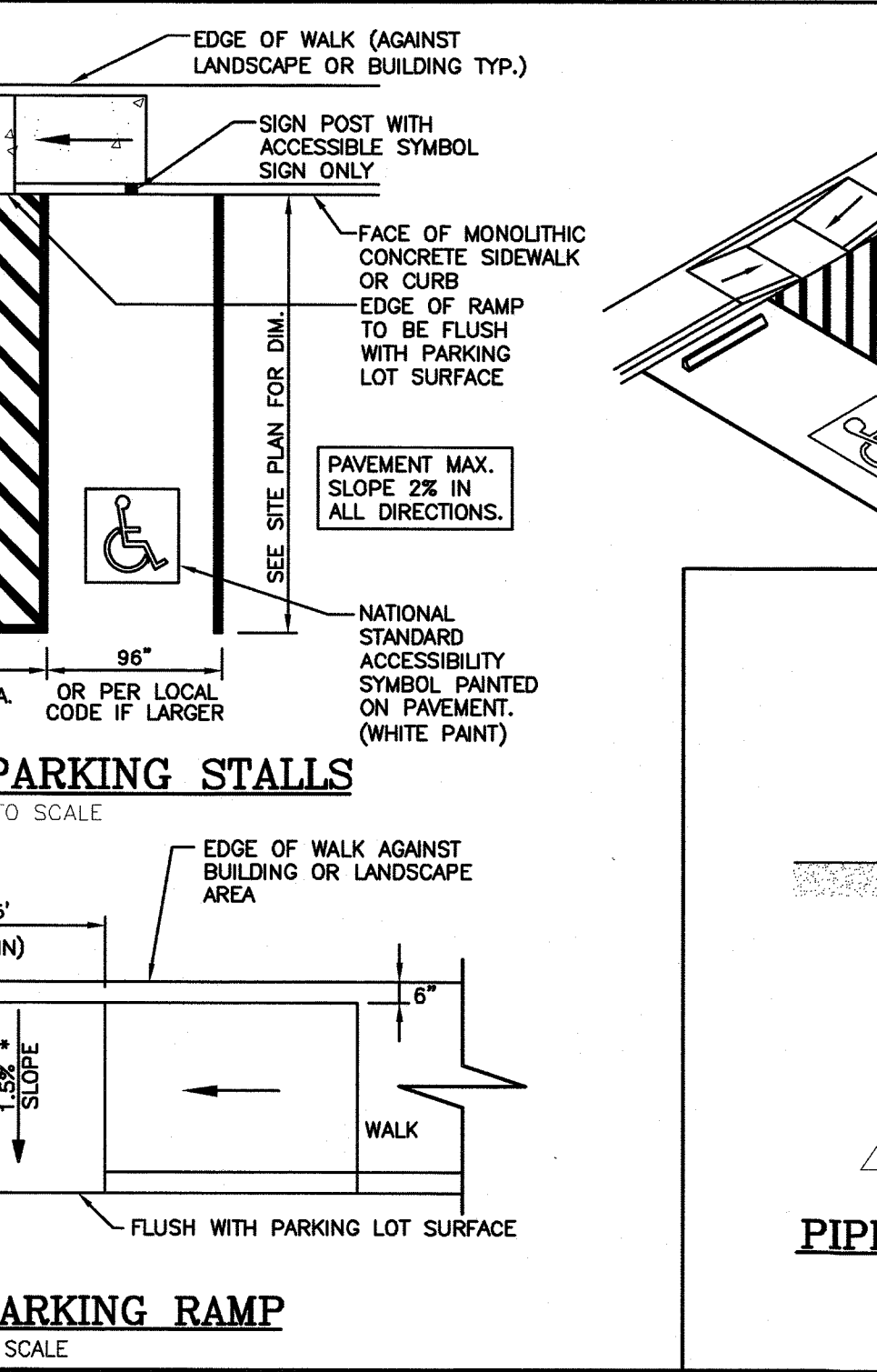
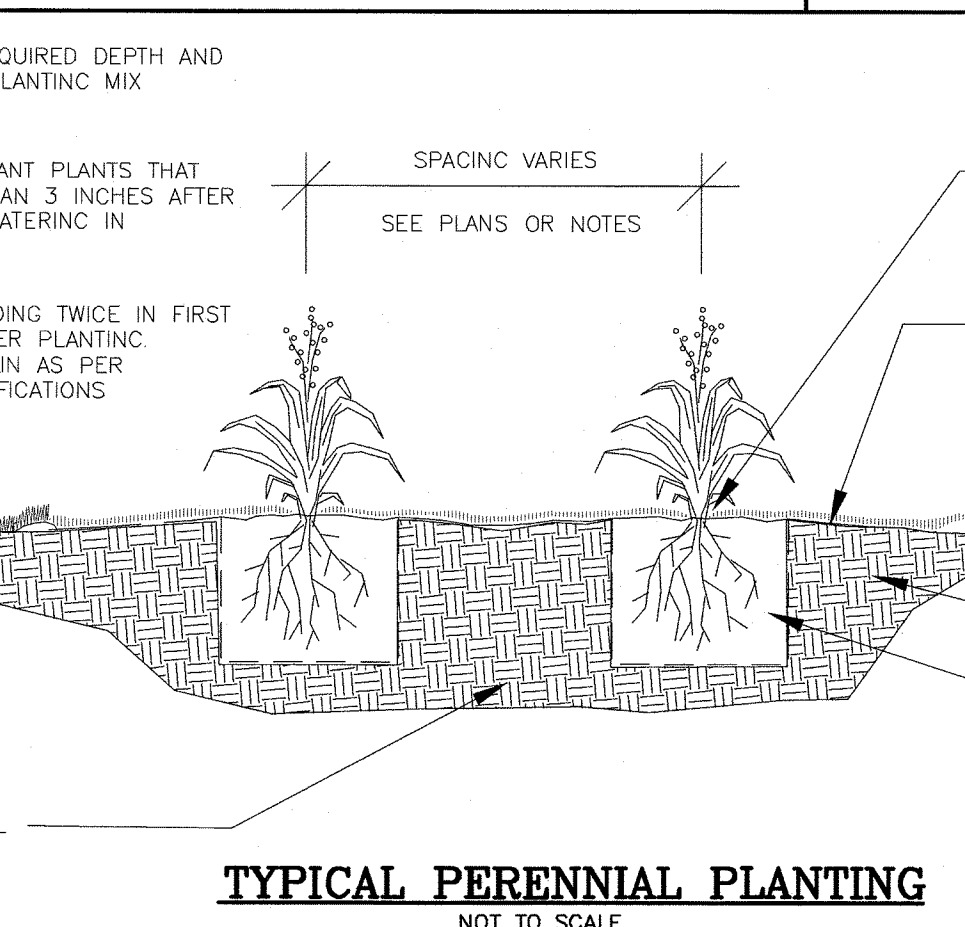
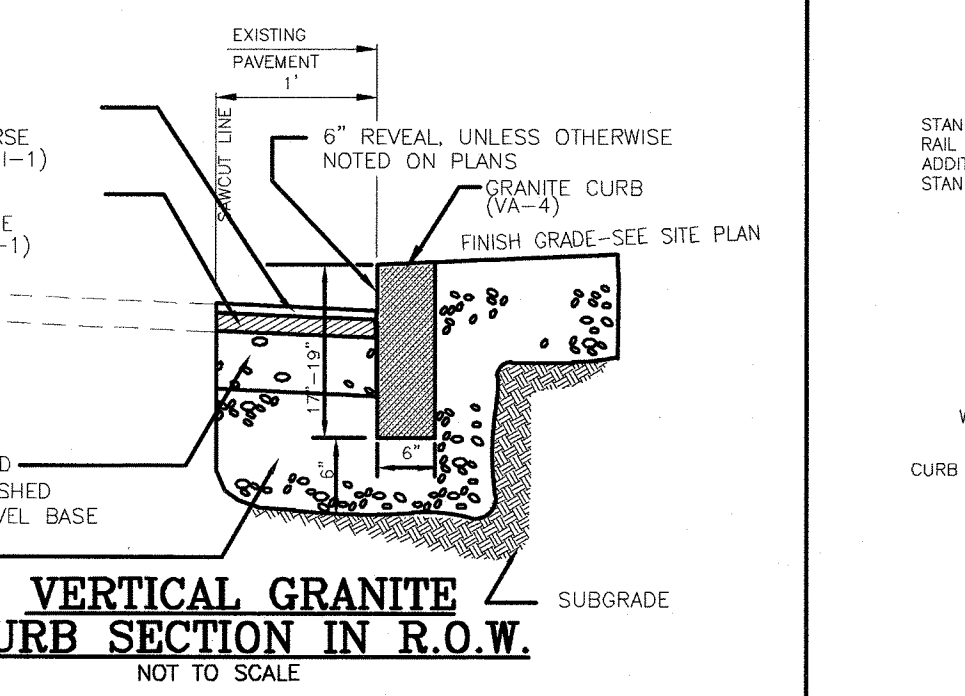
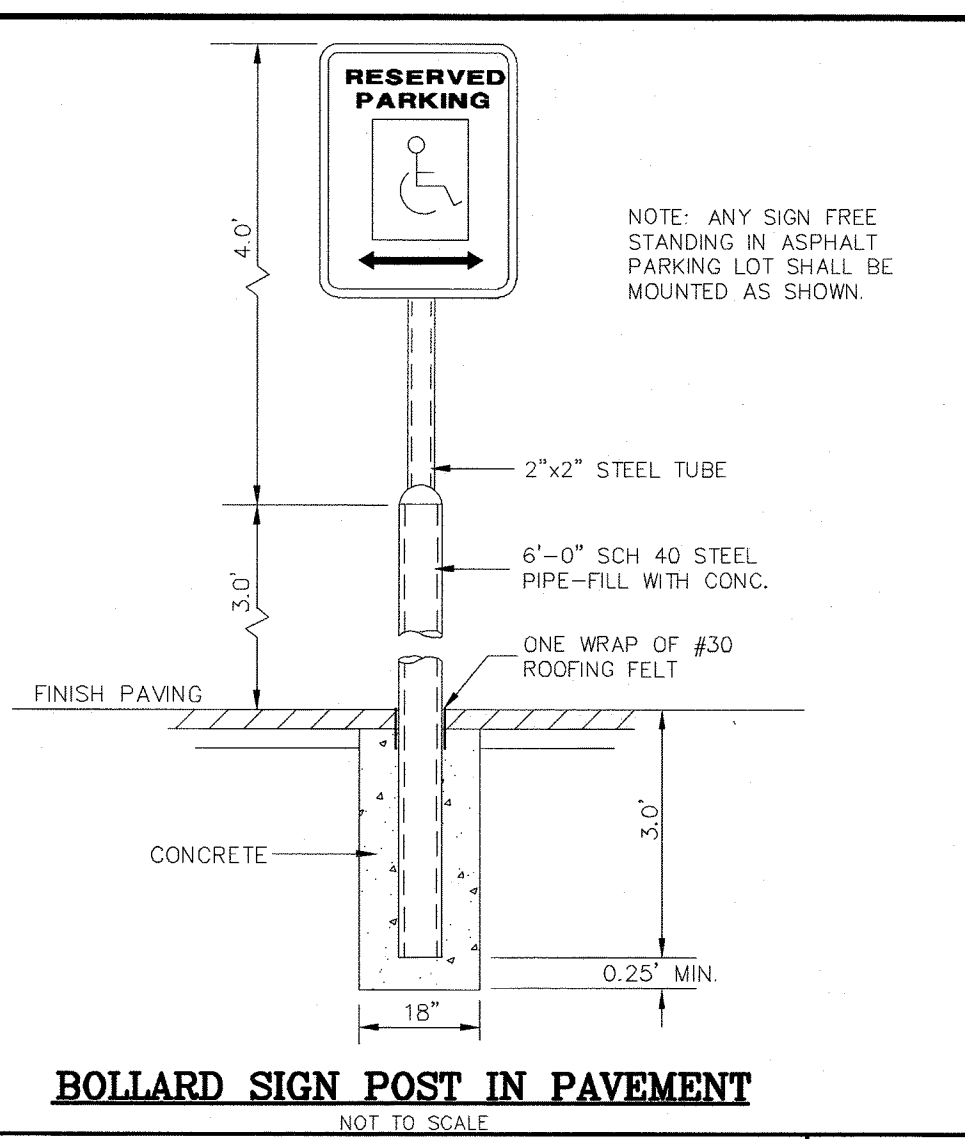
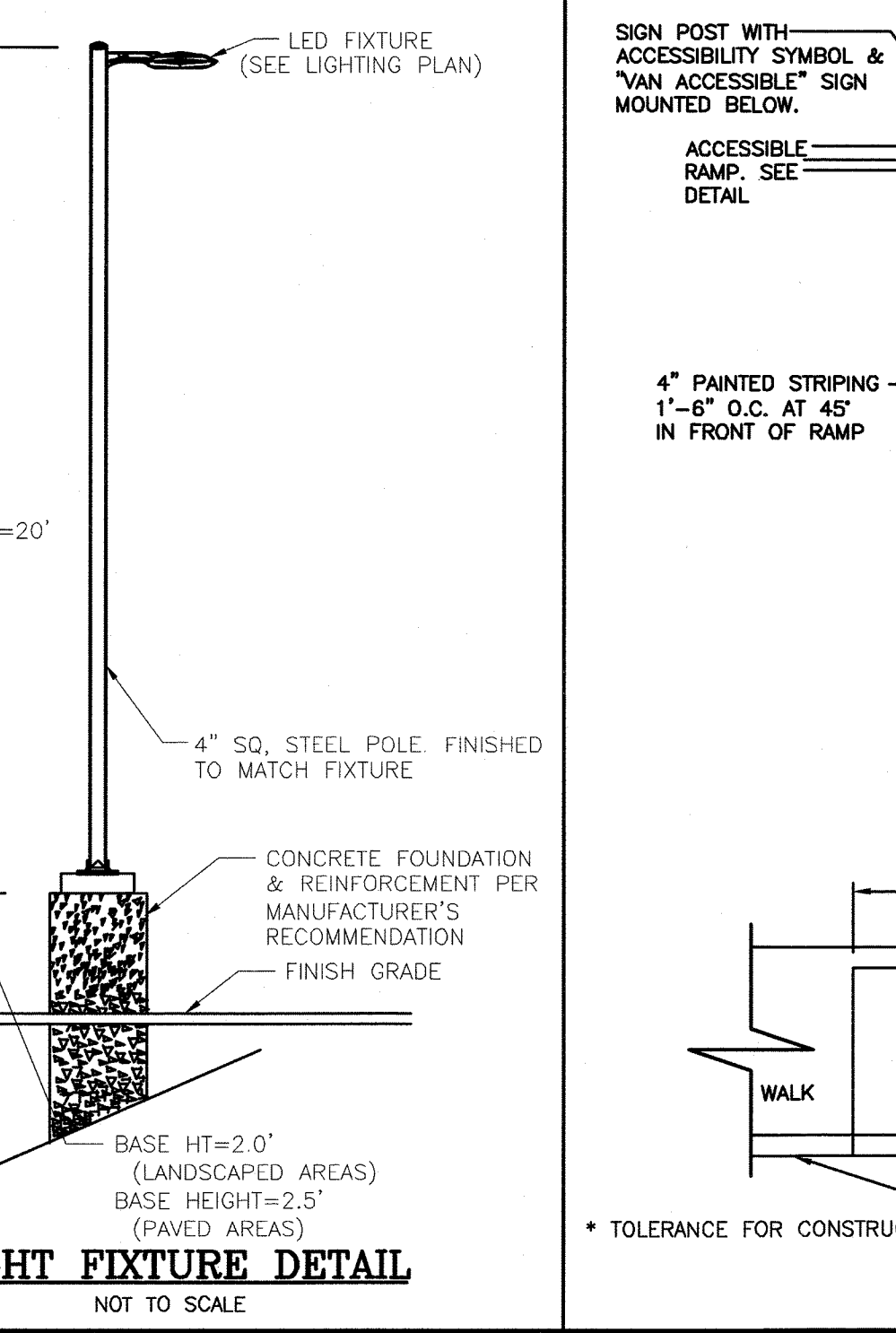
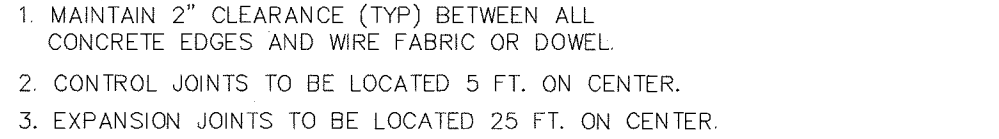
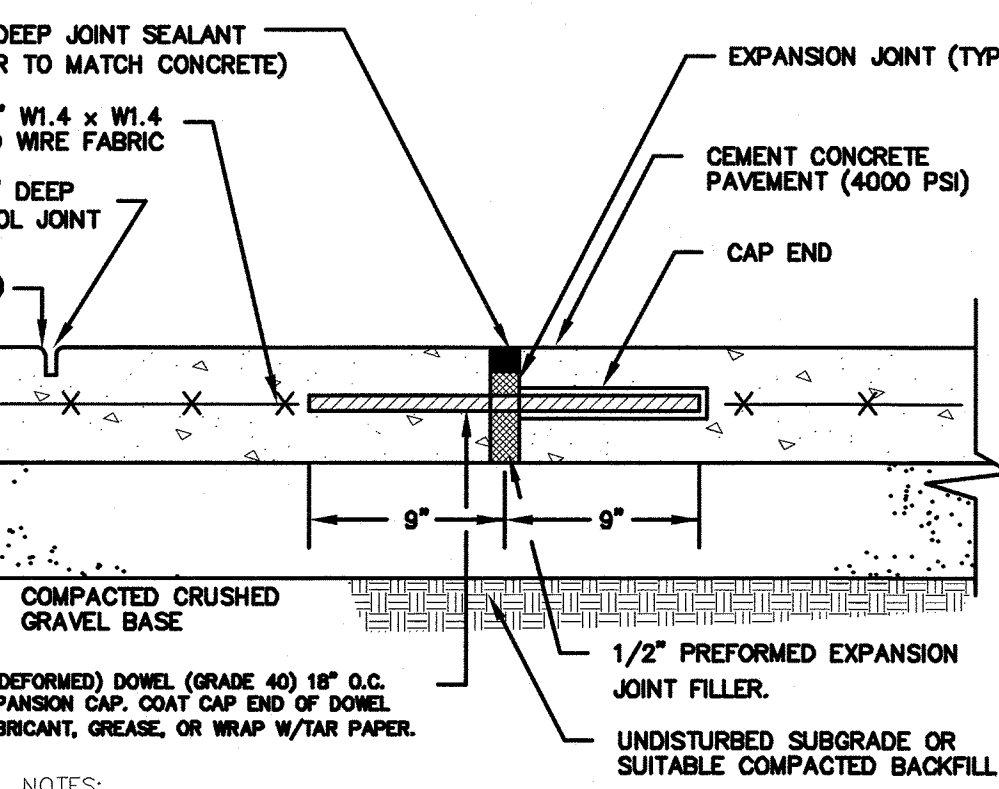
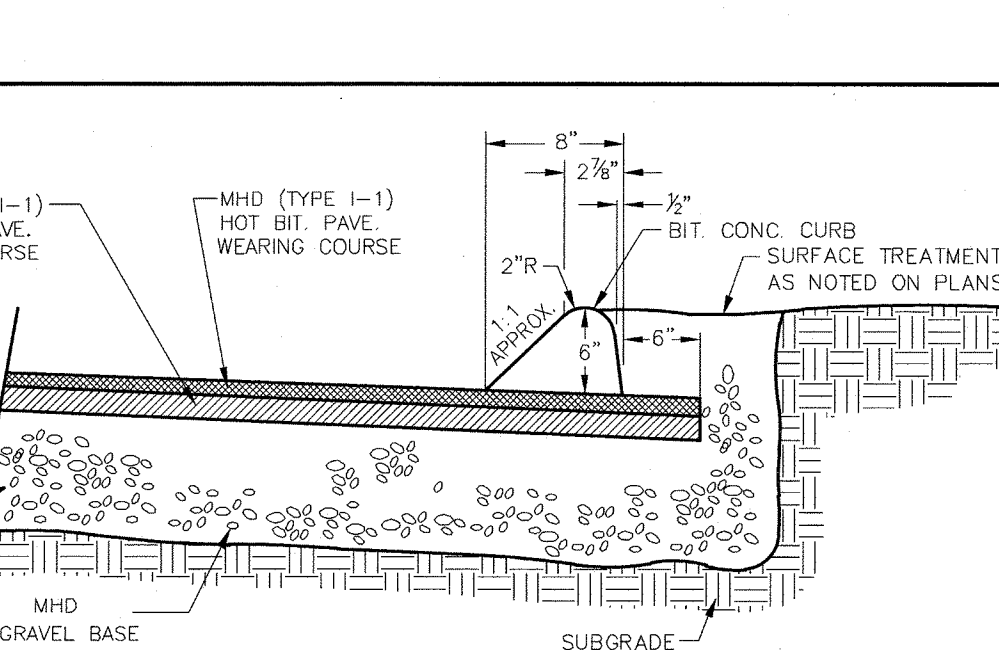
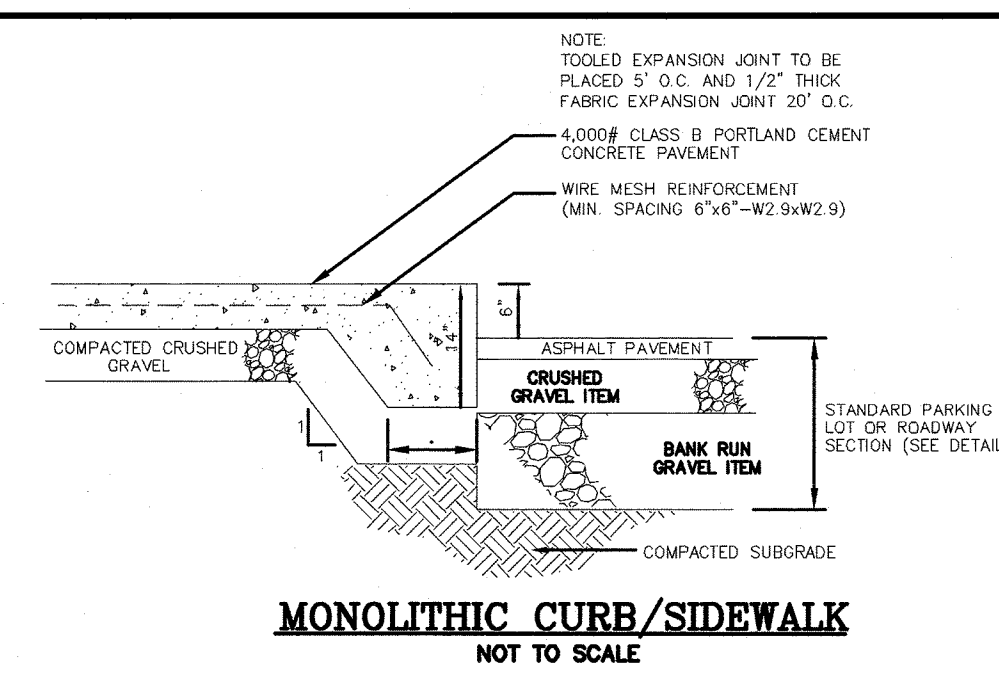
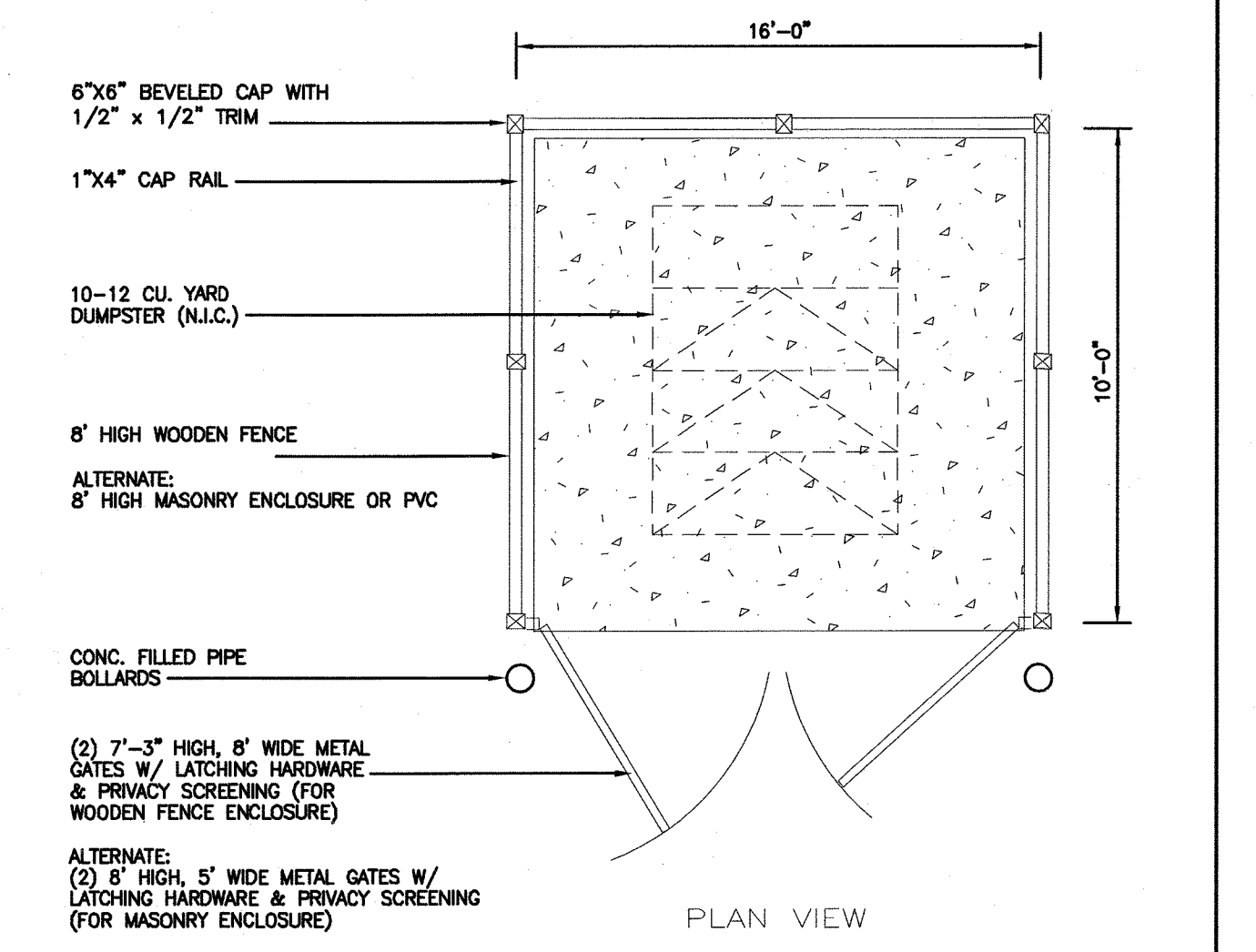
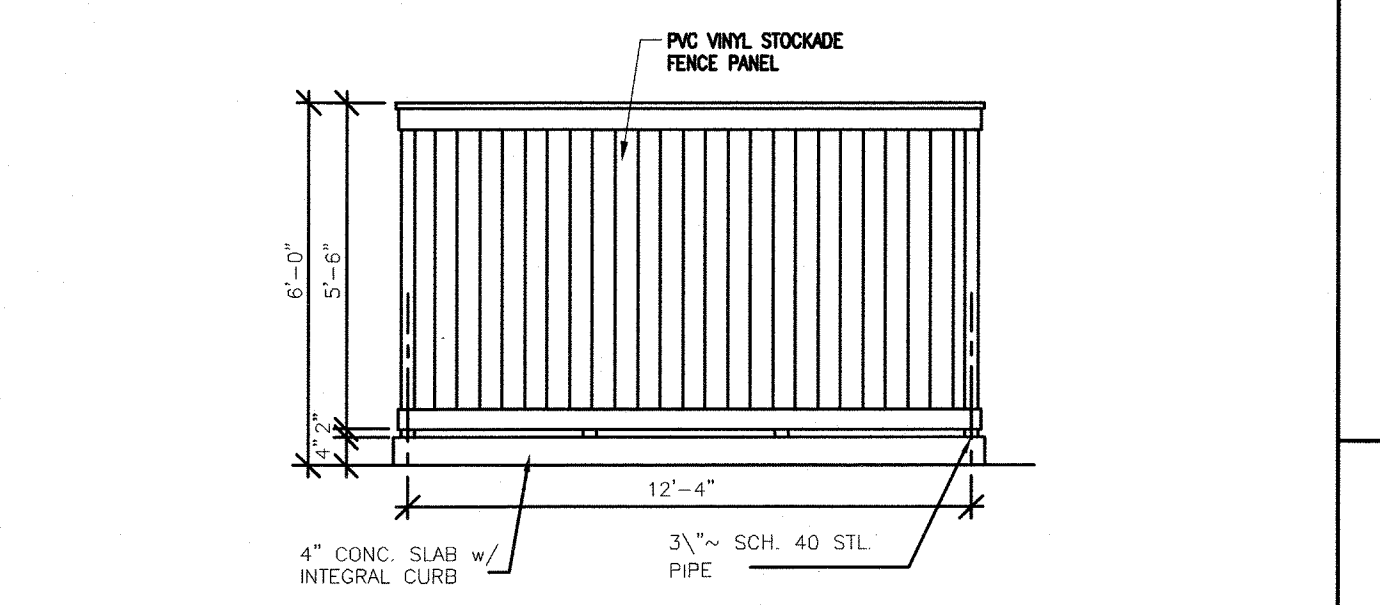
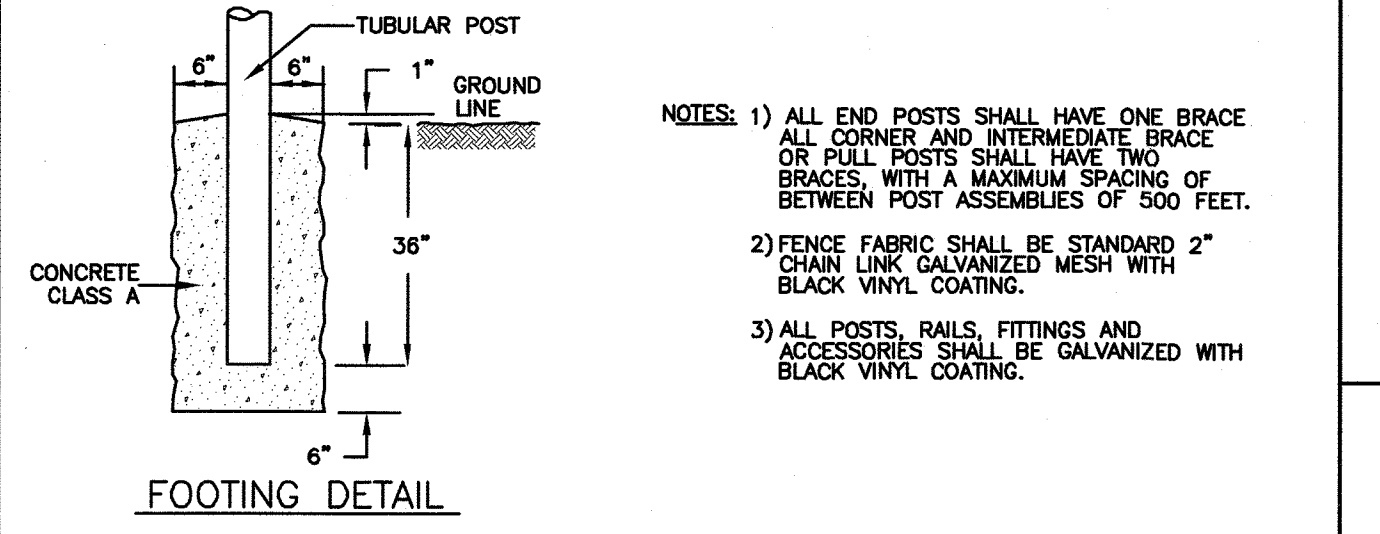
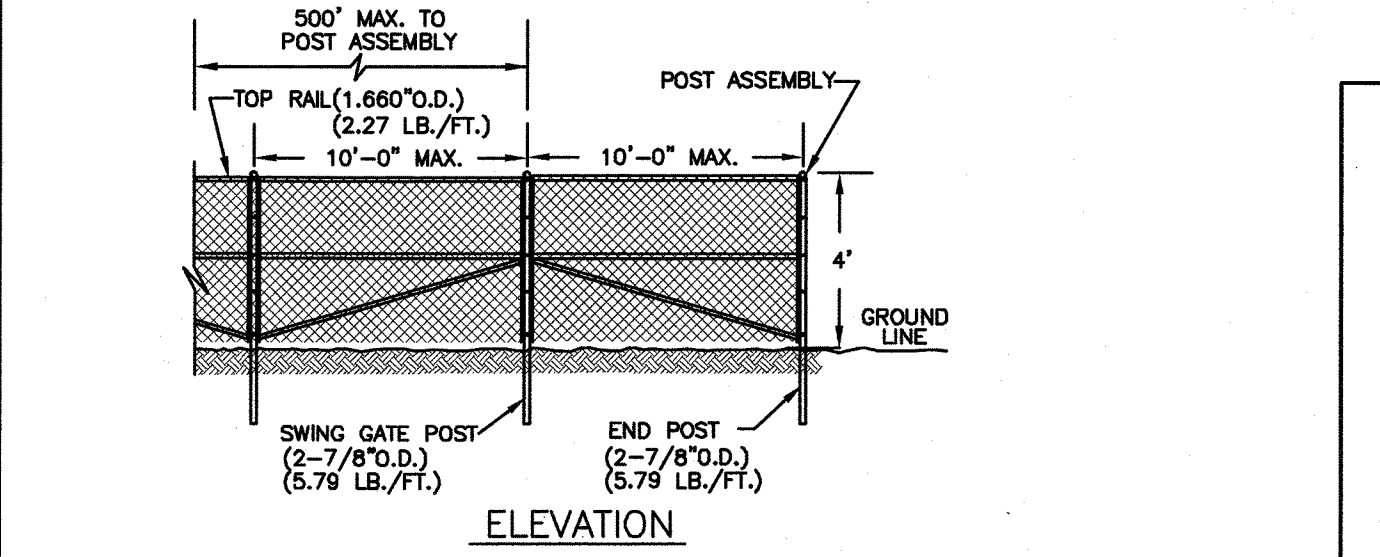
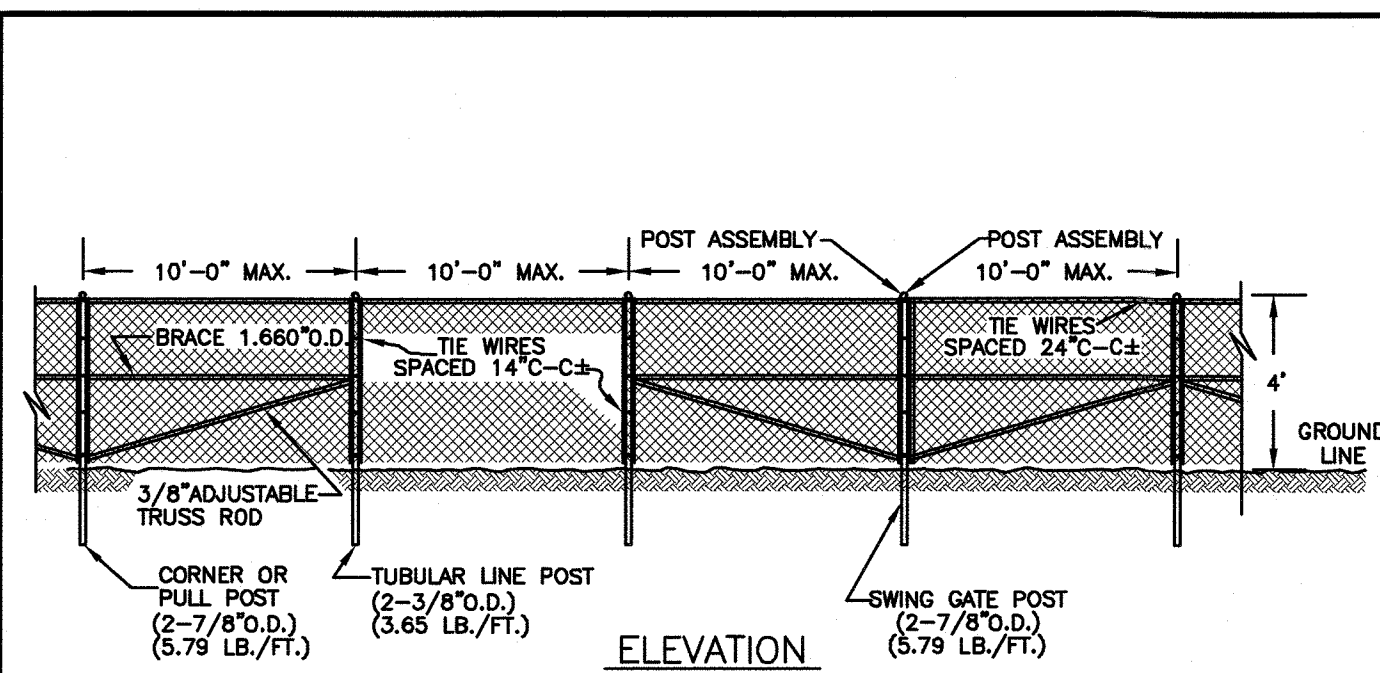
SCALE:
PROJECT NO.
NEX-2020159

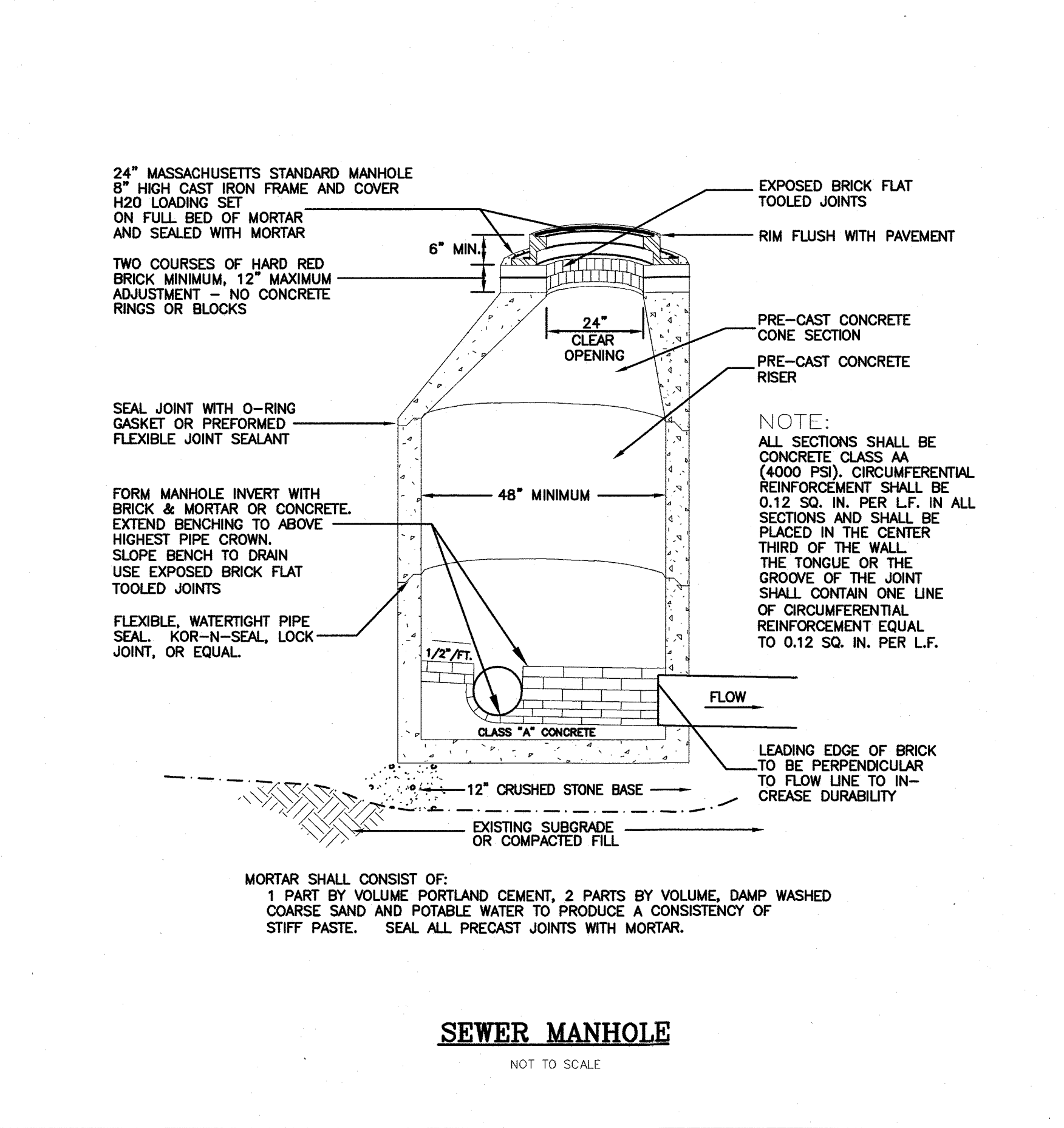
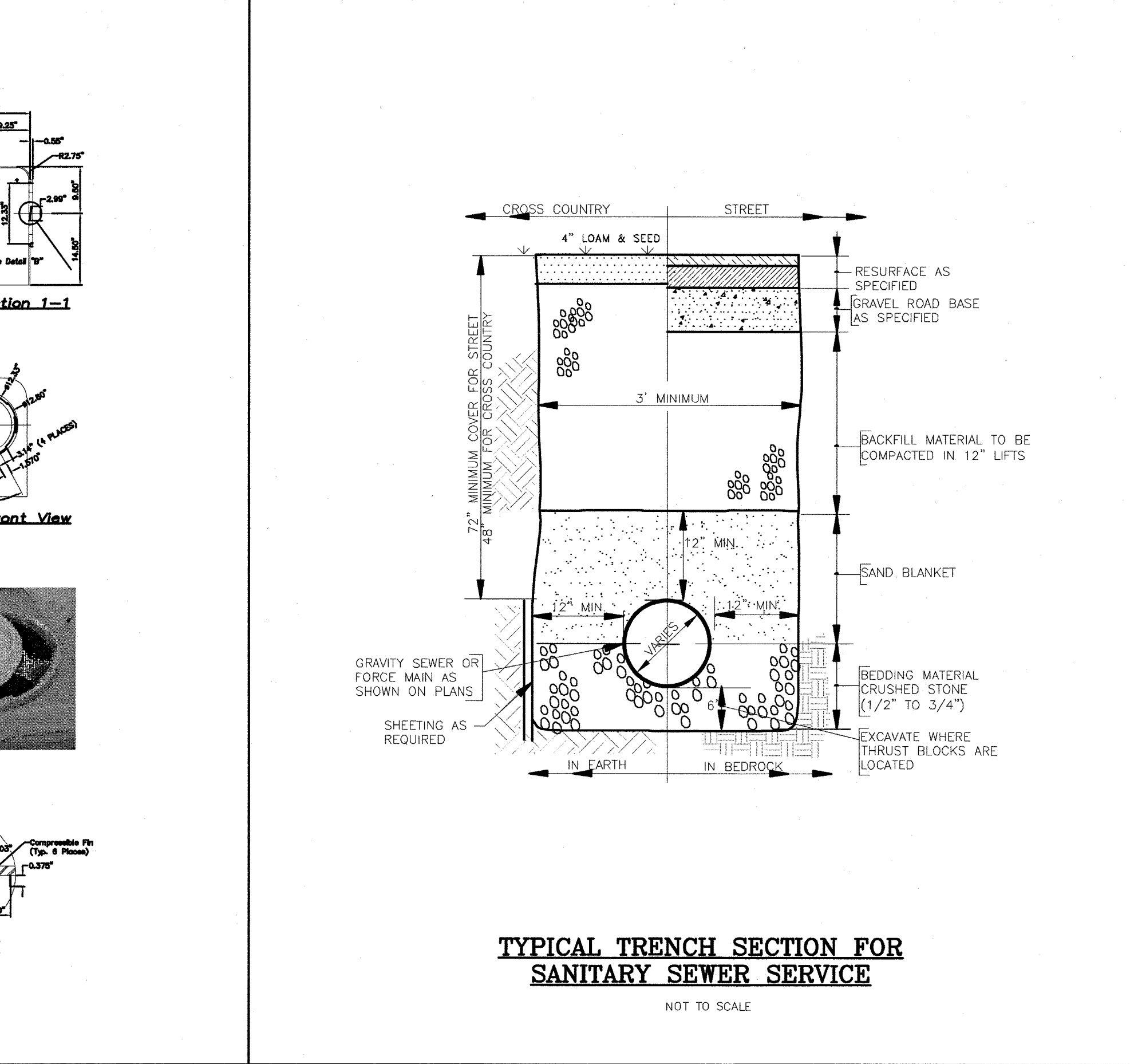
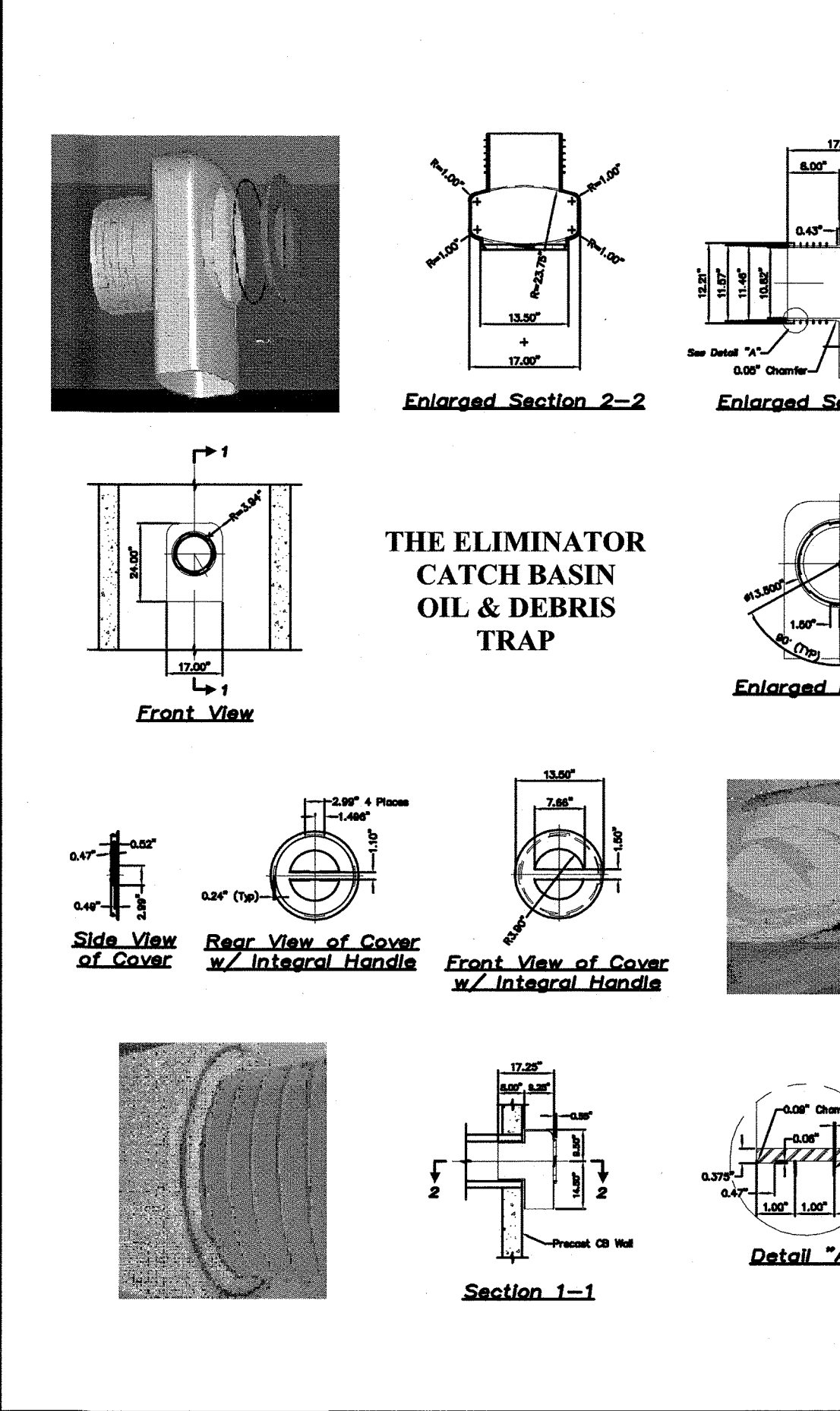
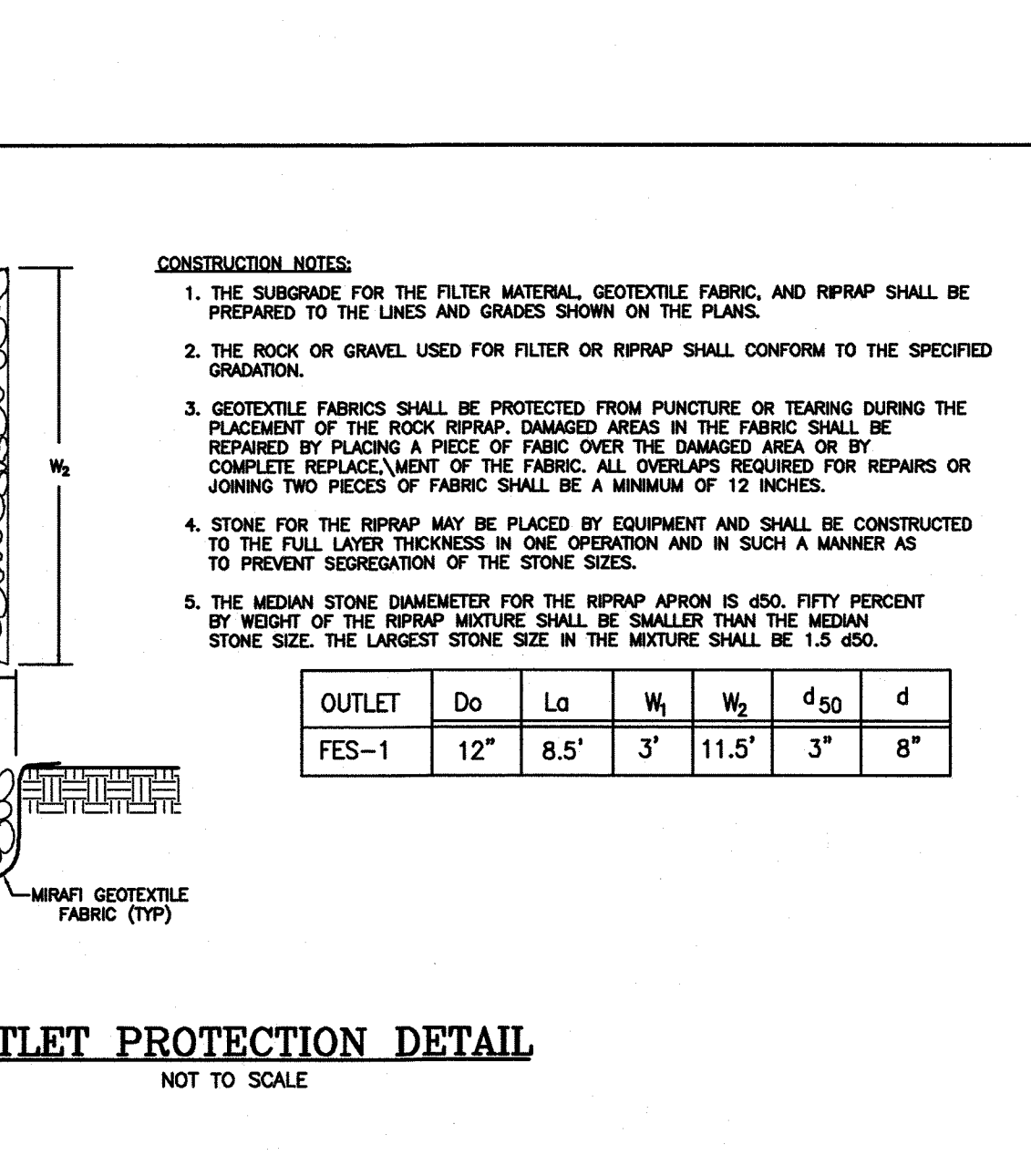
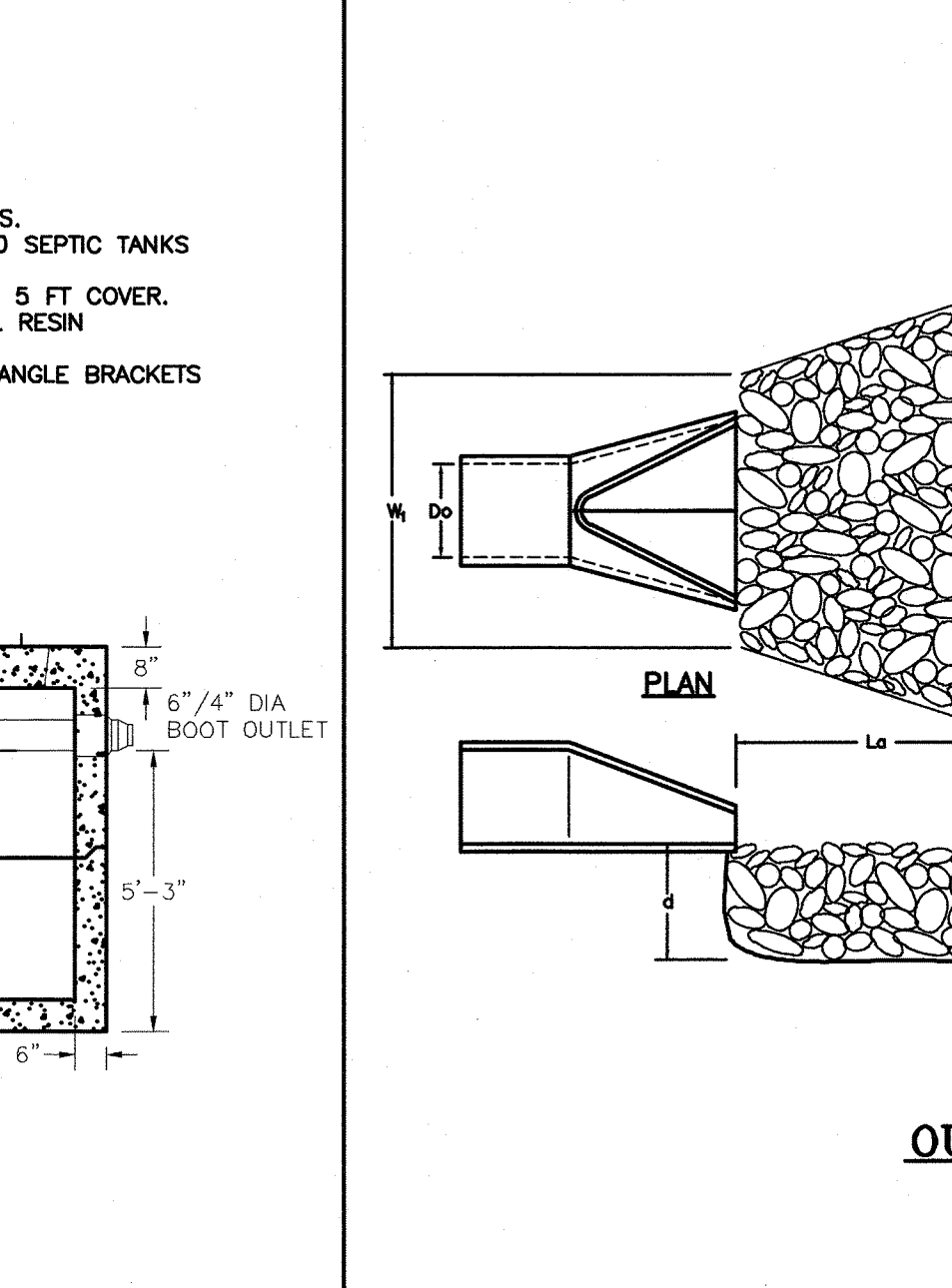
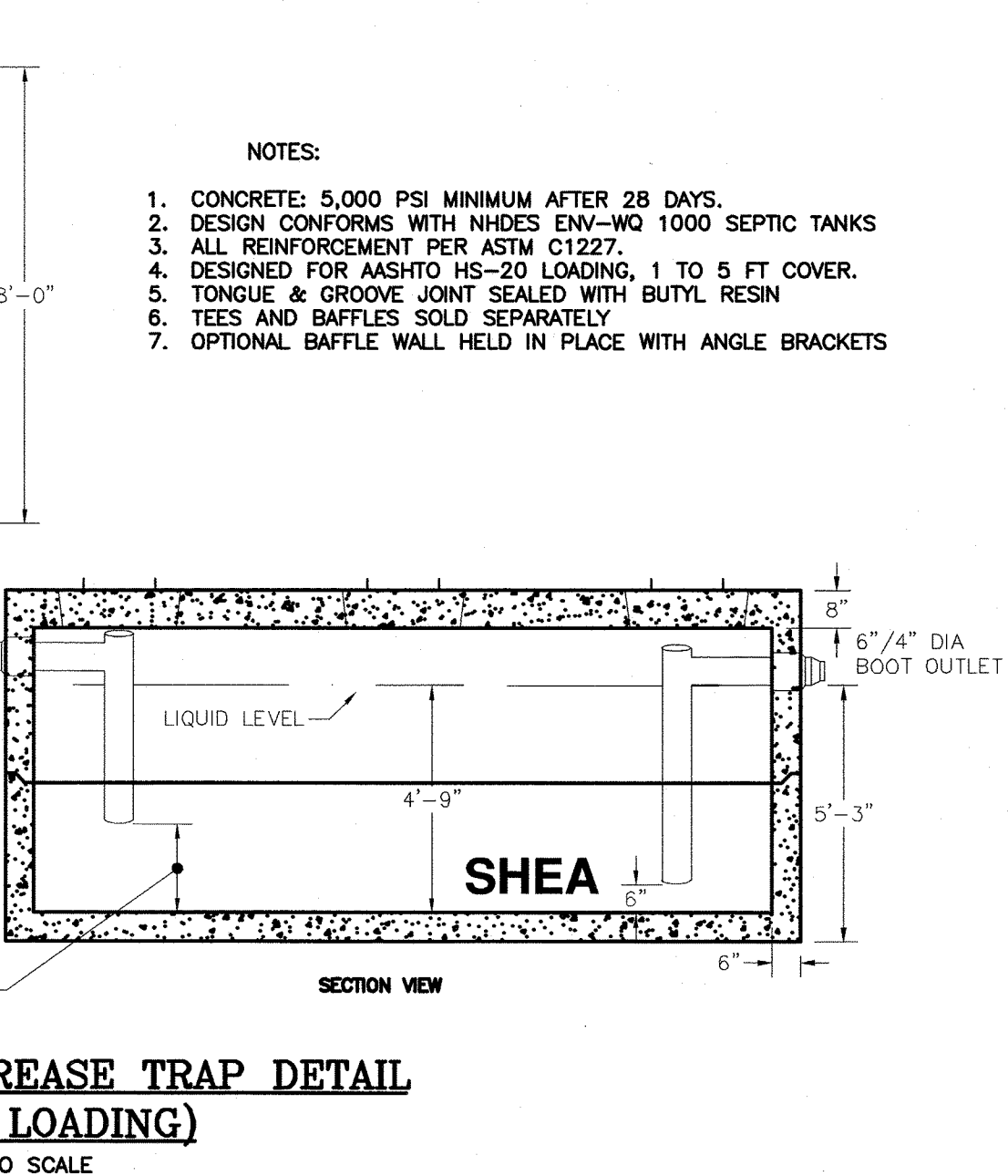
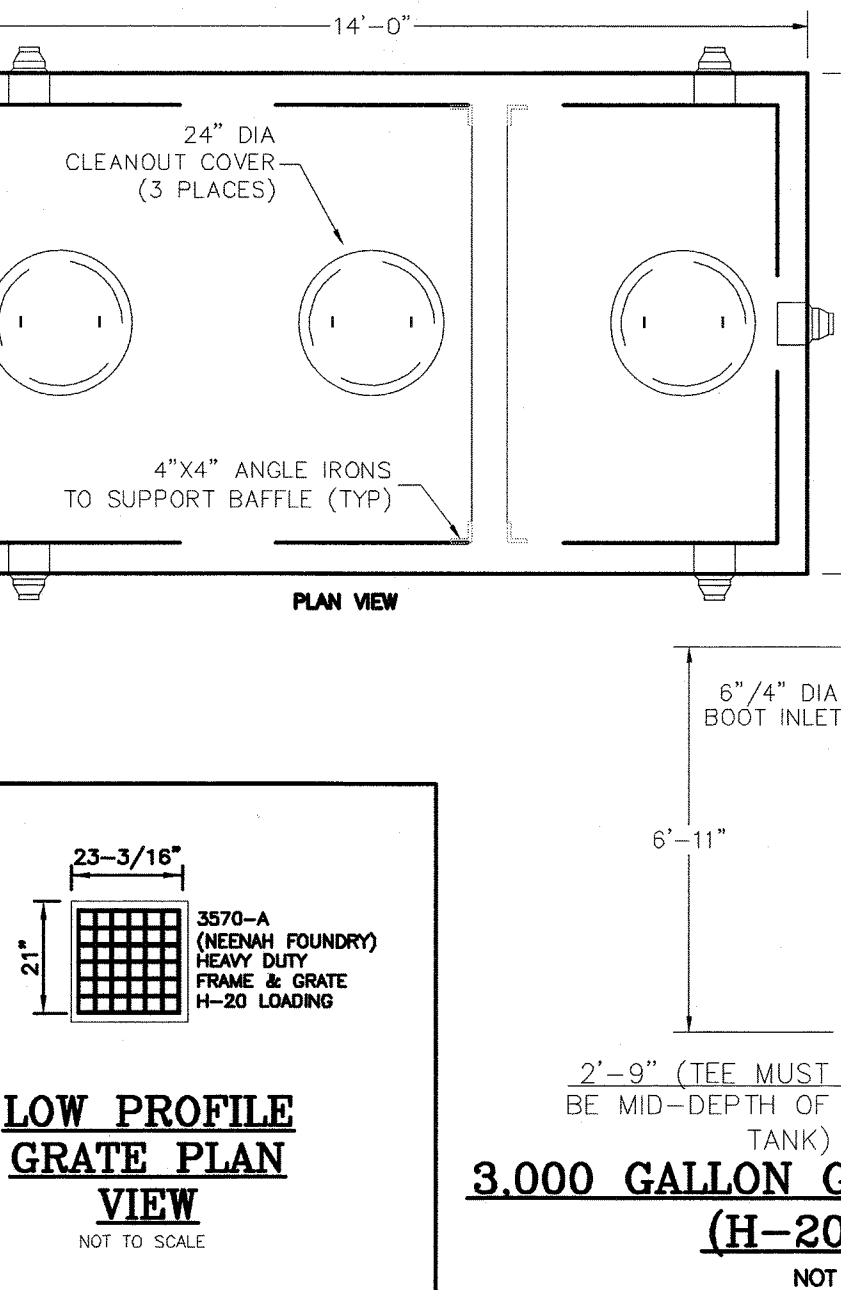
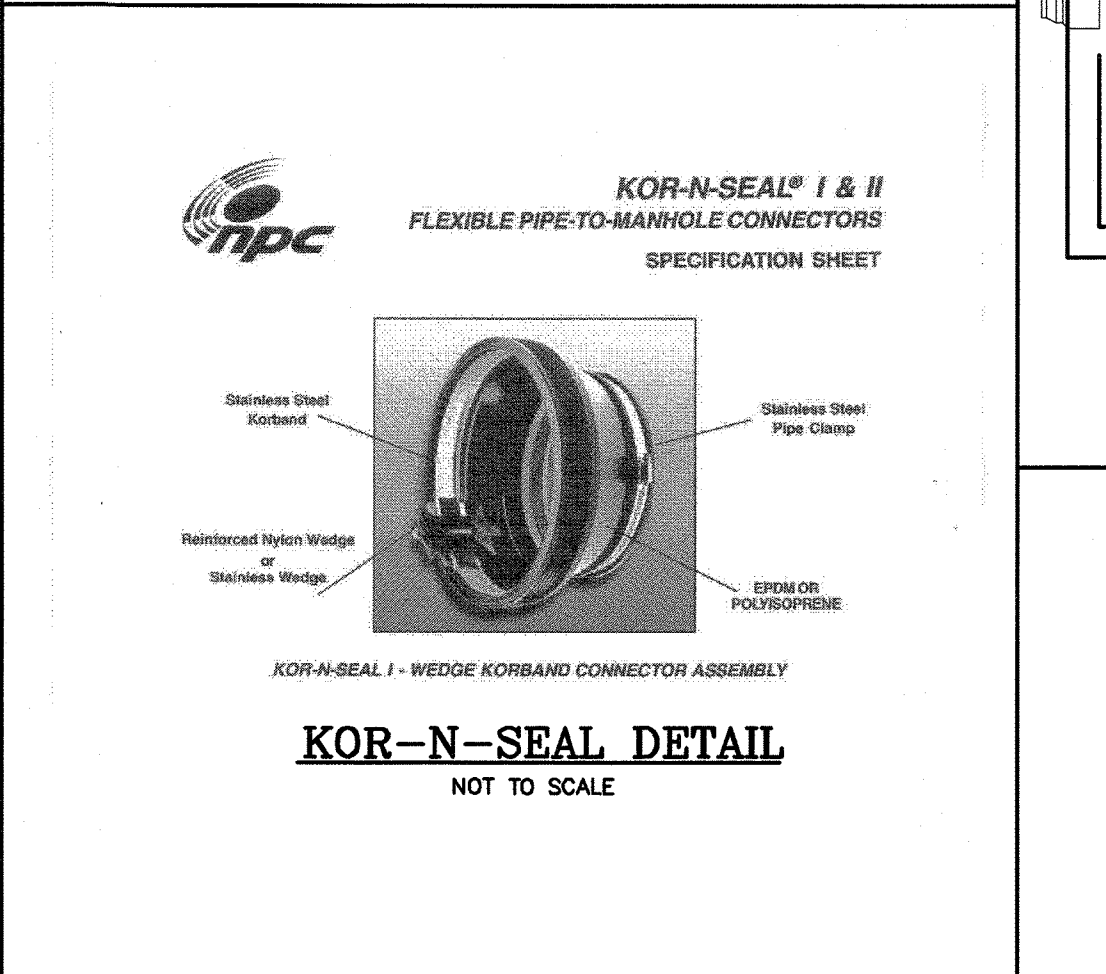
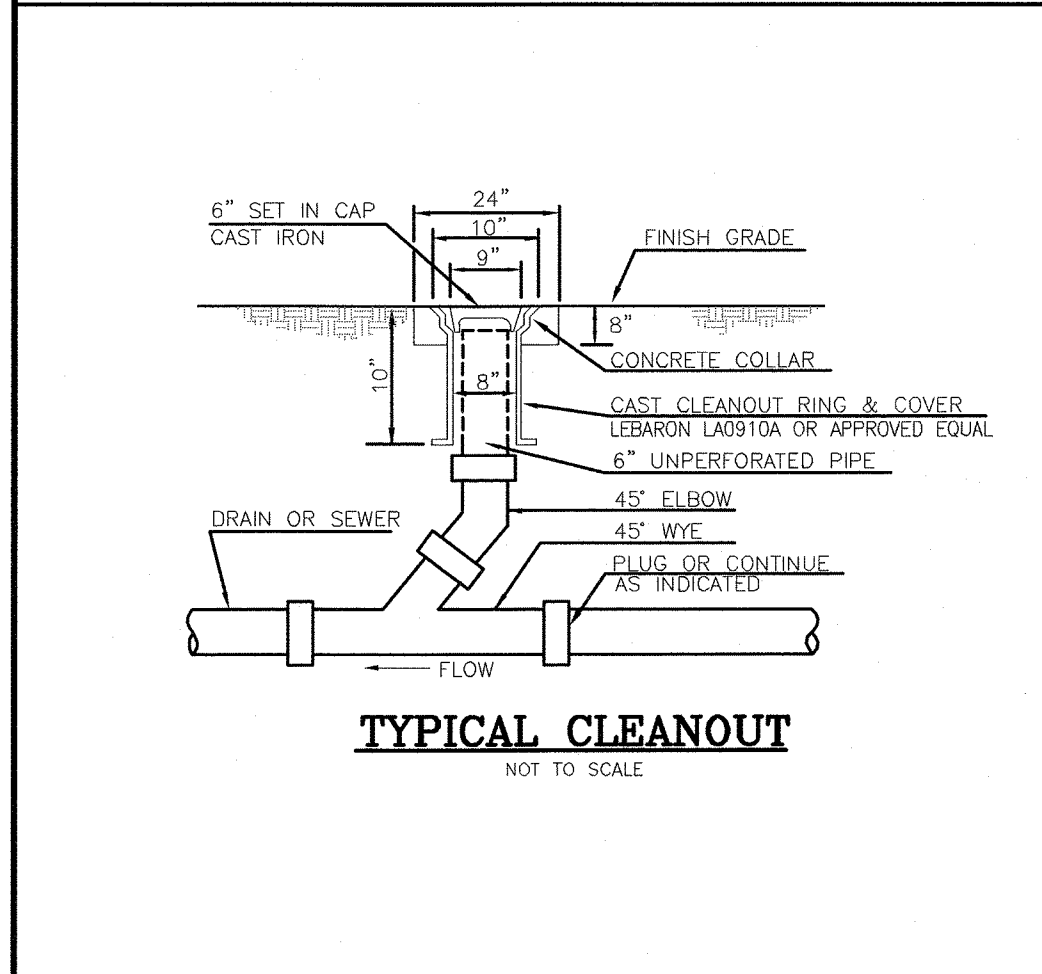
8 OF 12

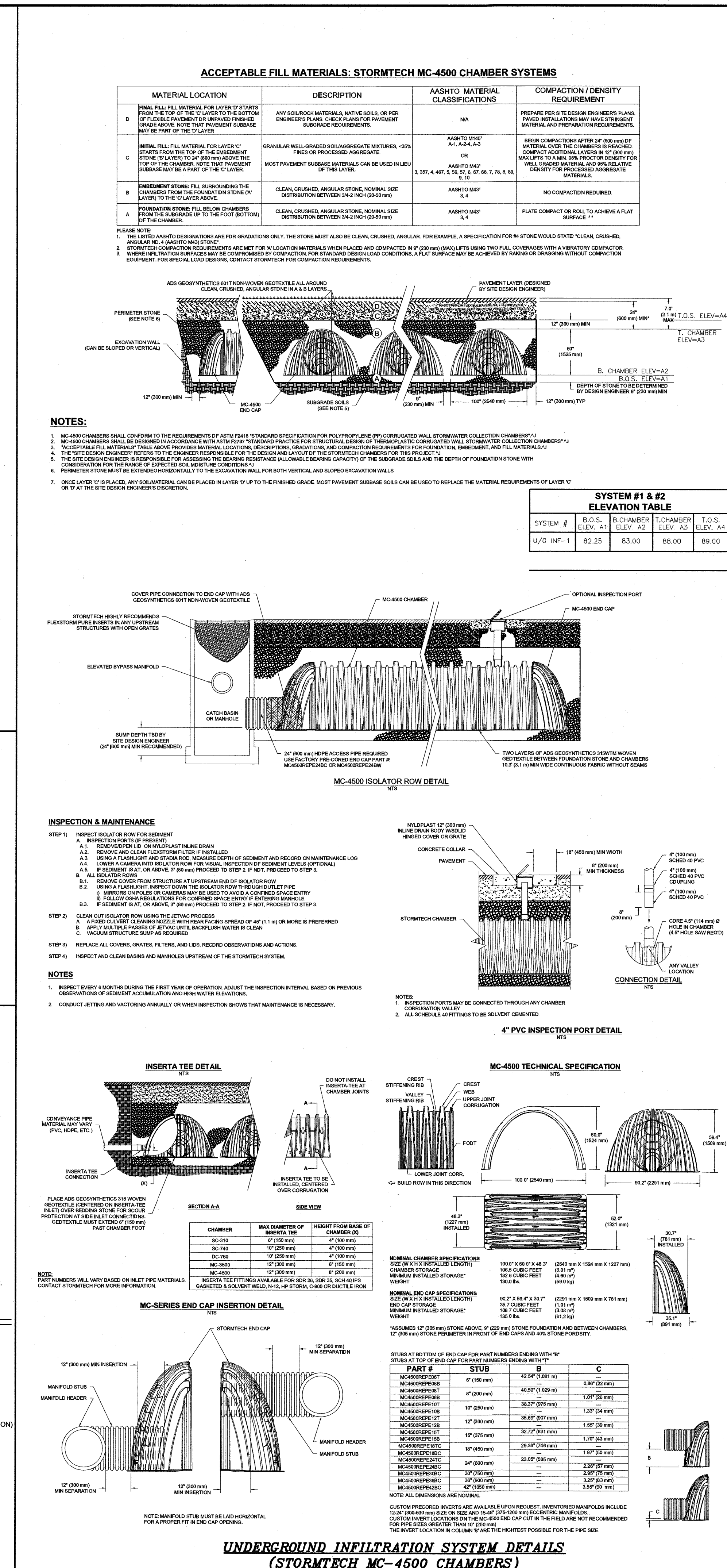
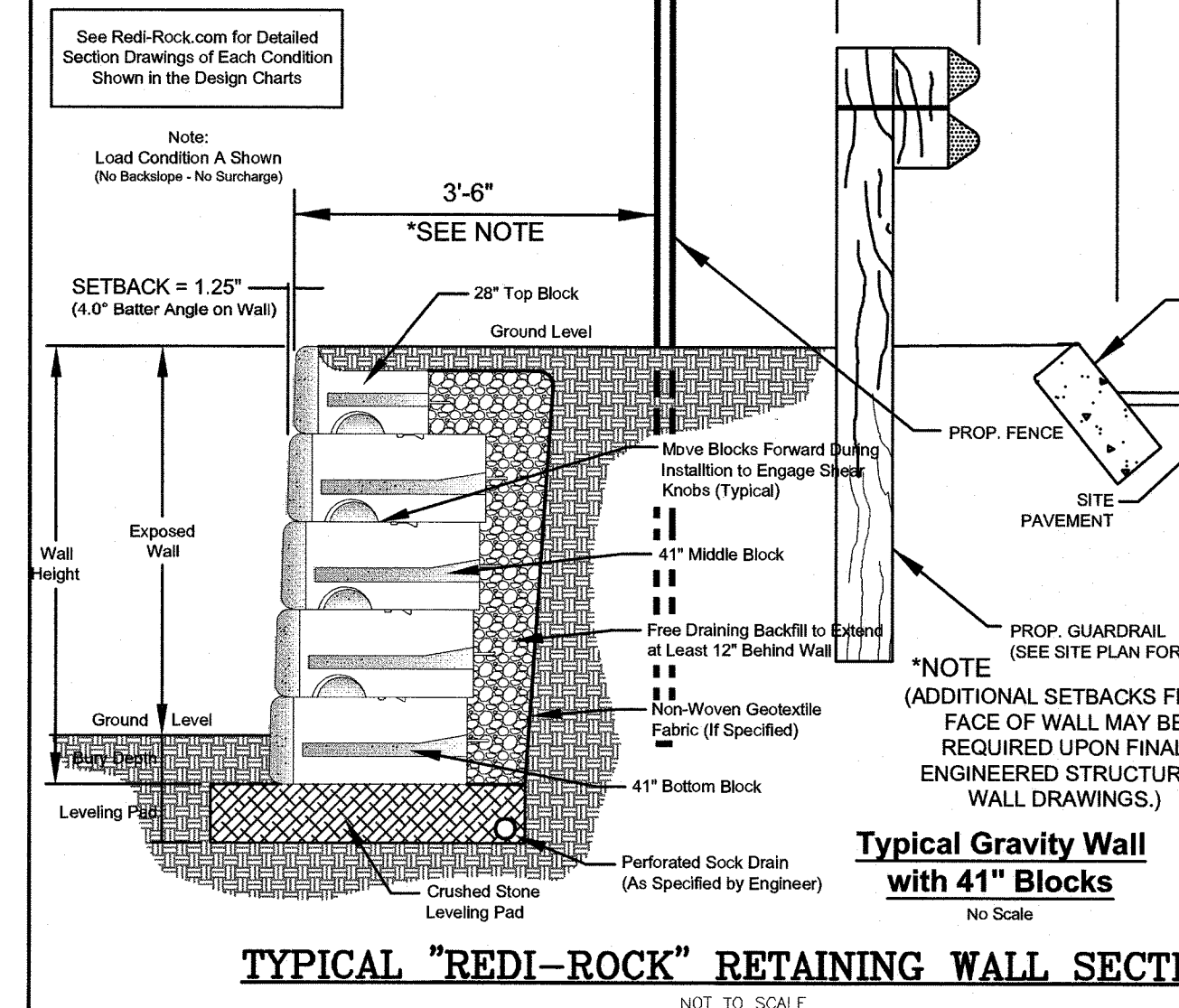
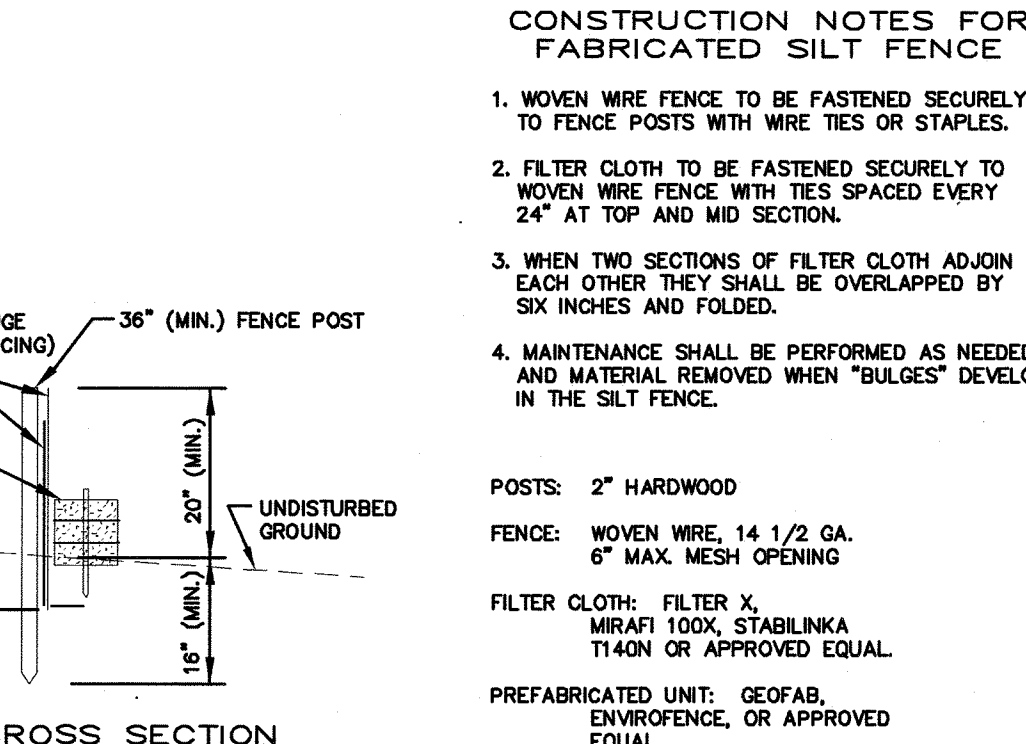
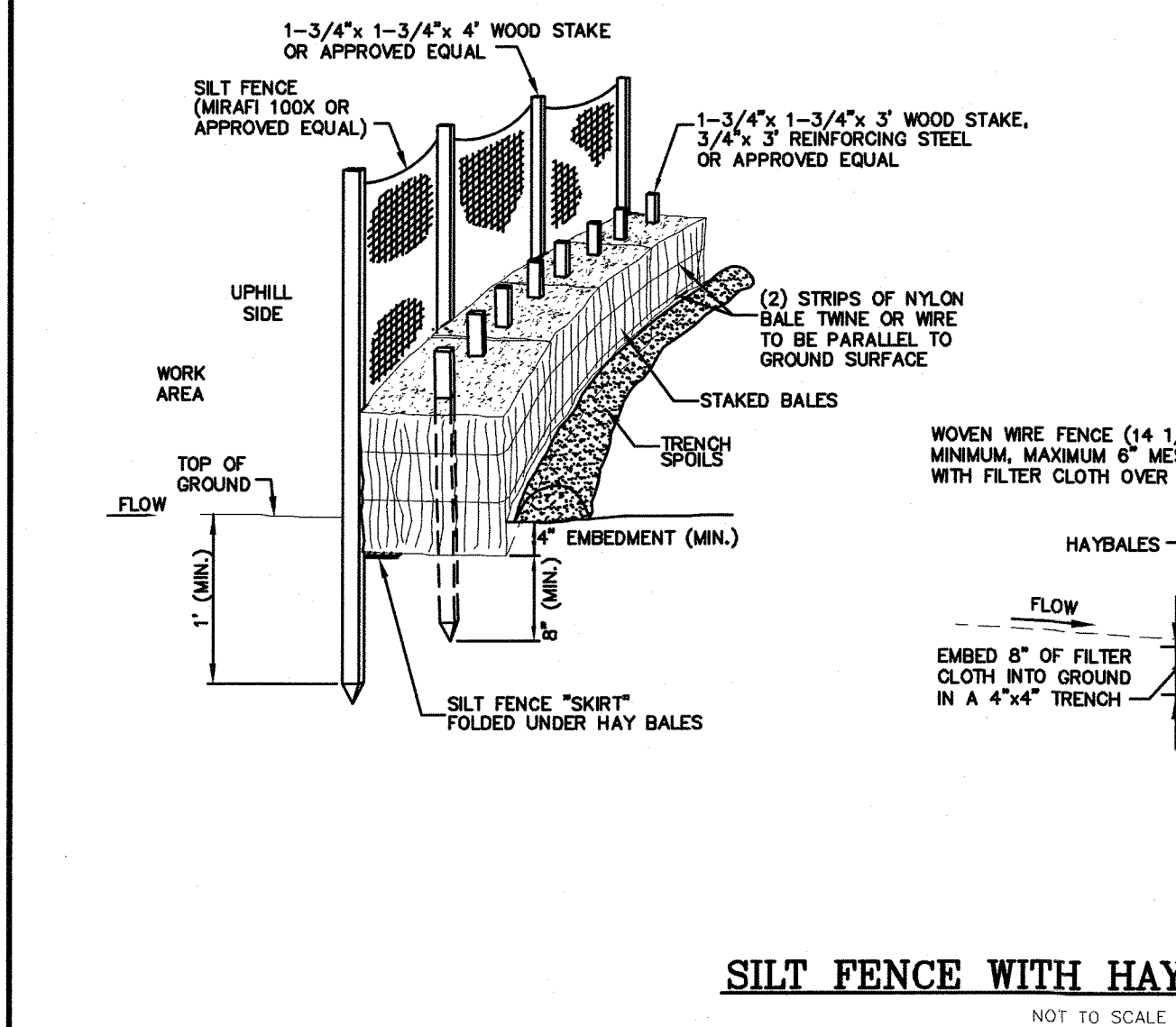
LEGEND

SGC	SLOPED GRANITE CURB	SPOT ELEVATION	UTILITY POLE
VGC	VERTICAL GRANITE CURB	DRAIN MANHOLE	WOOD GUARDRAIL
VCC	VERTICAL CONCRETE CURB	CATCH BASIN	OVERHEAD WIRE
SSLY	SINGLE SOLID LINE YELLOW	ROOF DRAIN	TREELINE
SSLW	SINGLE SOLID LINE WHITE	SEWER MANHOLE	PROPERTY LINE
SDLW	SINGLE DASHED LINE WHITE	MANHOLE	ABUTTER PROPERTY LINE
G	GAS LINE	GAS VALVE	BUILDING SETBACK
W	WATER LINE	WATER VALVE	WETLAND LINE
E	UNDERGROUND ELECTRIC	WATER SHUT OFF	WETLAND SETBACK
—	METAL GUARDRAIL	FIRE HYDRANT	
—	CHAIN LINK FENCE	BOLLARD	
—	POST & RAIL FENCE	GAS METER	
—	CONTOUR ELEVATION	LIGHT POLE	
—	TREE		

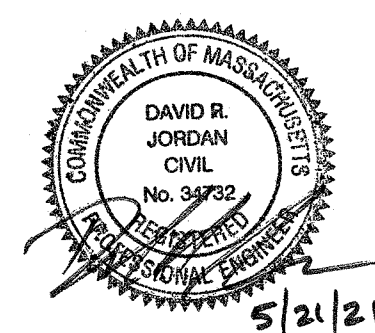








PARCEL ID: 1113-109W-19
125 MERRIMACK STREET
METHUEN, MA 01844

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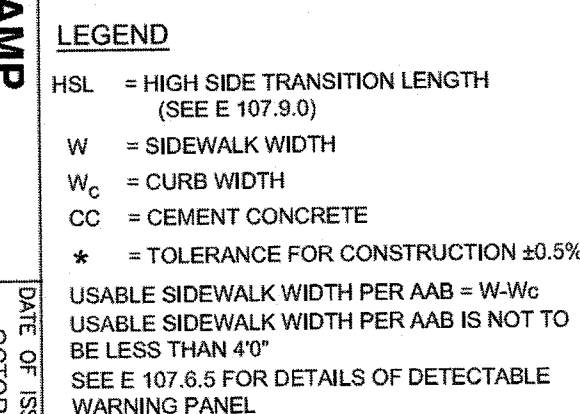
DRAWN/DESIGN BY CCC/DRJ	CHECKED BY DRJ
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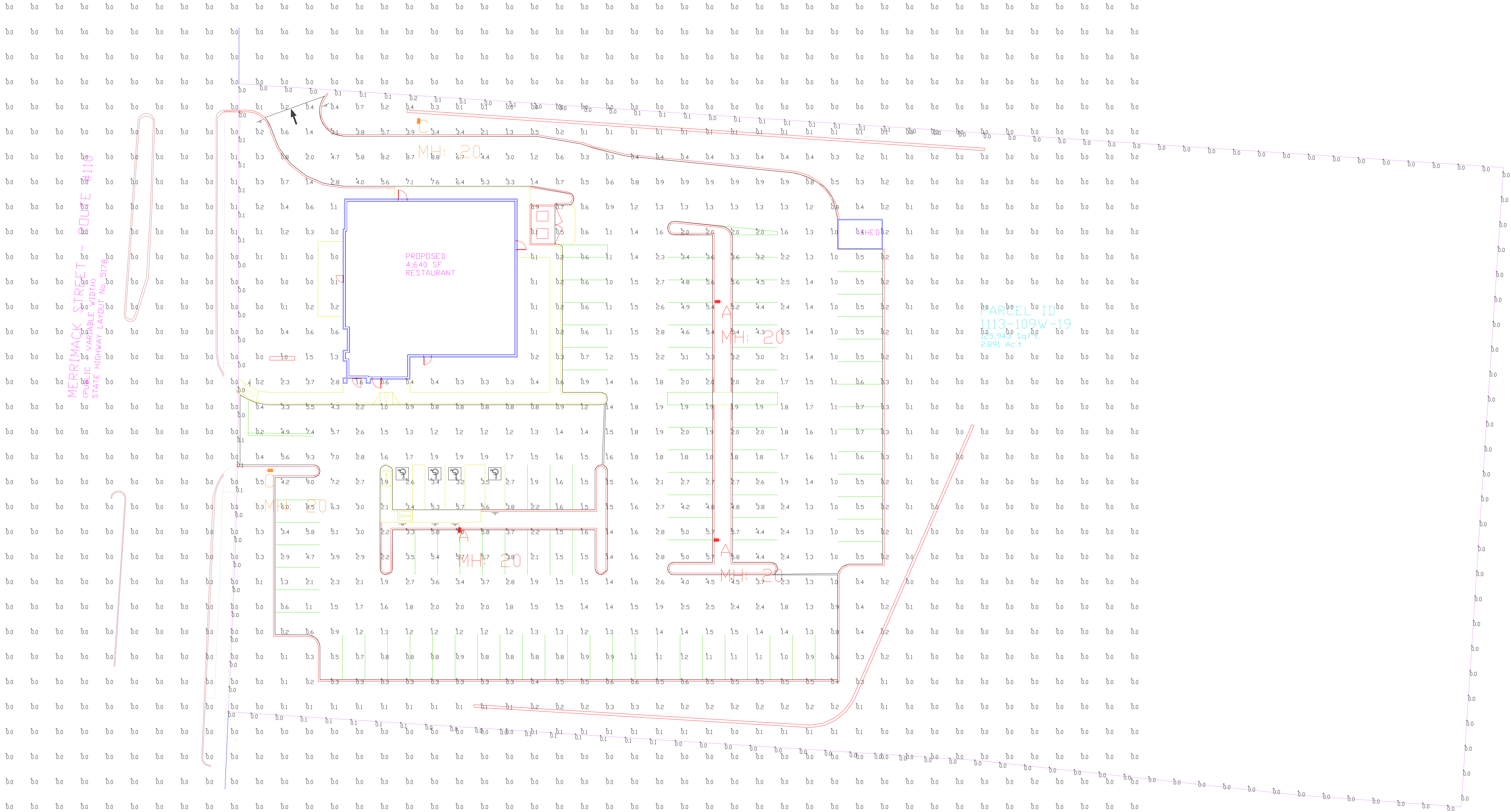
SCALE:	AS NOTED
PROJECT NO.	NEX-2020159

12 OF 12

NOTE:

* BASED ON A DESIGN SLOPE OF 7.5% AND A REVEAL OF 6".





Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
ALL POINTS AT GRADE 10'X10'	Illuminance	Fc	0.68	9.3	0.0	N.A.	N.A.
PROPERTY LINE	Illuminance	Fc	0.02	0.2	0.0	N.A.	N.A.
PARKING SUMMARY	Illuminance	Fc	2.07	9.3	0.2	10.35	46.50



Luminaire Schedule											
Symbol	Qty	Label	Arrangement	Description	LLD	UDF	LLF	Arr. Lum. Lumens	Arr. Watts	BUG Rating	
	3	A	SINGLE	SLM-LED-24L-SIL-5W-40-70CRI-D180-20'MH	1.000	1.000	0.940	24950	176	B5-U0-G3	
	2	C	SINGLE	SLM-LED-24L-SIL-3-40-70CRI-1L-SINGLE-20'MH	1.000	1.000	0.960	16990	176	B1-U0-G3	



Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine the applicability of the layout to existing or future field conditions.

This lighting plan represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with The Illuminating Engineering Society (IES) approved methods. Actual performance of any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in lamps/LED's and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping, or any other architectural elements unless noted. Fixture nomenclature noted does not include mounting hardware or poles. This drawing is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering product.

Total Project Watts:1
Total Watts = 880

100% ALLIANCE ISO CERTIFIED DEDICATED USA
2020 ISO 9001 & ISO 14001

LIGHTING PROPOSAL LD-153445

WAN YAN
125 MERRIMACK ST.
METHUEN, MA

BY:GEF DATE:3/19/21 REV: SHEET 1 OF 1

SCALE: 1"=20' 0 20

125 MERRIMACK STREET
RESTAURANT

FLOOR PLANS & ELEVATIONS

LYF 2020 ©	
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Mark	Date
REVISIONS	
Date	04-01-2021
Scale	As indicated
Job No.	2196
Sheet No.	

A100



4 Merrimack Street - West
3/32" = 1'-0"



5 South
3/32" = 1'-0"



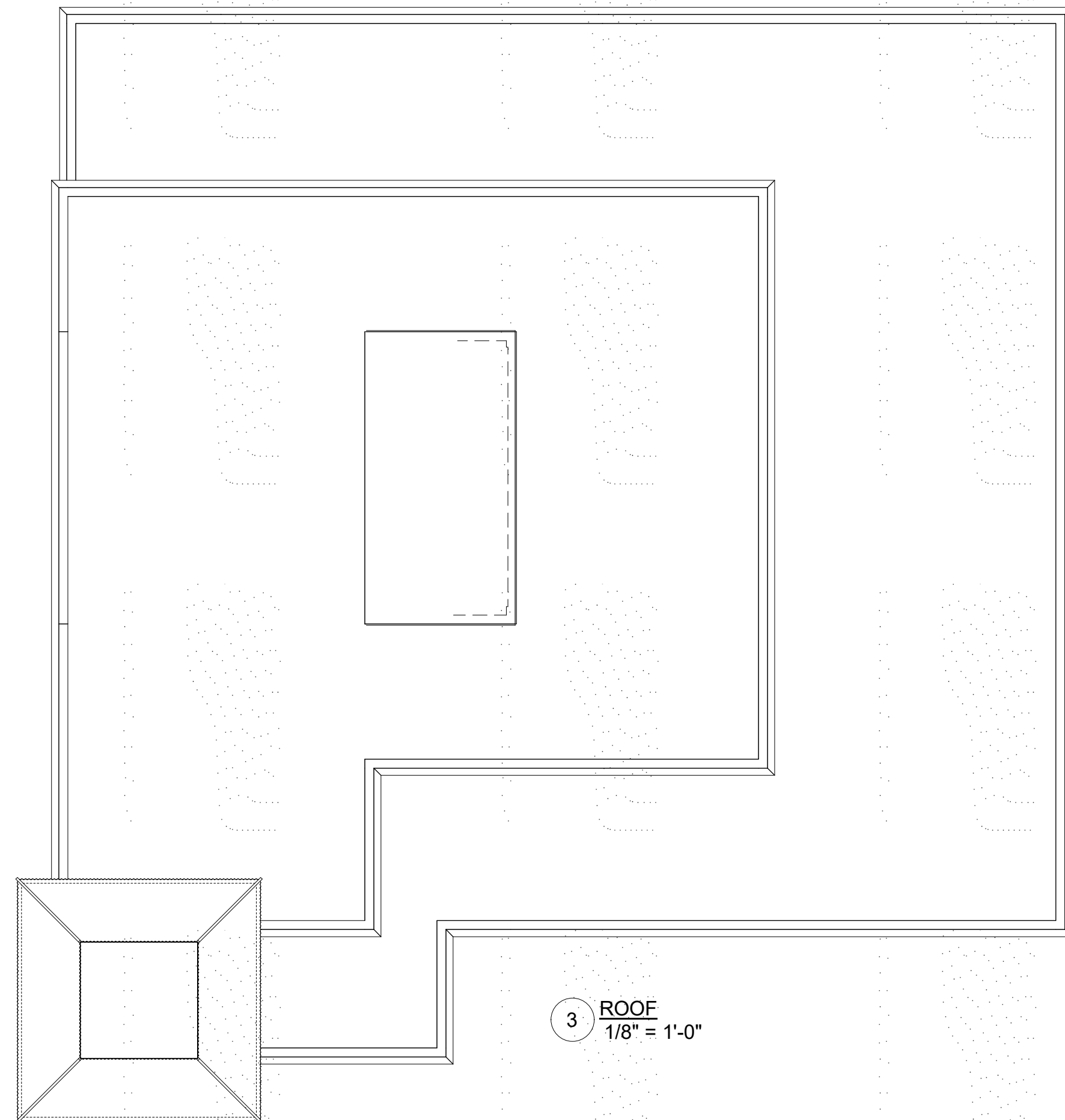
9 3D View 1



7 North
3/32" = 1'-0"



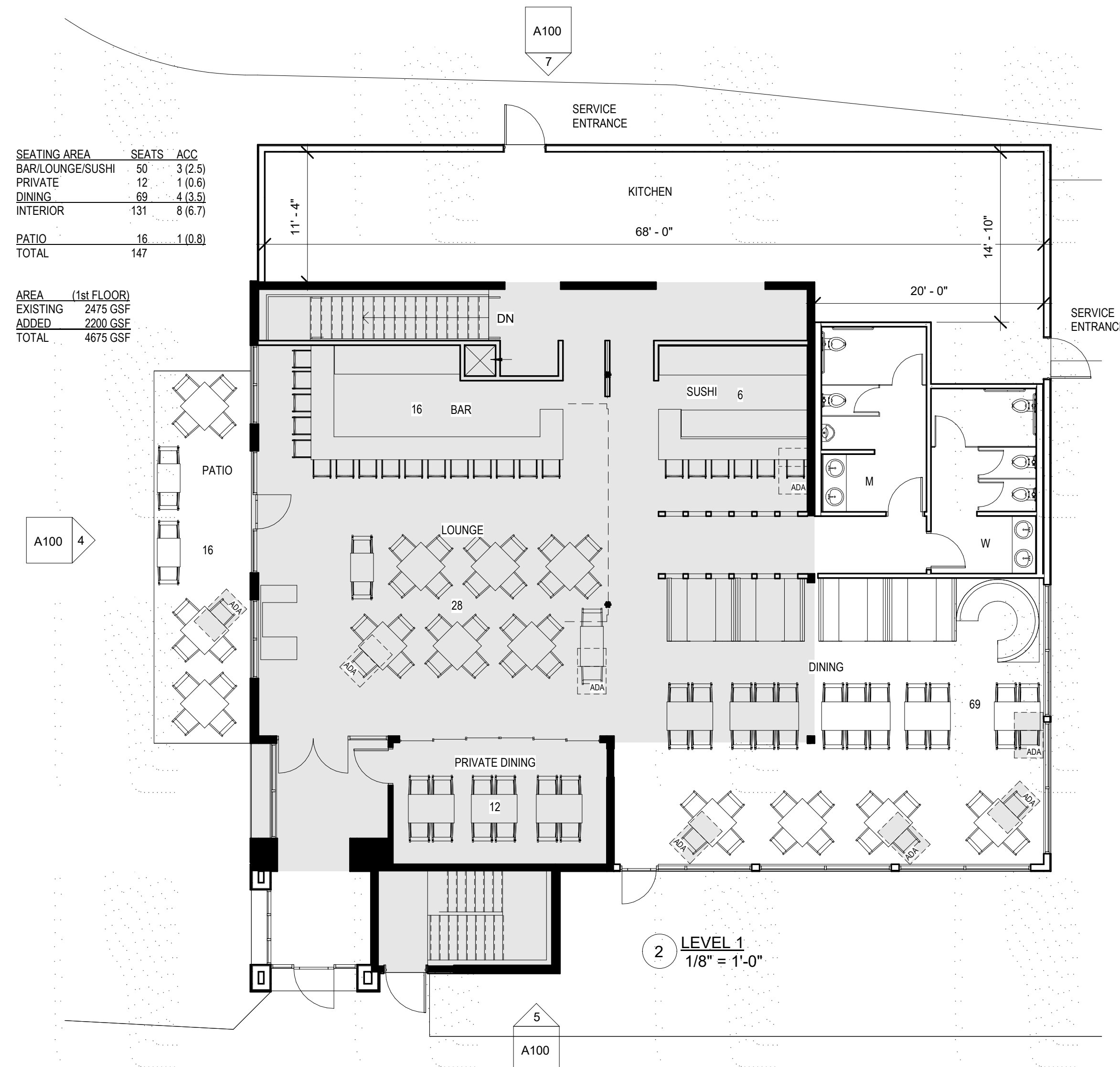
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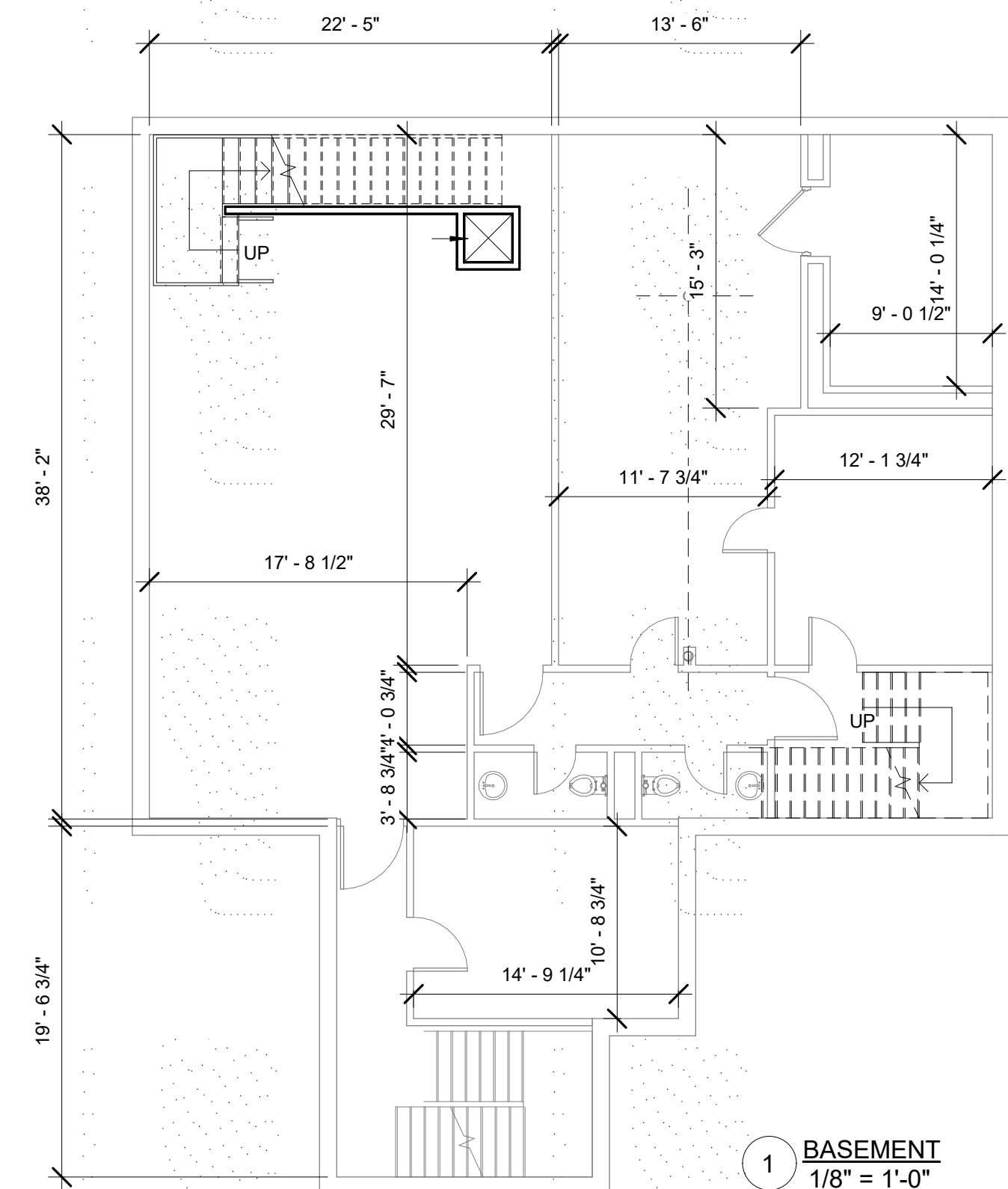
3 ROOF
1/8" = 1'-0"

SEATING AREA	SEATS	ACG
BAR/LOUNGE/SUSHI	50	3 (2.9)
PRIVATE	12	1 (0.6)
DINING	69	4 (3.5)
INTERIOR	131	8 (6.7)
PATIO	16	1 (0.8)
TOTAL	147	

AREA	(1st FLOOR)
EXISTING	2475 GSF
ADDED	2200 GSF
TOTAL	4675 GSF



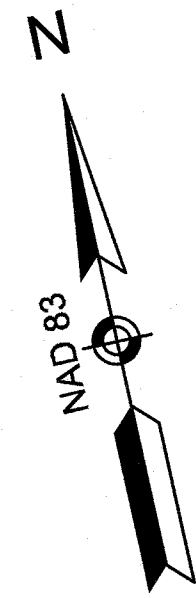
2 LEVEL 1
1/8" = 1'-0"



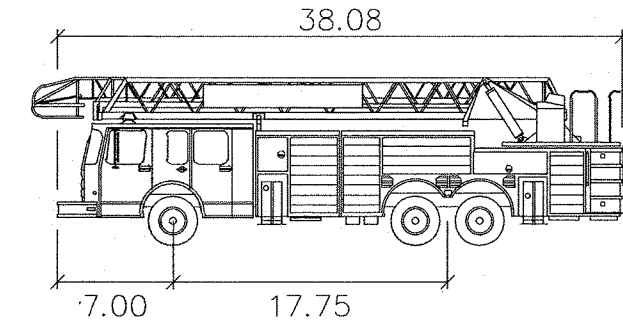
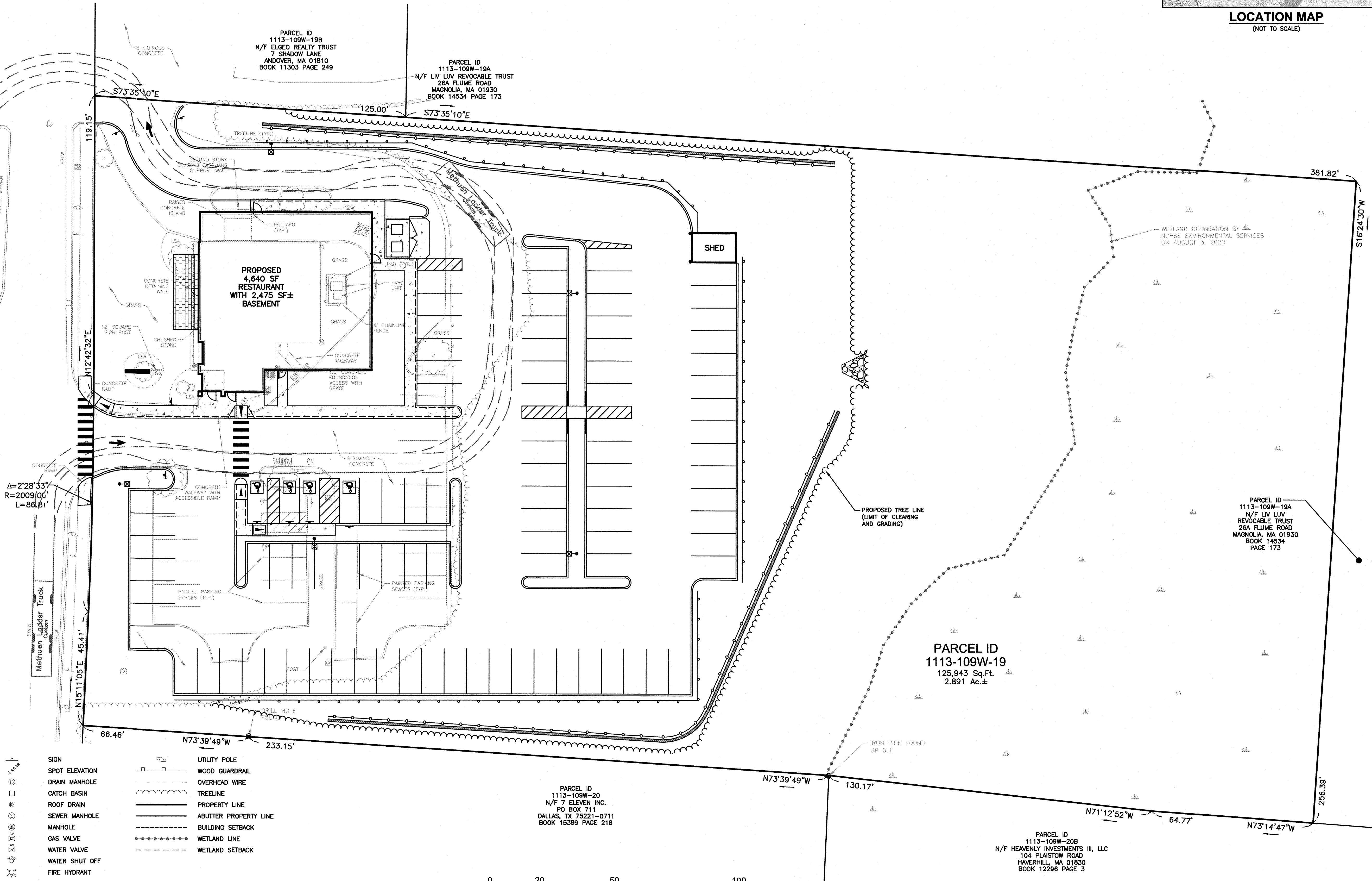
1 BASEMENT
1/8" = 1'-0"

F:\Projects\NEX-2020159 - Methuen, MA - Wan Yan, LLC (Huang)\CAD Files\20159 SP.dwg TT 5/21/21 1:04pm ccoll

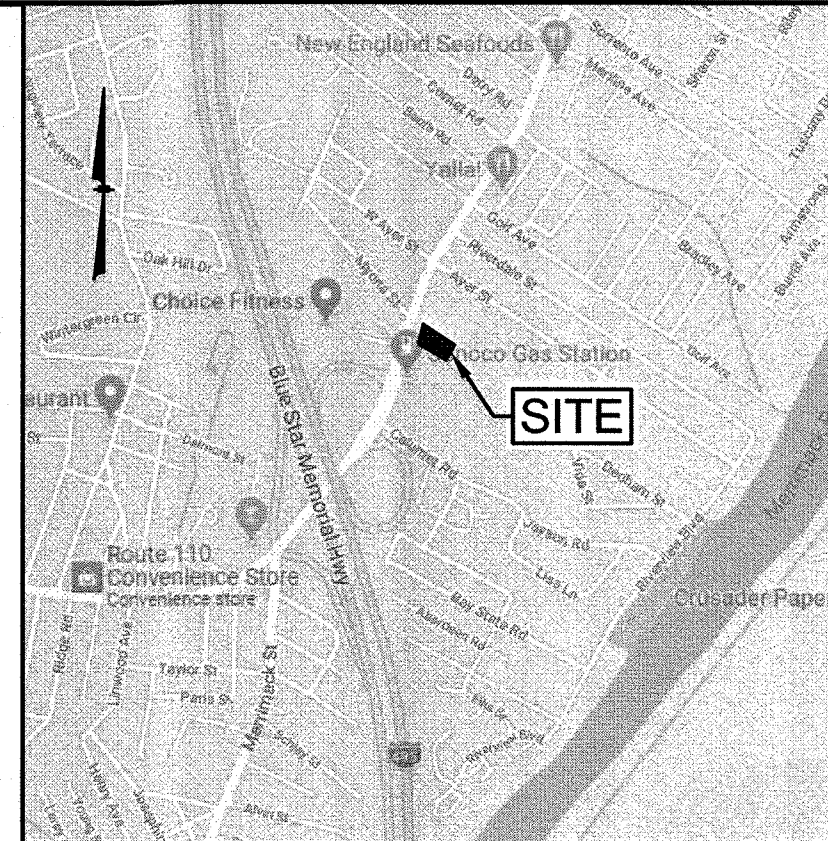
MERRIMACK STREET - ROUTE #110
(PUBLIC - VARIABLE WIDTH)
STATE HIGHWAY LAYOUT NO. 5178



- LEGEND**
- | | | | |
|------|--------------------------|----------------|-----------------------|
| SDG | SLOPED GRANITE CURB | SPOT ELEVATION | UTILITY POLE |
| VSG | VERTICAL GRANITE CURB | DRAIN MANHOLE | WOOD GUARDRAIL |
| VCC | VERTICAL CONCRETE CURB | CATCH BASIN | OVERHEAD WIRE |
| SSLY | SINGLE SOLID LINE YELLOW | ROOF DRAIN | TREELINE |
| SSLW | SINGLE SOLID LINE WHITE | SEWER MANHOLE | PROPERTY LINE |
| SDW | SINGLE DASHED LINE WHITE | MANHOLE | ABUTTER PROPERTY LINE |
| G | GAS LINE | GAS VALVE | BUILDING SETBACK |
| W | WATER LINE | WATER VALVE | WETLAND LINE |
| E | UNDERGROUND ELECTRIC | WATER SHUT OFF | WETLAND SETBACK |
| M | METAL GUARDRAIL | FIRE HYDRANT | |
| CLF | CHAIN LINK FENCE | BOLLARD | |
| PRF | POST & RAIL FENCE | GAS METER | |
| CE | CONTOUR ELEVATION | LIGHT POLE | |
| T | TREE | | |



Methuen Ladder Truck
feet
Turning Radius : 34'-10"

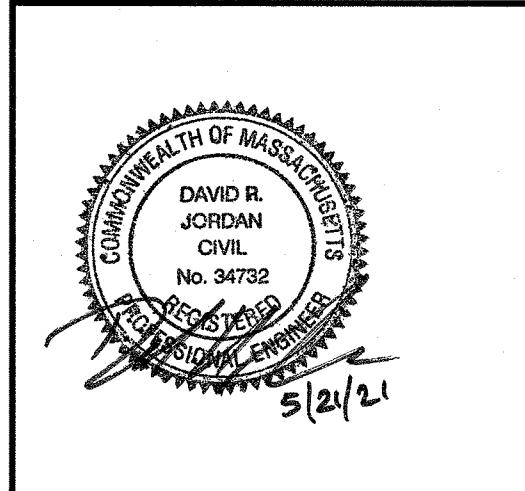


LOCATION MAP
(NOT TO SCALE)

GPI Engineering
Design
Planning
Construction Management
603.893.0720 GPINET.COM
Greenman-Pedersen, Inc.
44 Stiles Road, Suite One
Salem, NH 03079

PREPARED FOR
WAN YAN, LLC
53 MAYFLOWER DRIVE
NORTH ANDOVER, MA 01845

PARCEL ID: 1113-109W-19
125 MERRIMACK STREET
METHUEN, MA 01844



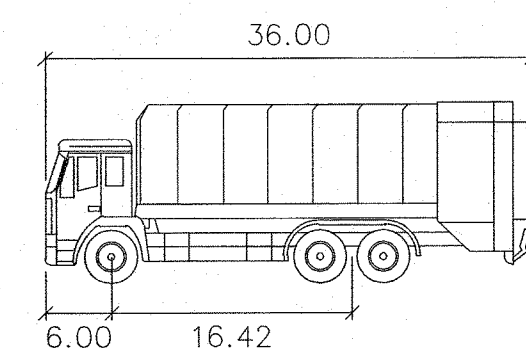
REVISIONS		
NO.	REVISION	DATE
	MAY 21, 2021	
DRAWN/DESIGN BY CCC/DRJ		CHECKED BY DRJ

FIRE TRUCK TURN PLAN

SCALE:

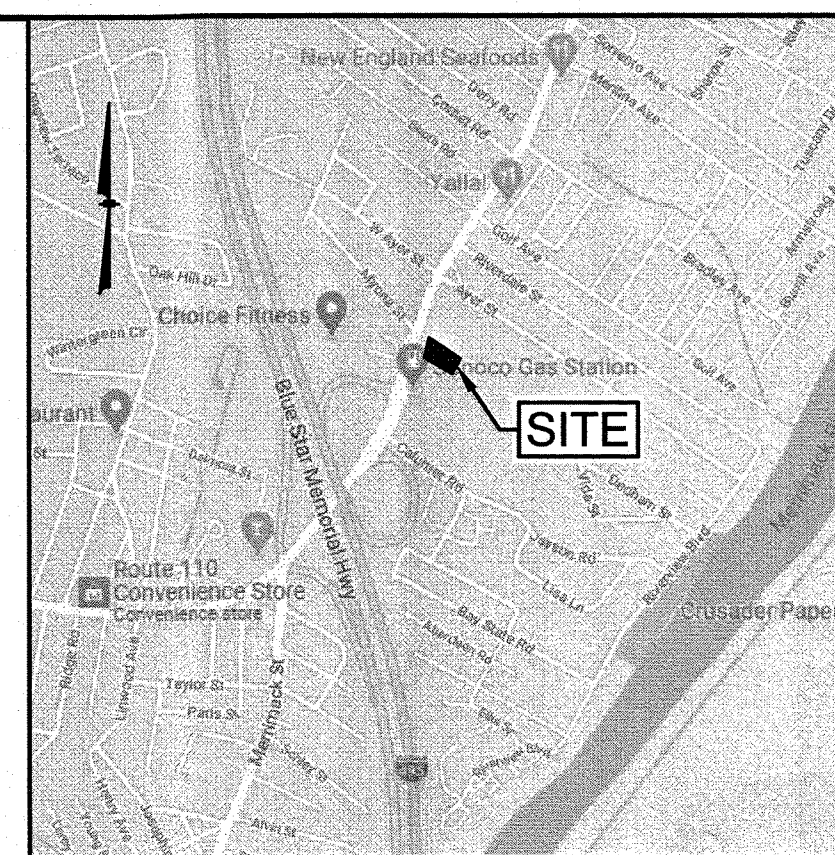
PROJECT NO.
NEX-2020159

1 OF 1



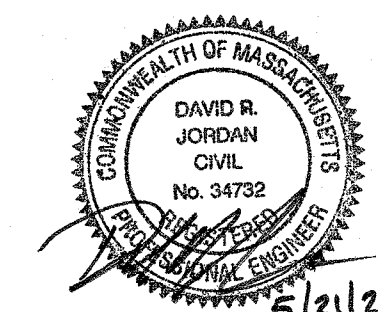
Garbage—Front Load

Width	: 9.33
Track	: 9.33
Lock to Lock Time	: 6.0
Steering Angle	: 23.0



LOCATION MAP
(NOT TO SCALE)

PARCEL ID: 1113-109W-19
125 MERRIMACK STREET
METHUEN, MA 01844



REVISIONS

[illegible]

MAY 21, 2021

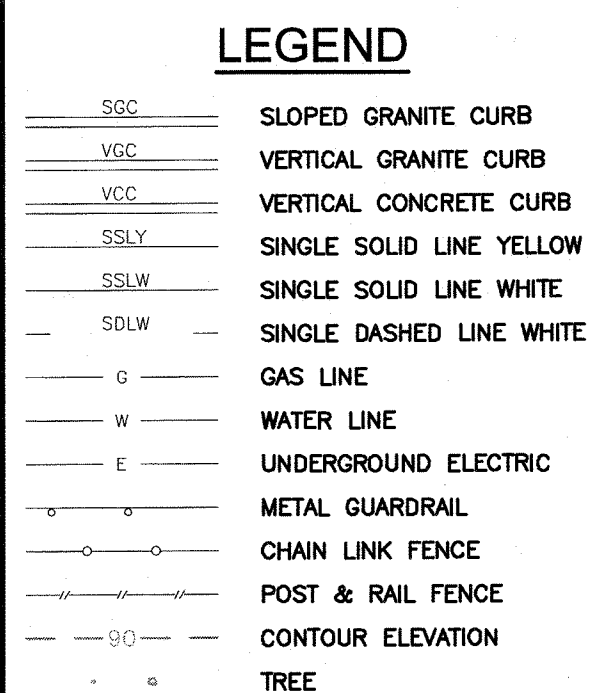
DRAWN/DESIGN BY CCC/DRJ	CHECKED BY DRJ
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TRASH TRUCK TURN PLAN

SCALE:

PROJECT NO.
NEX-2020159

1 OF 1



SIGN
SPOT ELEVATION
DRAIN MANHOLE
CATCH BASIN
ROOF DRAIN
SEWER MANHOLE
MANHOLE
GAS VALVE
WATER VALVE
WATER SHUT OFF
FIRE HYDRANT
BOLLARD
GAS METER
LIGHT POLE

	UTILITY POLE
	WOOD GUARDRAIL
	OVERHEAD WIRE
	TREELINE
	PROPERTY LINE
	ABUTTER PROPERTY LINE
	BUILDING SETBACK
	WETLAND LINE
	WETLAND SETBACK

UTILITY POLE
WOOD GUARDRAIL
OVERHEAD WIRE
TREELINE
PROPERTY LINE
ABUTTER PROPERTY LINE
BUILDING SETBACK
WETLAND LINE
WETLAND SETBACK

PARCEL ID
1113-109W-20
N/F 7 ELEVEN INC.
PO BOX 711
DALLAS, TX 75221-0711
BOOK 15389 PAGE 218

PARCEL ID
1113-109W-19
125,943 Sq.Ft.
2.891 Ac.±

PARCEL ID
1113-109W-20B
N/F HEAVENLY INVESTMENTS III, LLC
104 PLAISTOW ROAD
HAVERHILL, MA 01830
BOOK 12296 PAGE 3



SCALE: 1" = 20'